

Our Reference: 310487

19 August 2022

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Dear Morris,

Submission to 'Small Lot Housing Code – Stage 2 – Standards Review'

1. INTRODUCTION

Spiire Pty Ltd on behalf of Peet Limited, have undertaken a review of the proposed changes to the 'Small Lot housing Code, June 2022'. The purpose of this letter is to provide commentary in relation to the introduction of Type C Standards against recognised housing product produced by Peet in conjunction with the '*Lightsview*' product review submitted for the consideration of the VPA in 2018. This letter serves as both an extension of the previous submission and commentary of the proposed Type C Standards.

The submission is accompanied by, and should be read in conjunction with the following:

- ▶ Lightsview (SA) Product Review with assessment against proposed Type C Standards.
- ▶ Lightsview (SA) Product Review for Victorian Planning Framework, June 2018.

The Small Lot Housing Code (SLHC) primarily serves to streamline the ability to provide housing product on lots less than 300m² without the need for conventional planning permits. The SLHC envisions density increases in residential areas that contribute to both the housing affordability and mix of product delivered within Melbourne's growth areas.

The implementation and successful use of the SLHC relies principally on the industry being able to deliver housing product within the bounds of the code. Whilst it is acknowledged that the development of housing on small lots is to be in accordance with the code – market drivers such as affordability, housing type and lifestyle factors ultimately drive investment into small lot housing product.

With consideration to the proposed Type C Standards and amendments to Type A and B Standards, it is noted a 3-year timeframe is envisioned. Whilst it is understood the timeframe allows for a transitional period of standards within Type A and B, Spiire encourage Type C Standards be introduced sooner to satisfy current market needs.

2. LIGHTSVIEW / PEET

Peet is one of Australia's leading residential developers, creating master planned communities and delivering housing product responsive to market drivers and legislative requirements. Of particular note (and in relation to the introduction of the Type C Standards), Peet have completed the '*Lightsview*' project; an award-winning array of small lot housing types within proximity to Adelaide's CBD.

'Lightsview' is characterised by fresh architectural design and an appealing and diverse streetscape. A key innovation at Lightsview is the introduction of small-lot, higher-density, residential development. The project facilitated tailored housing product that responded to both market driven factors whilst delivering high-quality built form outcomes. When compared to the proposed Type C Standards, the 'Lightsview' project resulted in design outcomes that slightly diverge from the proposed Type C Standards.

The key design outcomes and variances from the proposed Type C Standards are discussed in detail below. Importantly, the Lightsview product successfully implemented a more intense built form outcome consistent with the intention of Type C Standards and should serve as a practical and tangible point of reference for Type C Standards.

3. DISCUSSION

Front setback / garage setback requirement

A key design aspect of the Lightsview estate is the 0m front setback to building. Designed to create a sense of character, optimise the buildable area of the allotment and encourage streetscape interaction, the minimal front setback provides more flexibility than the proposed 2.5m setback proposed within the Type C Standards.

Whilst it is noted the intent of the Type C Standards seek to provide on-site amenity, allow for cooling and potential screening to front rooms, it is important to note the location of small lot housing areas are controlled by Council through the assessment process and are generally located within areas adjoining high amenity elements including parks and open space areas. The placement of small lot housing is considered to negate the need for a large front setback area for amenity purposes and allows for future development to utilise additional building area to increase the usability and liveability of the future dwelling. Similar to the front setback to wall, the garage space proposes the same setback requirement. It is considered the setback is an unnecessary restriction in allowing on-site parking and may result in awkward shaped dwellings, ultimately detracting from the desired streetscape character, and potentially reduce the affordability of the design.

Side setback areas

A noticeable design element of the Type C Standards is the 500mm side setback increase to each metre above 6.9m in order to achieve variation in built form. For a dwelling utilising the full 11m height limit, a 2.5m setback would incur. Whilst it is noted proposed Standard 6 allows for walls on boundary if abutting an existing, approved or simultaneously approved Type C building, it is considered the otherwise-stated 2.5m required setback at the full 11m building height to greatly restrict the practical use of the allotment.

As such, Spiire encourage the VPA to reconsider the proposed setback requirement in relation to both the likely configuration of a 'Type C' allotment and the intended housing product the standards seek to achieve. It is recommended a minimum 1m side setback be imposed for heights above 6.9m to maintain practical use of the future allotment whilst providing the intended variation in built form.

Rear setback areas

The 4m rear setback requirement proposed within the Type C Standards is not considered to be a feasible outcome in facilitating the practical use of future dwellings on small lots (noting there is no

minimum lot size under the code). It is proposed the rear setback be amended to reflect a 1m setback requirement to an adjoining allotment not categorised as ‘small lot housing’, whilst a 0m setback for allotments adjoining other ‘small lot housing’ lots for heights up to 6.9m. Spiire consider the ‘private open space’ standards will effectively achieve the desired articulation and variation in built form whilst maintaining the practical use of the ‘small lot’ allotment.

4. SUBMISSION

4.1 Amendments to Type A and B Standards

The Type A and B Standards have been successfully implemented within numerous master planned communities and have effectively facilitated variation in housing form, housing affordability and responded to market driven factors including family sizes and lifestyle changes.

It is understood the proposed amendments to Type A and B Standards intend to provide further clarity around definitions and terms used within the Code; essentially broadening meanings to facilitate a simpler level of self-assessment for future owners choosing to be assessed against the SLHC. Additionally, it is noted changes have been implemented within specific standards as a result of fully-realised development demonstrating an ability to relax certain Standards. It is understood the proposed amendments to Type A and B Standards stem from feedback provided to the VPA and reflect the VPA’s continuous efforts in facilitating an ease of implementation of development within small lots against the SLHC.

Spiire has undertaken assessment of all proposed changes and support the VPA in continuing to work towards simplifying and streamlining the development process of small lot housing. In light of this, it is recommended the VPA explore varying the standards as follows:

Table 1: Proposed amendments to Type A and B Standards

Standard	Proposed change
Standard 2 – Minimum street setbacks and articulation	<p><u>Standard 2.1</u></p> <p>It is proposed the table include ‘paper roads’ within the 1.5m setback requirement ‘<i>if fronting an open space reserve on the other side of the street and opposite the allotment</i>’.</p> <p>The purpose of the change is to provide differentiation of ‘<i>paper roads</i>’ to a ‘<i>declared road</i>’, as currently categorised in the same way.</p>
Standard 3 – Building height	<p><u>Standard 3.1</u></p> <p>It is proposed to include reference to ‘natural ground level’, for clarity.</p>
Standard 6 – Car parking	<p><u>Standard 6.2</u></p> <p>It is proposed to remove this standard as limiting vehicle access to the rear restricts innovation of design and product type that caters for lot size limitations.</p>

4.2 Type C Standards

It is understood the VPA through the proposed amendments and introduction of the Type C Standards, seek to allow for an increase in the density of dwellings provided within new communities.

Whilst it is acknowledged the proposed Type C Standards generally enable housing product seen within the Lightsview project, the proposed changes are kindly suggested:

Table 2: Proposed amendments to Type C Standards

Standard	Proposed change
Standard 1 – Articulation of third storey massing	No proposed changes.
Standard 2 – Repetition of façade design	No proposed changes.
Standard 3 – Building Height	No proposed changes.
Standard 4 – Setback – Maximum front setback	No proposed changes.
Standard 5 – Setback – Minimum street setback	<u>Standard 5.1</u> It is proposed to delete the 2.5 metre front setback requirement and amend the standard to reflect a 0.5 metre setback as per the C2 Standard.
Standard 6 – Setback – Wall on Boundary	No proposed changes.

Standard 7.2

The proposed setbacks for Type C Standards are recommended to change to read as follows:

Table 1: Proposed Side and Rear setback changes:

Standard 7 – Setback – Side and Rear profile

Building height	Minimum side and rear setback from an adjoining SLHC allotment boundary	Minimum side and rear setback from a non-adjoining SLHC allotment boundary	Minimum setback from a lane
3.0 metres or less	0 metres	1.0 metre	0 metres
More than 3.0 metres but not more than 6.9 metres	0 metres	1.0 metre	0 metres
More than 6.9 metres	0.5 metres	1.0 metre plus 0.3 metres for every metre of height over 6.9 metres	0 metres plus 0.5 metre for every metre of height over 6.9 metres

Standard	Proposed change
Standard 8 – Setback – Allowable encroachments	<p><u>Standard 8.1</u> It is proposed this Standard be deleted in accordance with the proposed changes to Standard 5 and 7.2.</p> <p><u>Standard 8.2</u> It is proposed this Standard remain unchanged.</p>
Standard 9 – Setback – garage from the Street	<p><u>Standard 9.1</u> It is proposed this Standard be deleted or amended to allow for a 500mm setback requirement.</p>
Standard 10 – Articulation – Entrance to the dwelling	<p>Standard 10.1 It is proposed this Standard be deleted noting Standard 13 achieves the desired articulation between the front entrance and the garage.</p>
Standard 11 – Articulation – Massing	No proposed changes.
Standard 12 – Articulation – Facades through materials	No proposed changes.
Standard 13 – Articulation – Detailed design	No proposed changes.
Standard 14 – Activation and passive surveillance	<p><u>Standard 14.1</u> It is proposed this standard be deleted noting the intent of this standard can be achieved via the proposed 0.5m setback.</p>
Standard 15 – Car parking	<p><u>Standard 15</u> It is suggested this Standard include provisions for carport structures.</p>
Standard 16 – Site coverage	No proposed changes.
Standard 17 Private open space	No proposed changes.
Standard 18 – Daylight to private open space	No proposed change.
Standard 19 – Landscape permeability	No proposed changes.

Standard	Proposed change
Standard 20 – Deep soil zone	<p><u>Standard 20.1</u></p> <p>It is proposed this Standard be deleted noting the change to the front setback requirement of 0.5m.</p> <p><i>Note: the Standard does not specify where the 2.5m² is to be located, however is assumed to be intended to be within the front boundary given the C2 allowances.</i></p>
Standard 21 – Overshadowing of secluded private open space	No proposed change.
Standard 22 – Daylight to existing habitable room windows	No proposed changes.
Standard 23 – Solar access to existing north-facing windows	No proposed changes.
Standard 24 – Overlooking	No proposed changes.
Standard 25 – Daylight to habitable rooms	No proposed changes.
Standard 26 – Garage storage	<p><u>Standard 26.1</u></p> <p>It is proposed to delete 'garage' from the heading of this Standard as the storage area is not limited to being supplied within the garage area only.</p>
Standard 27 – Bin storage	No proposed changes.
Standard 28 – Water tanks	No proposed changes.
Standard 29 – Water meters, gas meters and other services	No proposed changes.
Standard 30 – Front and side boundary fence	No proposed changes.
Standard 31 – Side and rear allotment boundary fences	No proposed changes.
Standard 32 – fences forward of front walls	No proposed changes.

Standard	Proposed change
Standard 33 – Fences on street alignments	No proposed changes.
Standard 34 – Fences and daylight to windows in existing building	No proposed changes.
Standard 35 – Fences and solar access to existing north-facing habitable room windows	No proposed changes.
Standard 36 – Fences and overshadowing of secluded private open space	No proposed changes.
Standard 37 – Roof reflectivity	No proposed changes.

4.3 Timing of Type C Standards

As previously raised in this submission, it is recommended the VPA allow for the implementation of Type C Standards into the Small Lot Housing Code prior to 2026. The Type C Standards will allow industry to provide for a variation in housing product and bridge the gap in delivering affordable housing options to the market.

Thank you for the opportunity to provide this submission to the proposed changes and introduction of Type C Standards. if you have any questions regarding this submission, please don't hesitate to contact me.

Kind regards,



Thomas Stubbs

Professional - Planning

APPENDIX 1

LIGHTSVIEW PRODUCT REVIEW AGAINST PROPOSED TYPE C STANDARDS

LIGHTSVIEW PRODUCT REVIEW AGAINST PROPOSED TYPE C STANDARDS.

Legend

Complies with current Type C Standards	
May comply subject to detailed design	
Does not comply	

Terrace 338 C



Standard	Small Lot Housing Code – Type C
Standard 1 – Articulation of third storey massing	
Standard 2 – Repetition of façade design	
Standard 3 – Building Height	
Standard 4 – Setback – Maximum front setback	
Standard 5 – Setback – Minimum street setback	
Standard 6 – Setback – Wall on Boundary	
Standard 7 – Setback – Side and Rear profile	
Standard 8 – Setback – Allowable encroachments	
Standard 9 – Setback – Garage from the street	

Standard	Small Lot Housing Code – Type C
Standard 10 – Articulation – Entrance to dwelling	
Standard 11 – Articulation – Massing	
Standard 12 – Articulation – Facades through materials	
Standard 13 – Articulation – Detailed design	
Standard 14 – Activation and passive surveillance	
Standard 15 – Car parking	
Standard 16 – Site coverage	
Standard 17 Private open space	
Standard 18 – Daylight to private open space	
Standard 19 – Landscape permeability	
Standard 20 – Deep soil zone	
Standard 21 – Overshadowing of secluded private open space	
Standard 22 – Daylight to existing habitable room windows	
Standard 23 – Solar access to existing north-facing windows	
Standard 24 – Overlooking	
Standard 25 – Daylight to habitable rooms	
Standard 26 – Garage storage	
Standard 27 – Bin storage	
Standard 28 – Water tanks	
Standard 29 – Water meters, gas meters and other services	
Standard 30 – Front and side boundary fence	
Standard 31 – Side and rear allotment boundary fences	

Standard	Small Lot Housing Code – Type C
Standard 32 – fences forward of front walls	
Standard 33 – Fences on street alignments	
Standard 34 – Fences and daylight to windows in existing building	
Standard 35 – Fences and solar access to existing north-facing habitable room windows	
Standard 36 – Fences and overshadowing of secluded private open space	
Standard 37 – Roof reflectivity	

Terrace 344C Façade B



Standard	Small Lot Housing Code – Type C
Standard 1 – Articulation of third storey massing	
Standard 2 – Repetition of façade design	
Standard 3 – Building Height	

Standard	Small Lot Housing Code – Type C
Standard 4 – Setback – Maximum front setback	
Standard 5 – Setback – Minimum street setback	
Standard 6 – Setback – Wall on Boundary	
Standard 7 – Setback – Side and Rear profile	
Standard 8 – Setback – Allowable encroachments	
Standard 9 – Setback – Garage from the street	
Standard 10 – Articulation – Entrance to dwelling	
Standard 11 – Articulation – Massing	
Standard 12 – Articulation – Facades through materials	
Standard 13 – Articulation – Detailed design	
Standard 14 – Activation and passive surveillance	
Standard 15 – Car parking	
Standard 16 – Site coverage	
Standard 17 Private open space	
Standard 18 – Daylight to private open space	
Standard 19 – Landscape permeability	
Standard 20 – Deep soil zone	
Standard 21 – Overshadowing of secluded private open space	
Standard 22 – Daylight to existing habitable room windows	
Standard 23 – Solar access to existing north-facing windows	
Standard 24 – Overlooking	

Standard	Small Lot Housing Code – Type C
Standard 25 – Daylight to habitable rooms	
Standard 26 – Garage storage	
Standard 27 – Bin storage	
Standard 28 – Water tanks	
Standard 29 – Water meters, gas meters and other services	
Standard 30 – Front and side boundary fence	
Standard 31 – Side and rear allotment boundary fences	
Standard 32 – fences forward of front walls	
Standard 33 – Fences on street alignments	
Standard 34 – Fences and daylight to windows in existing building	
Standard 35 – Fences and solar access to existing north-facing habitable room windows	
Standard 36 – Fences and overshadowing of secluded private open space	
Standard 37 – Roof reflectivity	

Urban Garage 2 Façade B



Standard	Small Lot Housing Code – Type C
Standard 1 – Articulation of third storey massing	
Standard 2 – Repetition of façade design	
Standard 3 – Building Height	
Standard 4 – Setback – Maximum front setback	
Standard 5 – Setback – Minimum street setback	
Standard 6 – Setback – Wall on Boundary	
Standard 7 – Setback – Side and Rear profile	
Standard 8 – Setback – Allowable encroachments	
Standard 9 – Setback – Garage from the street	
Standard 10 – Articulation – Entrance to dwelling	
Standard 11 – Articulation – Massing	
Standard 12 – Articulation – Facades through materials	
Standard 13 – Articulation – Detailed design	
Standard 14 – Activation and passive surveillance	
Standard 15 – Car parking	
Standard 16 – Site coverage	
Standard 17 Private open space	
Standard 18 – Daylight to private open space	
Standard 19 – Landscape permeability	
Standard 20 – Deep soil zone	
Standard 21 – Overshadowing of secluded private open space	
Standard 22 – Daylight to existing habitable room windows	

Standard	Small Lot Housing Code – Type C
Standard 23 – Solar access to existing north-facing windows	
Standard 24 – Overlooking	
Standard 25 – Daylight to habitable rooms	
Standard 26 – Garage storage	
Standard 27 – Bin storage	
Standard 28 – Water tanks	
Standard 29 – Water meters, gas meters and other services	
Standard 30 – Front and side boundary fence	
Standard 31 – Side and rear allotment boundary fences	
Standard 32 – fences forward of front walls	
Standard 33 – Fences on street alignments	
Standard 34 – Fences and daylight to windows in existing building	
Standard 35 – Fences and solar access to existing north-facing habitable room windows	
Standard 36 – Fences and overshadowing of secluded private open space	
Standard 37 – Roof reflectivity	

Urban Garage 3 Façade A



Standard	Small Lot Housing Code – Type C
Standard 1 – Articulation of third storey massing	
Standard 2 – Repetition of façade design	
Standard 3 – Building Height	
Standard 4 – Setback – Maximum front setback	
Standard 5 – Setback – Minimum street setback	
Standard 6 – Setback – Wall on Boundary	
Standard 7 – Setback – Side and Rear profile	
Standard 8 – Setback – Allowable encroachments	
Standard 9 – Setback – Garage from the street	
Standard 10 – Articulation – Entrance to dwelling	
Standard 11 – Articulation – Massing	
Standard 12 – Articulation – Facades through materials	
Standard 13 – Articulation – Detailed design	
Standard 14 – Activation and passive surveillance	
Standard 15 – Car parking	

Standard	Small Lot Housing Code – Type C
Standard 16 – Site coverage	
Standard 17 Private open space	
Standard 18 – Daylight to private open space	
Standard 19 – Landscape permeability	
Standard 20 – Deep soil zone	
Standard 21 – Overshadowing of secluded private open space	
Standard 22 – Daylight to existing habitable room windows	
Standard 23 – Solar access to existing north-facing windows	
Standard 24 – Overlooking	
Standard 25 – Daylight to habitable rooms	
Standard 26 – Garage storage	
Standard 27 – Bin storage	
Standard 28 – Water tanks	
Standard 29 – Water meters, gas meters and other services	
Standard 30 – Front and side boundary fence	
Standard 31 – Side and rear allotment boundary fences	
Standard 32 – fences forward of front walls	
Standard 33 – Fences on street alignments	
Standard 34 – Fences and daylight to windows in existing building	
Standard 35 – Fences and solar access to existing north-facing habitable room windows	
Standard 36 – Fences and overshadowing of secluded private open space	

Standard	Small Lot Housing Code – Type C
Standard 37 – Roof reflectivity	

Urban Garage Façade D

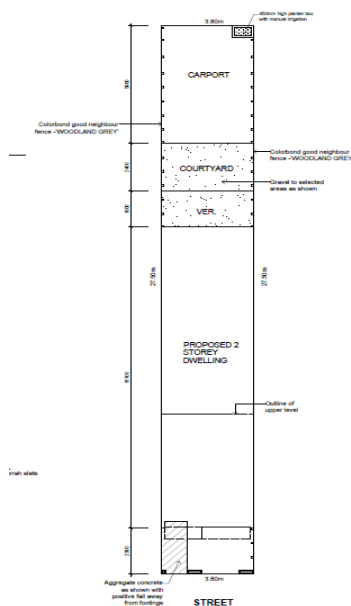


Standard	Small Lot Housing Code – Type C
Standard 1 – Articulation of third storey massing	
Standard 2 – Repetition of façade design	
Standard 3 – Building Height	
Standard 4 – Setback – Maximum front setback	
Standard 5 – Setback – Minimum street setback	
Standard 6 – Setback – Wall on Boundary	
Standard 7 – Setback – Side and Rear profile	
Standard 8 – Setback – Allowable encroachments	
Standard 9 – Setback – Garage from the street	
Standard 10 – Articulation – Entrance to dwelling	
Standard 11 – Articulation – Massing	

Standard	Small Lot Housing Code – Type C
Standard 12 – Articulation – Facades through materials	
Standard 13 – Articulation – Detailed design	
Standard 14 – Activation and passive surveillance	
Standard 15 – Car parking	
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Standard 17 Private open space	
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Standard 33 – Fences on street alignments	
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Standard 35 – Fences and solar access to existing north-facing habitable room windows	
Standard 36 – Fences and overshadowing of secluded private open space	

Standard	Small Lot Housing Code – Type C
Standard 37 – Roof reflectivity	

Loft 38 Façade B



Standard	Small Lot Housing Code – Type C
Standard 1 – Articulation of third storey massing	
Standard 2 – Repetition of façade design	
Standard 3 – Building Height	
Standard 4 – Setback – Maximum front setback	
Standard 5 – Setback – Minimum street setback	
Standard 6 – Setback – Wall on Boundary	
Standard 7 – Setback – Side and Rear profile	
Standard 8 – Setback – Allowable encroachments	
Standard 9 – Setback – Garage from the street	
Standard 10 – Articulation – Entrance to dwelling	

Standard	Small Lot Housing Code – Type C
Standard 11 – Articulation – Massing	
Standard 12 – Articulation – Facades through materials	
Standard 13 – Articulation – Detailed design	
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Standard 21 – Overshadowing of secluded private open space	
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Standard 32 – fences forward of front walls	
Standard 33 – Fences on street alignments	
Standard 34 – Fences and daylight to windows in existing building	
Standard 35 – Fences and solar access to existing north-facing habitable room windows	

Standard	Small Lot Housing Code – Type C
Standard 36 – Fences and overshadowing of secluded private open space	
Standard 37 – Roof reflectivity	

Loft 238 Façade D

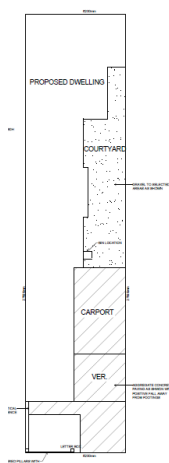


Standard	Small Lot Housing Code – Type C
Standard 1 – Articulation of third storey massing	
Standard 2 – Repetition of façade design	
Standard 3 – Building Height	
Standard 4 – Setback – Maximum front setback	
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Standard 7 – Setback – Side and Rear profile	
Standard 8 – Setback – Allowable encroachments	
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Standard 10 – Articulation – Entrance to dwelling	

Standard	Small Lot Housing Code – Type C
Standard 11 – Articulation – Massing	
Standard 12 – Articulation – Facades through materials	
Standard 13 – Articulation – Detailed design	
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Standard 31 – Side and rear allotment boundary fences	
Standard 32 – fences forward of front walls	

Standard	Small Lot Housing Code – Type C
Standard 33 – Fences on street alignments	
Standard 34 – Fences and daylight to windows in existing building	
Standard 35 – Fences and solar access to existing north-facing habitable room windows	
Standard 36 – Fences and overshadowing of secluded private open space	
Standard 37 – Roof reflectivity	

Terrace 62 House Type 2



Standard	Small Lot Housing Code – Type C
Standard 1 – Articulation of third storey massing	
Standard 2 – Repetition of façade design	
Standard 3 – Building Height	
Standard 4 – Setback – Maximum front setback	
Standard 5 – Setback – Minimum street setback	
Standard 6 – Setback – Wall on Boundary	

Standard	Small Lot Housing Code – Type C
Standard 7 – Setback – Side and Rear profile	
Standard 8 – Setback – Allowable encroachments	
Standard 9 – Setback – Garage from the street	
Standard 10 – Articulation – Entrance to dwelling	
Standard 11 – Articulation – Massing	
Standard 12 – Articulation – Facades through materials	
Standard 13 – Articulation – Detailed design	
Standard 14 – Activation and passive surveillance	
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Standard 23 – Solar access to existing north-facing windows	
Standard 24 – Overlooking	
Standard 25 – Daylight to habitable rooms	
Standard 26 – Garage storage	
Standard 27 – Bin storage	
Standard 28 – Water tanks	

Standard	Small Lot Housing Code – Type C
Standard 29 – Water meters, gas meters and other services	
Standard 30 – Front and side boundary fence	
Standard 31 – Side and rear allotment boundary fences	
Standard 32 – fences forward of front walls	
Standard 33 – Fences on street alignments	
Standard 34 – Fences and daylight to windows in existing building	
Standard 35 – Fences and solar access to existing north-facing habitable room windows	
Standard 36 – Fences and overshadowing of secluded private open space	
Standard 37 – Roof reflectivity	

Terrace 262 Version 2 Type F



Standard	Small Lot Housing Code – Type C
Standard 1 – Articulation of third storey massing	

Standard	Small Lot Housing Code – Type C
Standard 2 – Repetition of façade design	
Standard 3 – Building Height	
Standard 4 – Setback – Maximum front setback	
Standard 5 – Setback – Minimum street setback	
Standard 6 – Setback – Wall on Boundary	
Standard 7 – Setback – Side and Rear profile	
Standard 8 – Setback – Allowable encroachments	
Standard 9 – Setback – Garage from the street	
Standard 10 – Articulation – Entrance to dwelling	
Standard 11 – Articulation – Massing	
Standard 12 – Articulation – Facades through materials	
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Standard 21 – Overshadowing of secluded private open space	
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Standard 23 – Solar access to existing north-facing windows	

Standard	Small Lot Housing Code – Type C
Standard 24 – Overlooking	
Standard 25 – Daylight to habitable rooms	
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Standard 33 – Fences on street alignments	
Standard 34 – Fences and daylight to windows in existing building	
Standard 35 – Fences and solar access to existing north-facing habitable room windows	
Standard 36 – Fences and overshadowing of secluded private open space	
Standard 37 – Roof reflectivity	

Grand Euro 1 (D)



Standard	Small Lot Housing Code – Type C
Standard 1 – Articulation of third storey massing	
Standard 2 – Repetition of façade design	
Standard 3 – Building Height	
Standard 4 – Setback – Maximum front setback	
Standard 5 – Setback – Minimum street setback	
Standard 6 – Setback – Wall on Boundary	
Standard 7 – Setback – Side and Rear profile	
Standard 8 – Setback – Allowable encroachments	
Standard 9 – Setback – Garage from the street	
Standard 10 – Articulation – Entrance to dwelling	
Standard 11 – Articulation – Massing	
Standard 12 – Articulation – Facades through materials	
Standard 13 – Articulation – Detailed design	

Standard	Small Lot Housing Code – Type C
Standard 14 – Activation and passive surveillance	
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Standard 28 – Water tanks	
Standard 29 – Water meters, gas meters and other services	
Standard 30 – Front and side boundary fence	
Standard 31 – Side and rear allotment boundary fences	
Standard 32 – fences forward of front walls	
Standard 33 – Fences on street alignments	
Standard 34 – Fences and daylight to windows in existing building	

Standard	Small Lot Housing Code – Type C
Standard 9 – Setback – Garage from the street	
Standard 10 – Articulation – Entrance to dwelling	
Standard 11 – Articulation – Massing	
Standard 12 – Articulation – Facades through materials	
Standard 13 – Articulation – Detailed design	
Standard 14 – Activation and passive surveillance	
Standard 15 – Car parking	
Standard 16 – Site coverage	
Standard 17 Private open space	
Standard 18 – Daylight to private open space	
Standard 19 – Landscape permeability	
Standard 20 – Deep soil zone	
Standard 21 – Overshadowing of secluded private open space	
Standard 22 – Daylight to existing habitable room windows	
Standard 23 – Solar access to existing north-facing windows	
Standard 24 – Overlooking	
Standard 25 – Daylight to habitable rooms	
Standard 26 – Garage storage	
Standard 27 – Bin storage	
Standard 28 – Water tanks	
Standard 29 – Water meters, gas meters and other services	
Standard 30 – Front and side boundary fence	

Standard	Small Lot Housing Code – Type C
Standard 31 – Side and rear allotment boundary fences	
Standard 32 – fences forward of front walls	
Standard 33 – Fences on street alignments	
Standard 34 – Fences and daylight to windows in existing building	
Standard 35 – Fences and solar access to existing north-facing habitable room windows	
Standard 36 – Fences and overshadowing of secluded private open space	
Standard 37 – Roof reflectivity	

APPENDIX 2

2018 LIGHTSVIEW PRODUCT REVIEW



PEET
LIGHTSVIEW (SA)
PRODUCT REVIEW
for Victorian Planning Framework

JUNE 2018

PEET

01

EXECUTIVE SUMMARY

INTRODUCTION

Lightsview is a multi-award winning master planned development situated eight kilometres from Adelaide’s CBD. This has been a testament to our ability to innovate and deliver on our vision, and proof that through our partnerships with industry we can achieve outstanding results.

Lightsview is characterised by fresh architectural design and an appealing and diverse streetscape. A key innovation at Lightsview is the introduction of zoning to allow small-lot, higher-density residential development. Because of this, Lightsview provides the widest range of housing and land options of any Adelaide suburb.

Every dwelling is located within 300 metres of a high quality landscaped park, and design principles at Lightsview also require homes to be oriented for maximum winter warmth and summer shade, promoting health and wellbeing.

High quality and varied public open spaces and wide streets with footpaths create a sense of space for residents to enjoy outside of their own homes.

Overall, Lightsview ambitious vision, commitment to innovation and demonstrated delivery has reduced land and house prices, has added to housing affordability and reshaped the urban environment through relocation of open space networks to be more equitable and increased amenity of all throughout the master planned community.

VICTORIAN PLANNING POLICY

Under Victorian planning policy the Lightsview dwelling designs are generally non-compliant with planning policy requirements in terms of:

- Setbacks
- Walls on boundaries
- Private open space
- Solar access
- Site permeability

The extent of design changes necessary to achieve full Victorian policy compliance are significant under the current frameworks.

The high level support of Government at both State and Local levels will significantly improve the prospects of an approval. Early consultation with senior leaders including the Minister for Planning, Victorian Planning Authority, Local Government CEOs and Planning Managers and physical introductions to the Lightsview product mix are highly recommended.

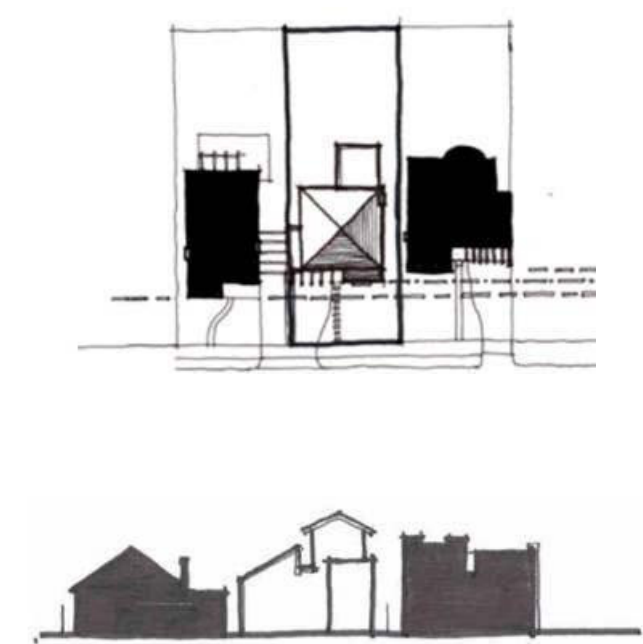
SA TRANSITION TO VIC - BUILT FORM REVIEW

Residential development in Victoria is controlled by development provisions and tools within Municipal planning schemes. Commonly known as ‘ResCode’, the provisions are an embedded document set within all Victorian planning schemes and the Victorian Building Regulations.

The ResCode provisions are a residential design code that apply to the construction of new dwellings, alterations to existing dwellings and residential subdivisions on land zoned for residential uses across Victoria.

ResCode policy controls generally seek to facilitate an urban amenity and built form outcome that reflect the historical pattern of conventional density dwelling stock in Melbourne. This is achieved through a series of objectives and standards that provide a performance based building envelope requiring a site responsive dwelling design defined by building setbacks, height, scale and internal amenity, amongst other things.

Except where existing development demonstrates an alternative precedent, ResCode provisions generally seek to achieve a built form outcome similar to the images below:



GOVERNMENT SUPPORT

Addressing housing affordability and achieving efficient land use within the remaining UGB area are important priorities for Victoria. An expanded small lot house product is part of the solution.

The existing planning framework in Victoria has an inability to allow innovative housing product that is currently being delivered around Australia. For this product to be recognised and delivered within Victoria, the planning system will need to be adapted.

As has occurred in other states, we need a partnership approach between Government agencies and the development industry to review and identify the policy which supports it. Lightsview is just one example which will give authorities confidence in exploring this important requirement in the market, not only now, but for the future.

Given the success of the Lightsview product in delivering diverse and affordable housing choices, authorities need to take this report and the Lightsview product into consideration in the 2018 Small Lot Housing Code review.

02

EXISTING BUILT FORM PLANNING FRAMEWORK

SMALL LOT HOUSING CODE

The Small Lot Housing Code allows for the construction of a dwelling on a lot less than 300 square meters without the need for a planning permit. The Small Lot Housing Code exists as a restriction on title and allows either a 'Type A' or 'Type B' building envelope. The building envelope standards are prescriptive and are either met or not met. There is no flexibility or discretion available within the code.

Implication of the policy

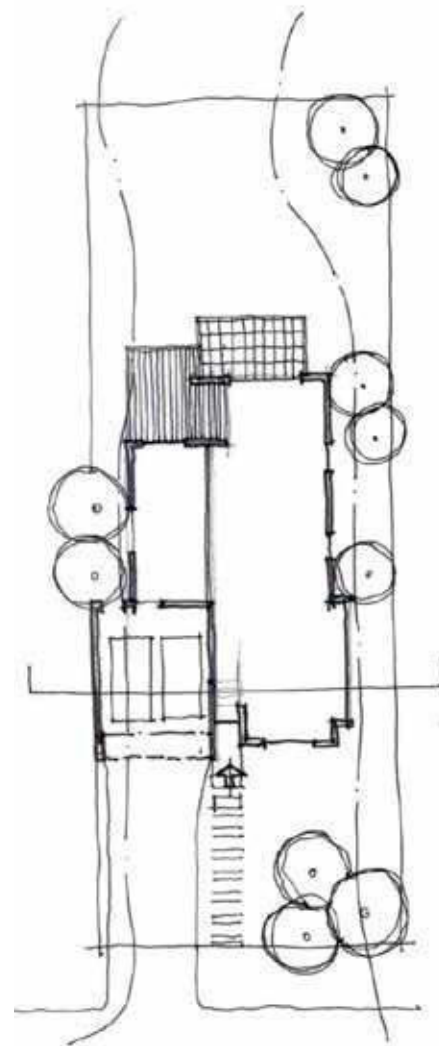
- No planning permit requirement
- Inflexible and unsuitable for non-conforming typologies

CLAUSE 54 VICTORIAN PLANNING SCHEME

Clause 54 applies design criteria for single dwelling proposals on lots less than 300 square meters. The policy sets out mandatory objectives and discretionary standards that seek to achieve a moderated neighbourhood character and dwelling amenity. Dwelling designs must comply with the policy objectives however the performance based standards can be varied on merit.

Implication of the policy

- Planning permit is required
- Applicable to single dwelling proposals only
- Designed to facilitate infill development approvals
- Highly restrictive in a growth area contexts

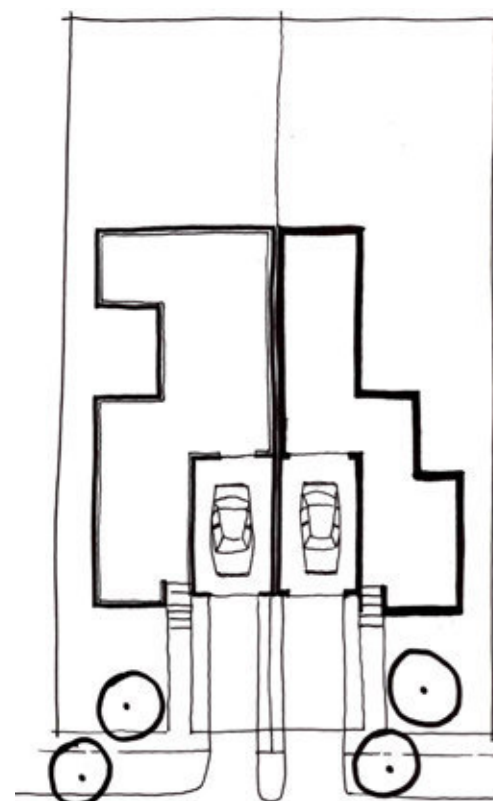


CLAUSE 55 VICTORIAN PLANNING SCHEME

Clause 55 applies design criteria for multi-dwelling proposals. Similar to Clause 54, the policy sets out mandatory objectives and discretionary standards that seek to achieve a moderated neighbourhood character and dwelling amenity.

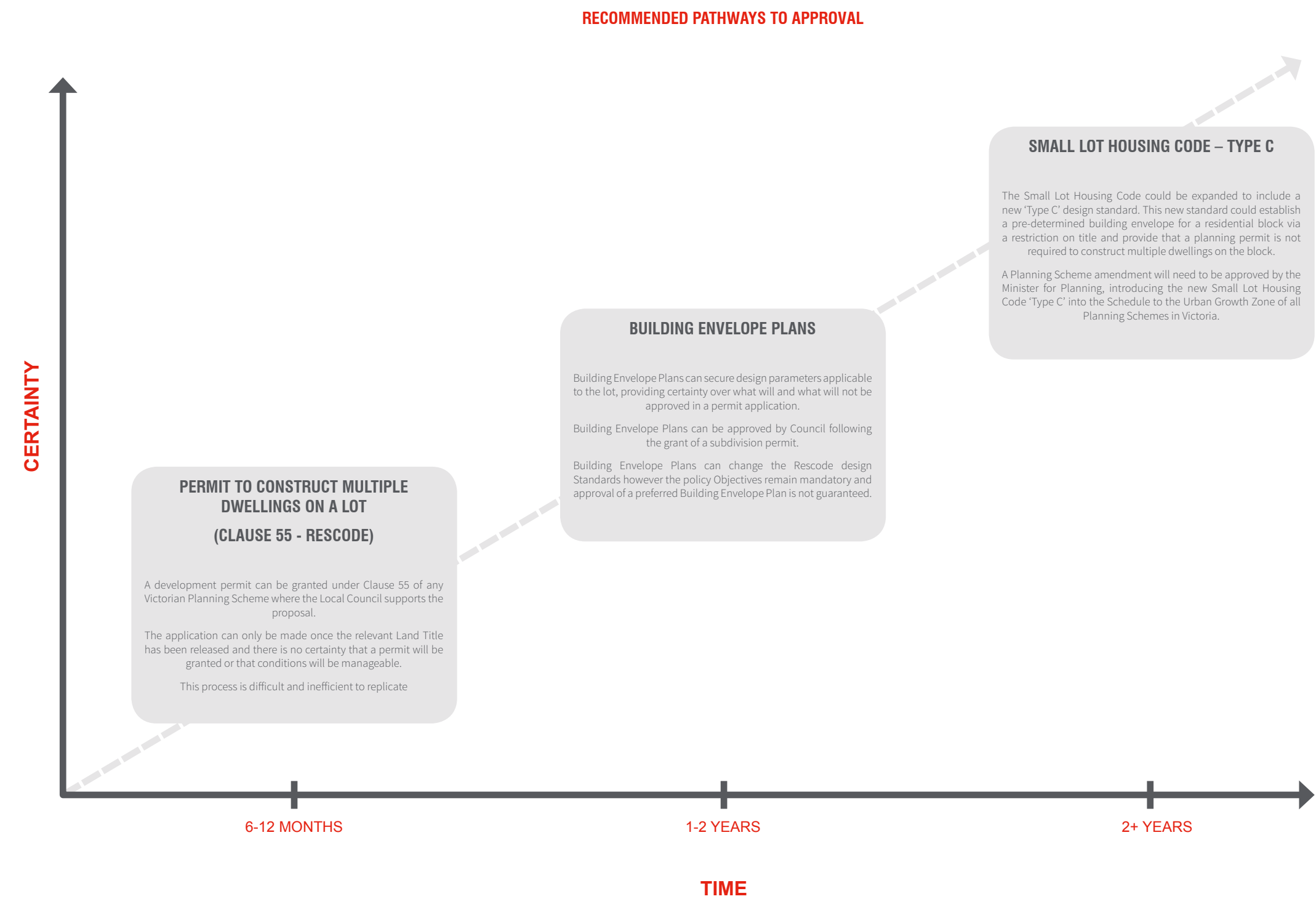
Implication of the policy

- Planning permit is required
- Provides for multi-dwelling approvals
- More flexible regard for site context and integrated designs
- Compliance with policy objectives is mandatory



03

PATHWAYS TO APPROVAL UNDER THE CURRENT FRAMEWORK



ALTERNATIVE PATHWAYS TO APPROVAL

SCHEDULE TO THE ZONE

With agreement from the relevant Council, a planning scheme amendment to the schedule of a residential zone can vary particular standards set out in Clause 54 and 55 of a Victorian Planning Scheme.

Provided that dwelling designs meet the varied standards, the proposal is deemed to automatically comply with the policy objectives of ResCode and a permit can be granted.

This option provides a high level of certainty that a permit will be granted however relies on the support of individual Councils.

SECTION 173 AGREEMENT

A Section 173 Agreement is a contract between the Council and a landowner that places restrictions on how the land can be used or developed. An agreement can set out a level of detail or site-specific information which is difficult to include in a permit condition, or create positive obligations on a responsible authority or other parties and thus achieve broader planning objectives than a permit. A planning permit must also be granted for the development of land.

CLAUSE 52.03 APPROVALS

Clause 52.03 exists in all planning schemes across Victoria and can provide an approval pathway for site specific land use and development outcomes in extraordinary circumstances, even where it may otherwise have been restricted or prohibited. Enacting the provisions of Clause 52.03 requires a planning scheme amendment introducing a site specific Incorporated Document into the relevant planning scheme.

This approval pathway is appropriate where the established planning provisions do not allow for the desired outcome to be approved and where extraordinary circumstances are present.

PROPOSED AMENDMENTS TO EXISTING FRAMEWORK/PATHWAY OR NEXT STEPS FOR GOVERNMENT CONSIDERATION OF THIS AS A PILOT PROJECT OR STUDY.

03

HOUSING TYPOLOGIES

GRAND EURO 1 TYPE D

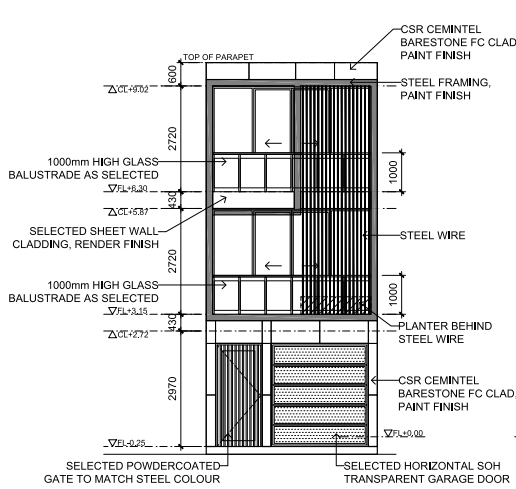
ASSESSMENT SUMMARY



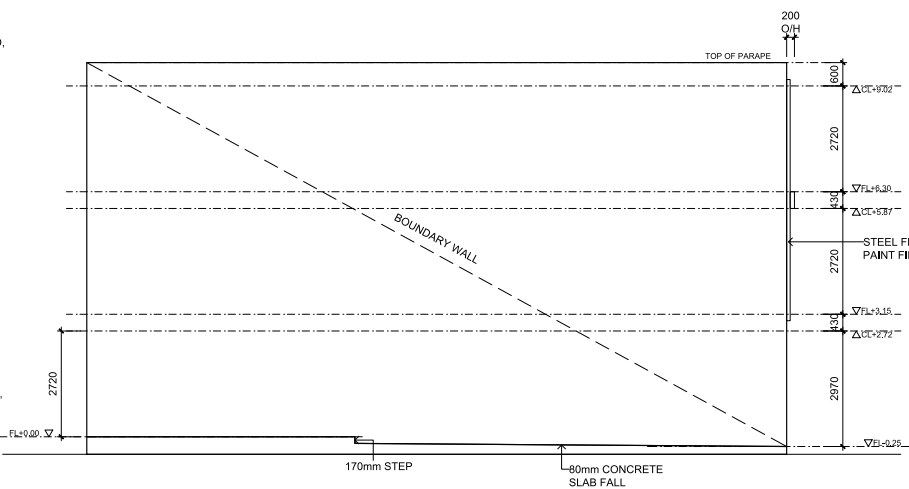
GENERAL CLAUSE 54 & 55 CONSIDERATIONS:

- COMPLIANCE RECOMMENDATIONS - CURRENT APPROVAL FRAMEWORK:
- The development should not face west to improve solar access and energy efficiency
 - The dwelling should be located in the General Residential Zone or the Residential Growth Zone to comply with height restrictions.
 - The front setback should be 4m
 - Site area covered by buildings should not exceed 60%.
 - Site area should remain minimum 20% pervious
 - Walls not on a boundary should be setback at least 1m
 - Solar access to private open space should be improved
 - Private open space and storage facilities should satisfy minimum requirements

- LEGEND:
- O Objective (Must be met)
 - S Standard (Should be met)
 - Conforms
 - Non-compliant
 - Discretionary
 - Not Relevant



FRONT ELEVATION
SCALE 1: 100



LEFT ELEVATION
SCALE 1: 100

CLAUSE 54 SUMMARY			
	Standard	O	S
A1	Neighbourhood Character		
A2	Integration with Street		
A3	Street Setback		
A4	Building Height		
A5	Site Coverage		
A6	Permeability		
A7	Energy Efficiency		
A8	Significant Trees		
A10	Side & Rear Setbacks		
A11	Walls on Boundaries		
A12	Daylight to Existing Windows		
A13	Existing North-facing Windows		
A14	Overshadowing Existing Open Space		
A15	Overlooking existing areas		
A16	Daylight to New Windows		
A17	Private Open Space		
A18	Solar Access to Open Space		
A19	Design Detail		
A20	Front Fences		

CLAUSE 55 SUMMARY			
	Standard	O	S
B1	Neighbourhood character		
B2	Residential policy		
B3	Dwelling diversity		
B4	Infrastructure		
B5	Integration with the street		
B6	Street setback		
B7	Building height		
B8	Site coverage		
B9	Permeability		
B10	Energy efficiency		
B11	Open space		
B12	Safety		
B13	Landscaping		
B14	Access		
B15	Parking location		
B17	Side and rear setbacks		
B18	Walls on boundaries		
B19	Daylight to existing windows		
B20	Existing north-facing windows		
B21	Overshadowing existing open space		
B22	Overlooking existing spaces		
B23	Internal views		
B24	Noise impacts		
B25	Accessibility		
B26	Dwelling entry		
B27	Daylight to new windows		
B28	Private open space		
B29	Solar access to open space		
B30	Storage		
B31	Design detail		
B32	Front fences		
B33	Common property		
B34	Site services		

SMALL LOT HOUSING CODE		Compliance	
	Standard	Type A	Type B
1	Maximum Street Setback		
2	Minimum Street Setbacks		
3	Building Height		
4	Site Coverage		
5	Permeability		
6	Car Parking		
7	Side and Rear Setbacks		
8	Walls on Boundaries		
9	Daylight to existing habitable room windows		
10	Solar Access to Existing North-Facing Windows		
11	Overshadowing of Recreational Private Open Space		
12	Overlooking		
13	Daylight to Habitable Room Windows		
14	Private Open Space		
15	Front Fence Height		
16	Fence Setbacks from Side and Rear Boundaries		
17	Fences on or within 150mm of Side or Rear Boundaries		
18	Fences on Street Alignments		
19	Fences and daylight to windows in existing building		
20	Fences and solar access to existing north-facing habitable room windows		
21	Fences and overshadowing of recreational private open space		

- Note:
- 2 on-site parking spaces are required pursuant to Clause 52.06. A permit is required to reduce the number of car parking spaces provided.
 - Car spaces in garages or carports must be at least 6 metres long and 3.5 metres wide for a single space and 5.5 metres wide for a double space.
 - Balcony 2 appears to overhang the property boundary. Additional Council consent is required.
 - The adjoining dwellings must contain simultaneously constructed boundary walls matching in height and length
 - The dwelling must be constructed when there are no existing dwellings on adjoining side or rear lots, and when the neighbourhood character has not fully established.
 - If 10 or more dwellings are proposed concurrently, at least one dwelling should contain a kitchen, bath or shower, and a toilet and wash basin at ground floor level. A mix of bedroom numbers between products should also be provided.
 - Accessways should not exceed 33% of the street frontage

03

HOUSING TYPOLOGIES

LOT 238 FACADE D

ASSESSMENT SUMMARY



GENERAL CLAUSE 54 & 55 CONSIDERATIONS:

COMPLIANCE RECOMMENDATIONS - CURRENT APPROVAL FRAMEWORK:

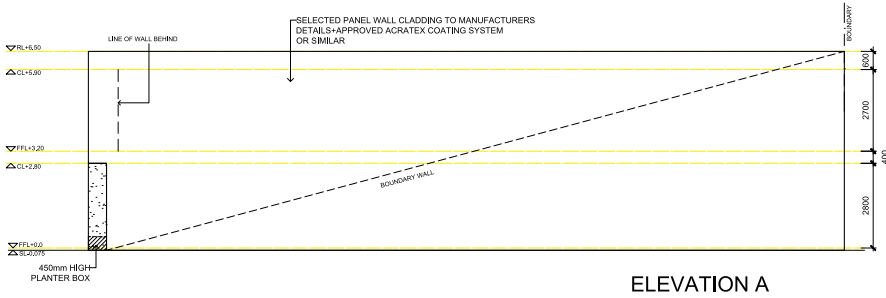
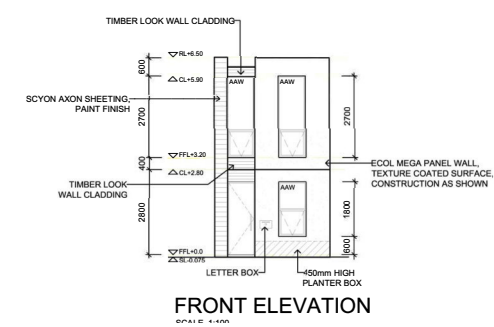
- The dwelling should face north to improve solar access and energy efficiency
- The front setback should be 4m
- Site area covered by buildings should not exceed 60%.
- Site area should remain minimum 20% pervious
- Solar access to private open space should be improved
- Walls not on a boundary should be setback at least 1m
- Private open space and storage facilities should satisfy minimum requirements
- The dwelling should back onto a lane, not a street

LEGEND:

- O

Objective (Must be met)
- S

Standard (Should be met)
- Conforms
- Non-compliant
- Discretionary
- Not Relevant



CLAUSE 54 SUMMARY			
Standard		O	S
A1	Neighbourhood Character		
A2	Integration with Street		
A3	Street Setback		
A4	Building Height		
A5	Site Coverage		
A6	Permeability		
A7	Energy Efficiency		
A8	Significant Trees		
A10	Side & Rear Setbacks		
A11	Walls on Boundaries		
A12	Daylight to Existing Windows		
A13	Existing North-facing Windows		
A14	Overshadowing Existing Open Space		
A15	Overlooking existing areas		
A16	Daylight to New Windows		
A17	Private Open Space		
A18	Solar Access to Open Space		
A19	Design Detail		
A20	Front Fences		

SMALL LOT HOUSING CODE			
Standard		Compliance	
		Type A	Type B
1	Maximum Street Setback		
2	Minimum Street Setbacks		
3	Building Height		
4	Site Coverage		
5	Permeability		
6	Car Parking		
7	Side and Rear Setbacks		
8	Walls on Boundaries		
9	Daylight to existing habitable room windows		
10	Solar Access to Existing North-Facing Windows		
11	Overshadowing of Recreational Private Open Space		
12	Overlooking		
13	Daylight to Habitable Room Windows		
14	Private Open Space		
15	Front Fence Height		
16	Fence Setbacks from Side and Rear Boundaries		
17	Fences on or within 150mm of Side or Rear Boundaries		
18	Fences on Street Alignments		
19	Fences and daylight to windows in existing building		
20	Fences and solar access to existing north-facing habitable room windows		
21	Fences and overshadowing of recreational private open space		

CLAUSE 55 SUMMARY			
Standard		O	S
B1	Neighbourhood character		
B2	Residential policy		
B3	Dwelling diversity		
B4	Infrastructure		
B5	Integration with the street		
B6	Street setback		
B7	Building height		
B8	Site coverage		
B9	Permeability		
B10	Energy efficiency		
B11	Open space		
B12	Safety		
B13	Landscaping		
B14	Access		
B15	Parking location		
B17	Side and rear setbacks		
B18	Walls on boundaries		
B19	Daylight to existing windows		
B20	Existing north-facing windows		
B21	Overshadowing existing open space		
B22	Overlooking existing spaces		
B23	Internal views		
B24	Noise impacts		
B25	Accessibility		
B26	Dwelling entry		
B27	Daylight to new windows		
B28	Private open space		
B29	Solar access to open space		
B30	Storage		
B31	Design detail		
B32	Front fences		
B33	Common property		
B34	Site services		

NOTES:

- The adjoining dwellings must contain simultaneously constructed boundary walls matching in height and length
- The dwelling must be constructed when there are no existing dwellings on adjoining side or rear lots, and when the neighbourhood character has not fully established.
- If 10 or more dwellings are proposed concurrently, at least one dwelling should contain a kitchen, bath or shower, and a toilet and wash basin at ground floor level.
- The dwelling should back onto a lane, not a street.

03

HOUSING TYPOLOGIES

TERRACE 62 TYPE 2

ASSESSMENT SUMMARY



GENERAL CLAUSE 54 & 55 CONSIDERATIONS:

COMPLIANCE RECOMMENDATIONS - CURRENT APPROVAL FRAMEWORK:

- The dwelling performs best when facing east or north (west or north for mirrored product) to improve solar access and energy efficiency.
- If the dwelling faces west or south, provide sky lighting over ground floor living and bedroom areas (south or east for mirrored product)
- The front setback should be 4m
- Site area covered by buildings should not exceed 60%
- Site area should remain minimum 20% pervious
- Solar access to private open space should be improved depending on dwelling orientation
- Private open space and storage facilities should satisfy minimum requirements

LEGEND:

- O Objective (Must be met)
- S Standard (Should be met)
- Conforms
- Non-compliant
- Discretionary
- Not Relevant

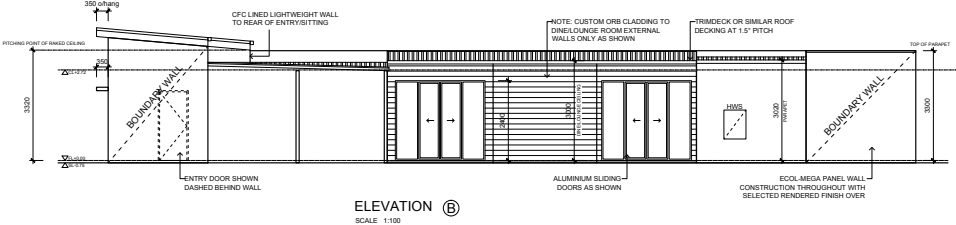
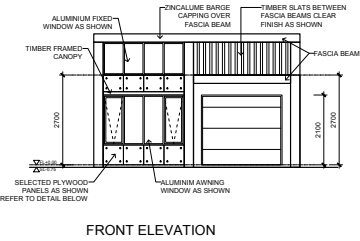
CLAUSE 54 SUMMARY			
	Standard	O	S
A1	Neighbourhood Character		
A2	Integration with Street		
A3	Street Setback		
A4	Building Height		
A5	Site Coverage		
A6	Permeability		
A7	Energy Efficiency		
A8	Significant Trees		
A10	Side & Rear Setbacks		
A11	Walls on Boundaries		
A12	Daylight to Existing Windows		
A13	Existing North-facing Windows		
A14	Overshadowing Existing Open Space		
A15	Overlooking existing areas		
A16	Daylight to New Windows		
A17	Private Open Space		
A18	Solar Access to Open Space		
A19	Design Detail		
A20	Front Fences		

CLAUSE 55 SUMMARY			
	Standard	O	S
B1	Neighbourhood character		
B2	Residential policy		
B3	Dwelling diversity		
B4	Infrastructure		
B5	Integration with the street		
B6	Street setback		
B7	Building height		
B8	Site coverage		
B9	Permeability		
B10	Energy efficiency		
B11	Open space		
B12	Safety		
B13	Landscaping		
B14	Access		
B15	Parking location		
B17	Side and rear setbacks		
B18	Walls on boundaries		
B19	Daylight to existing windows		
B20	Existing north-facing windows		
B21	Overshadowing existing open space		
B22	Overlooking existing spaces		
B23	Internal views		
B24	Noise impacts		
B25	Accessibility		
B26	Dwelling entry		
B27	Daylight to new windows		
B28	Private open space		
B29	Solar access to open space		
B30	Storage		
B31	Design detail		
B32	Front fences		
B33	Common property		
B34	Site services		

SMALL LOT HOUSING CODE		Compliance	
	Standard	Type A	Type B
1	Maximum Street Setback		
2	Minimum Street Setbacks		
3	Building Height		
4	Site Coverage		
5	Permeability		
6	Car Parking		
7	Side and Rear Setbacks		
8	Walls on Boundaries		
9	Daylight to existing habitable room windows		
10	Solar Access to Existing North-Facing Windows		
11	Overshadowing of Recreational Private Open Space		
12	Overlooking		
13	Daylight to Habitable Room Windows		
14	Private Open Space		
15	Front Fence Height		
16	Fence Setbacks from Side and Rear Boundaries		
17	Fences on or within 150mm of Side or Rear Boundaries		
18	Fences on Street Alignments		
19	Fences and daylight to windows in existing building		
20	Fences and solar access to existing north-facing habitable room windows		
21	Fences and overshadowing of recreational private open space		

NOTE

- The adjoining dwellings must contain simultaneously constructed boundary walls matching in height and length
- The dwelling must be constructed when there are no existing dwellings on adjoining side or rear lots, and when the neighbourhood character has not fully established.
- If 10 or more dwellings are proposed concurrently, at least one dwelling should contain a kitchen, bath or shower, and a toilet and wash basin at ground floor level.
- Car spaces in garages or carports must be at least 6 metres long and 3.5 metres wide for a single space.
- Accessways should not exceed 33% of the street frontage



03

HOUSING TYPOLOGIES

TERRACE 262 TYPE A

ASSESSMENT SUMMARY



GENERAL CLAUSE 54 & 55 CONSIDERATIONS:

COMPLIANCE RECOMMENDATIONS - CURRENT APPROVAL FRAMEWORK:

- The dwelling performs best when facing east or north
- If the dwelling faces west or south, provide sky lighting over ground floor living and bedroom areas
- Solar access to private open space should be improved depending on dwelling orientation
- The front setback should be 4m
- Site area covered by buildings should not exceed 60%
- Site area should remain minimum 20% pervious
- Private open space and storage facilities should satisfy minimum requirements

LEGEND:

- O Objective (Must be met)
- S Standard (Should be met)
- Conforms
- Non-compliant
- Discretionary
- Not Relevant

CLAUSE 54 SUMMARY			
	Standard	O	S
A1	Neighbourhood Character		
A2	Integration with Street		
A3	Street Setback		
A4	Building Height		
A5	Site Coverage		
A6	Permeability		
A7	Energy Efficiency		
A8	Significant Trees		
A10	Side & Rear Setbacks		
A11	Walls on Boundaries		
A12	Daylight to Existing Windows		
A13	Existing North-facing Windows		
A14	Overshadowing Existing Open Space		
A15	Overlooking existing areas		
A16	Daylight to New Windows		
A17	Private Open Space		
A18	Solar Access to Open Space		
A19	Design Detail		
A20	Front Fences		

CLAUSE 55 SUMMARY			
	Standard	O	S
B1	Neighbourhood character		
B2	Residential policy		
B3	Dwelling diversity		
B4	Infrastructure		
B5	Integration with the street		
B6	Street setback		
B7	Building height		
B8	Site coverage		
B9	Permeability		
B10	Energy efficiency		
B11	Open space		
B12	Safety		
B13	Landscaping		
B14	Access		
B15	Parking location		
B17	Side and rear setbacks		
B18	Walls on boundaries		
B19	Daylight to existing windows		
B20	Existing north-facing windows		
B21	Overshadowing existing open space		
B22	Overlooking existing spaces		
B23	Internal views		
B24	Noise impacts		
B25	Accessibility		
B26	Dwelling entry		
B27	Daylight to new windows		
B28	Private open space		
B29	Solar access to open space		
B30	Storage		
B31	Design detail		
B32	Front fences		
B33	Common property		
B34	Site services		

SMALL LOT HOUSING CODE		Compliance	
	Standard	Type A	Type B
1	Maximum Street Setback		
2	Minimum Street Setbacks		
3	Building Height		
4	Site Coverage		
5	Permeability		
6	Car Parking		
7	Side and Rear Setbacks		
8	Walls on Boundaries		
9	Daylight to existing habitable room windows		
10	Solar Access to Existing North-Facing Windows		
11	Overshadowing of Recreational Private Open Space		
12	Overlooking		
13	Daylight to Habitable Room Windows		
14	Private Open Space		
15	Front Fence Height		
16	Fence Setbacks from Side and Rear Boundaries		
17	Fences on or within 150mm of Side or Rear Boundaries		
18	Fences on Street Alignments		
19	Fences and daylight to windows in existing building		
20	Fences and solar access to existing north-facing habitable room windows		
21	Fences and overshadowing of recreational private open space		

NOTE:

- 2 on-site parking spaces are required pursuant to Clause 52.06. A permit is required to reduce the number of car parking spaces provided.
- Car spaces in garages or carports must be at least 6 metres long and 3.5 metres wide for a single space. Where parking spaces are provided in tandem (one space behind the other) an additional 500 mm in length must be provided between each space.
- The adjoining dwellings must contain simultaneously constructed boundary walls matching in height and length
- The dwelling should be constructed when there are no existing dwellings on adjoining side or rear lots, and when the neighbourhood character has not fully established.
- If 10 or more dwellings are proposed concurrently, at least one dwelling should contain a kitchen, bath or shower, and a toilet and wash basin at ground floor level. A mix of bedroom numbers between products should also be provided.
- Accessways should not exceed 33% of the street frontage
- Impervious surfaces must be calculated and shown on plan.

03

HOUSING TYPOLOGIES

TERRACE 262 V2 TYPE F

ASSESSMENT SUMMARY



GENERAL CLAUSE 54 & 55 CONSIDERATIONS:

COMPLIANCE RECOMMENDATIONS - CURRENT APPROVAL FRAMEWORK:

- The dwelling performs best when facing east or north
- If the dwelling faces west or south, provide sky lighting over ground floor living and bedroom areas
- The front setback should be 4m
- Site area covered by buildings should not exceed 60%
- Site area should remain minimum 20% pervious
- Solar access to private open space should be improved depending on dwelling orientation
- Private open space and storage facilities should satisfy minimum requirements

LEGEND:

- O Objective (Must be met)
- S Standard (Should be met)
- Conforms
- Non-compliant
- Discretionary
- Not Relevant

CLAUSE 54 SUMMARY			
Standard		O	S
A1	Neighbourhood Character		
A2	Integration with Street		
A3	Street Setback		
A4	Building Height		
A5	Site Coverage		
A6	Permeability		
A7	Energy Efficiency		
A8	Significant Trees		
A10	Side & Rear Setbacks		
A11	Walls on Boundaries		
A12	Daylight to Existing Windows		
A13	Existing North-facing Windows		
A14	Overshadowing Existing Open Space		
A15	Overlooking existing areas		
A16	Daylight to New Windows		
A17	Private Open Space		
A18	Solar Access to Open Space		
A19	Design Detail		
A20	Front Fences		

CLAUSE 55 SUMMARY			
Standard		O	S
B1	Neighbourhood character		
B2	Residential policy		
B3	Dwelling diversity		
B4	Infrastructure		
B5	Integration with the street		
B6	Street setback		
B7	Building height		
B8	Site coverage		
B9	Permeability		
B10	Energy efficiency		
B11	Open space		
B12	Safety		
B13	Landscaping		
B14	Access		
B15	Parking location		
B17	Side and rear setbacks		
B18	Walls on boundaries		
B19	Daylight to existing windows		
B20	Existing north-facing windows		
B21	Overshadowing existing open space		
B22	Overlooking existing spaces		
B23	Internal views		
B24	Noise impacts		
B25	Accessibility		
B26	Dwelling entry		
B27	Daylight to new windows		
B28	Private open space		
B29	Solar access to open space		
B30	Storage		
B31	Design detail		
B32	Front fences		
B33	Common property		
B34	Site services		

SMALL LOT HOUSING CODE			Compliance	
Standard		Type A	Type B	
1	Maximum Street Setback			
2	Minimum Street Setbacks			
3	Building Height			
4	Site Coverage			
5	Permeability			
6	Car Parking			
7	Side and Rear Setbacks			
8	Walls on Boundaries			
9	Daylight to existing habitable room windows			
10	Solar Access to Existing North-Facing Windows			
11	Overshadowing of Recreational Private Open Space			
12	Overlooking			
13	Daylight to Habitable Room Windows			
14	Private Open Space			
15	Front Fence Height			
16	Fence Setbacks from Side and Rear Boundaries			
17	Fences on or within 150mm of Side or Rear Boundaries			
18	Fences on Street Alignments			
19	Fences and daylight to windows in existing building			
20	Fences and solar access to existing north-facing habitable room windows			
21	Fences and overshadowing of recreational private open space			

NOTE

- 2 on-site parking spaces are required pursuant to Clause 52.06. A permit is required to reduce the number of car parking spaces provided.
- Car spaces in garages or carports must be at least 6 metres long and 3.5 metres wide for a single space. Where parking spaces are provided in tandem (one space behind the other) an additional 500 mm in length must be provided between each space.
- The adjoining dwellings must contain simultaneously constructed boundary walls matching in height and length
- The dwelling should be constructed when there are no existing dwellings on adjoining side or rear lots, and when the neighbourhood character has not fully established.
- If 10 or more dwellings are proposed concurrently, at least one dwelling should contain a kitchen, bath or shower, and a toilet and wash basin at ground floor level. A mix of bedroom numbers between products should also be provided.
- Accessways should not exceed 33% of the street frontage
- Impervious surfaces must be calculated and shown on plan.

03

HOUSING TYPOLOGIES

TERRACE 338 TYPE C

ASSESSMENT SUMMARY



GENERAL CLAUSE 54 & 55 CONSIDERATIONS:

COMPLIANCE RECOMMENDATIONS - CURRENT APPROVAL FRAMEWORK:

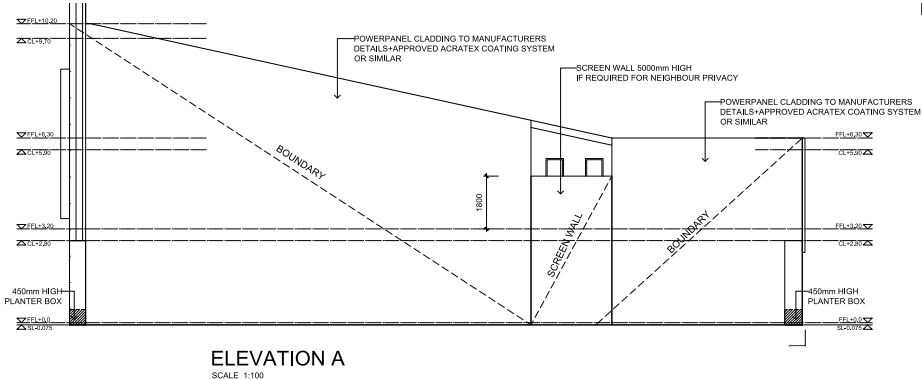
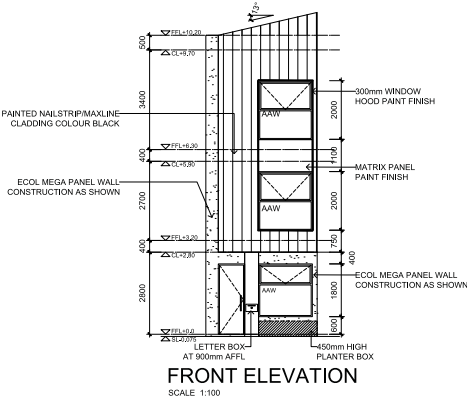
- The dwelling should back onto a lane, rather than a street
- Maximum building height must be shown on plans and not exceed 11m (in the General Residential Zone).
- The dwelling must face north to achieve sufficient solar access and energy efficiency
- The front setback should be 4m
- Site area covered by buildings should not exceed 60%.
- Site area should remain minimum 20% pervious
- Walls not on a boundary should be setback at least 1m
- Private open space and storage facilities should satisfy minimum requirements

LEGEND:

- O

Objective (Must be met)
- S

Standard (Should be met)
- Conforms
- Non-compliant
- Discretionary
- Not Relevant



CLAUSE 54 SUMMARY			
Standard		O	S
A1	Neighbourhood Character		
A2	Integration with Street		
A3	Street Setback		
A4	Building Height		
A5	Site Coverage		
A6	Permeability		
A7	Energy Efficiency		
A8	Significant Trees		
A10	Side & Rear Setbacks		
A11	Walls on Boundaries		
A12	Daylight to Existing Windows		
A13	Existing North-facing Windows		
A14	Overshadowing Existing Open Space		
A15	Overlooking existing areas		
A16	Daylight to New Windows		
A17	Private Open Space		
A18	Solar Access to Open Space		
A19	Design Detail		
A20	Front Fences		

CLAUSE 55 SUMMARY			
Standard		O	S
B1	Neighbourhood character		
B2	Residential policy		
B3	Dwelling diversity		
B4	Infrastructure		
B5	Integration with the street		
B6	Street setback		
B7	Building height		
B8	Site coverage		
B9	Permeability		
B10	Energy efficiency		
B11	Open space		
B12	Safety		
B13	Landscaping		
B14	Access		
B15	Parking location		
B17	Side and rear setbacks		
B18	Walls on boundaries		
B19	Daylight to existing windows		
B20	Existing north-facing windows		
B21	Overshadowing existing open space		
B22	Overlooking existing spaces		
B23	Internal views		
B24	Noise impacts		
B25	Accessibility		
B26	Dwelling entry		
B27	Daylight to new windows		
B28	Private open space		
B29	Solar access to open space		
B30	Storage		
B31	Design detail		
B32	Front fences		
B33	Common property		
B34	Site services		

SMALL LOT HOUSING CODE		Compliance	
Standard		Type A	Type B
1	Maximum Street Setback		
2	Minimum Street Setbacks		
3	Building Height		
4	Site Coverage		
5	Permeability		
6	Car Parking		
7	Side and Rear Setbacks		
8	Walls on Boundaries		
9	Daylight to existing habitable room windows		
10	Solar Access to Existing North-Facing Windows		
11	Overshadowing of Recreational Private Open Space		
12	Overlooking		
13	Daylight to Habitable Room Windows		
14	Private Open Space		
15	Front Fence Height		
16	Fence Setbacks from Side and Rear Boundaries		
17	Fences on or within 150mm of Side or Rear Boundaries		
18	Fences on Street Alignments		
19	Fences and daylight to windows in existing building		
20	Fences and solar access to existing north-facing habitable room windows		
21	Fences and overshadowing of recreational private open space		

NOTE

- 2 on-site parking spaces are required pursuant to Clause 52.06. A permit is required to reduce the number of car parking spaces provided.
- Car spaces in garages or carports must be at least 6 metres long and 3.5 metres wide for a single space. Where parking spaces are provided in tandem (one space behind the other) an additional 500 mm in length must be provided between each space.
- The adjoining dwellings must contain simultaneously constructed boundary walls matching in height and length
- The dwelling should be constructed when there are no existing dwellings on adjoining side or rear lots, and when the neighbourhood character has not fully established.
- If 10 or more dwellings are proposed concurrently, at least one dwelling should contain a kitchen, bath or shower, and a toilet and wash basin at ground floor level. A mix of bedroom numbers between products should also be provided.

03

HOUSING TYPOLOGIES

TERRACE 344C FACADE B

ASSESSMENT SUMMARY



GENERAL CLAUSE 54 & 55 CONSIDERATIONS:

COMPLIANCE RECOMMENDATIONS - CURRENT APPROVAL FRAMEWORK:

- The dwelling performs best facing south and north to improve solar access and energy efficiency
- If the dwelling faces east or west, provide sky lighting over the living room void and bedroom 1
- The dwelling should be located in the General Residential Zone of the Residential Growth Zone to comply with height restrictions.
- The front setback should be 4m
- Site area covered by buildings should not exceed 60%
- Site area should remain minimum 20% pervious
- Solar access to private open space should be improved depending on dwelling orientation
- Private open space and storage facilities should satisfy minimum requirements
- The rear setback should be significantly increased at first and second levels

LEGEND:

- O Objective (Must be met)
- S Standard (Should be met)
- Conforms
- Non-compliant
- Discretionary
- Not Relevant

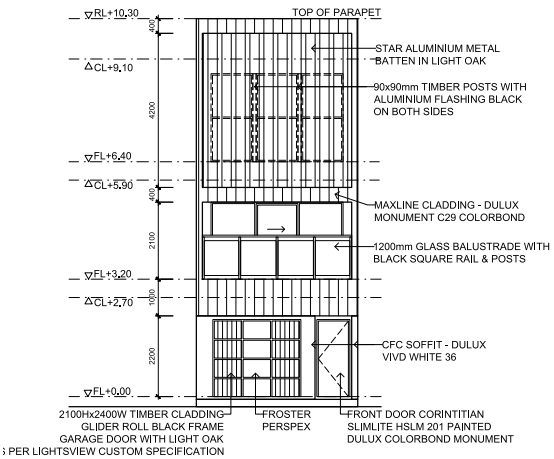
CLAUSE 54 SUMMARY			
	Standard	O	S
A1	Neighbourhood Character		
A2	Integration with Street		
A3	Street Setback		
A4	Building Height		
A5	Site Coverage		
A6	Permeability		
A7	Energy Efficiency		
A8	Significant Trees		
A10	Side & Rear Setbacks		
A11	Walls on Boundaries		
A12	Daylight to Existing Windows		
A13	Existing North-facing Windows		
A14	Overshadowing Existing Open Space		
A15	Overlooking existing areas		
A16	Daylight to New Windows		
A17	Private Open Space		
A18	Solar Access to Open Space		
A19	Design Detail		
A20	Front Fences		

CLAUSe 55 SUMMARY			
	Standard	O	S
B1	Neighbourhood character		
B2	Residential policy		
B3	Dwelling diversity		
B4	Infrastructure		
B5	Integration with the street		
B6	Street setback		
B7	Building height		
B8	Site coverage		
B9	Permeability		
B10	Energy efficiency		
B11	Open space		
B12	Safety		
B13	Landscaping		
B14	Access		
B15	Parking location		
B17	Side and rear setbacks		
B18	Walls on boundaries		
B19	Daylight to existing windows		
B20	Existing north-facing windows		
B21	Overshadowing existing open space		
B22	Overlooking existing spaces		
B23	Internal views		
B24	Noise impacts		
B25	Accessibility		
B26	Dwelling entry		
B27	Daylight to new windows		
B28	Private open space		
B29	Solar access to open space		
B30	Storage		
B31	Design detail		
B32	Front fences		
B33	Common property		
B34	Site services		

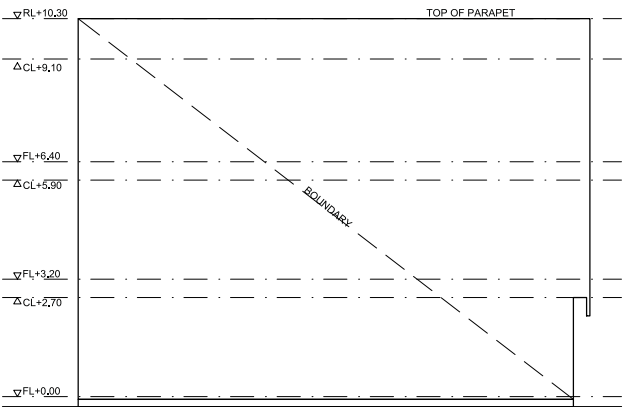
NOTE

- Car spaces in garages or carports must be at least 6 metres long and 3.5 metres wide for a single space
- The adjoining dwellings must contain simultaneously constructed boundary walls matching in height and length
- The dwelling must be constructed when there are no existing dwellings on adjoining side or rear lots, and when the neighbourhood character has not fully established. Solar access to private open space should be improved
- If 10 or more dwellings are proposed concurrently, at least one dwelling should contain a kitchen, bath or shower, and a toilet and wash basin at ground floor level. A mix of bedroom numbers between products should also be provided.
- Accessways should not exceed 33% of the street frontage

SMALL LOT HOUSING CODE		Compliance	
	Standard	Type A	Type B
1	Maximum Street Setback		
2	Minimum Street Setbacks		
3	Building Height		
4	Site Coverage		
5	Permeability		
6	Car Parking		
7	Side and Rear Setbacks		
8	Walls on Boundaries		
9	Daylight to existing habitable room windows		
10	Solar Access to Existing North-Facing Windows		
11	Overshadowing of Recreational Private Open Space		
12	Overlooking		
13	Daylight to Habitable Room Windows		
14	Private Open Space		
15	Front Fence Height		
16	Fence Setbacks from Side and Rear Boundaries		
17	Fences on or within 150mm of Side or Rear Boundaries		
18	Fences on Street Alignments		
19	Fences and daylight to windows in existing building		
20	Fences and solar access to existing north-facing habitable room windows		
21	Fences and overshadowing of recreational private open space		



FRONT ELEVATION
SCALE 1:100



ELEVATION A
SCALE 1:100

03

HOUSING TYPOLOGIES

URBAN GARAGE FACADE D

ASSESSMENT SUMMARY



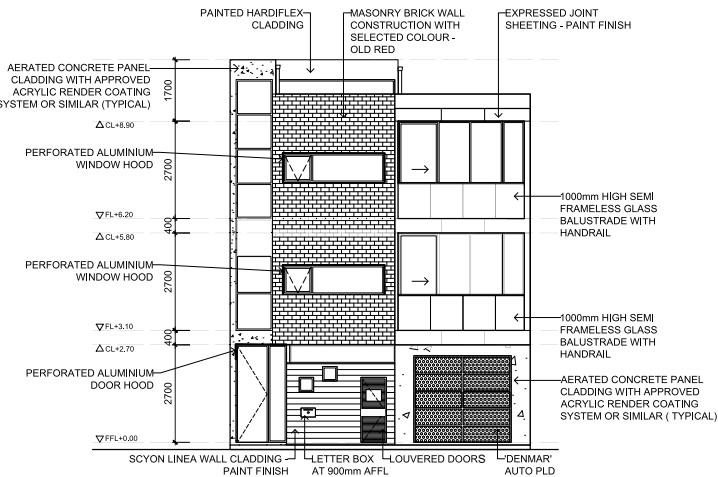
GENERAL CLAUSE 54 & 55 CONSIDERATIONS:

COMPLIANCE RECOMMENDATIONS - CURRENT APPROVAL FRAMEWORK:

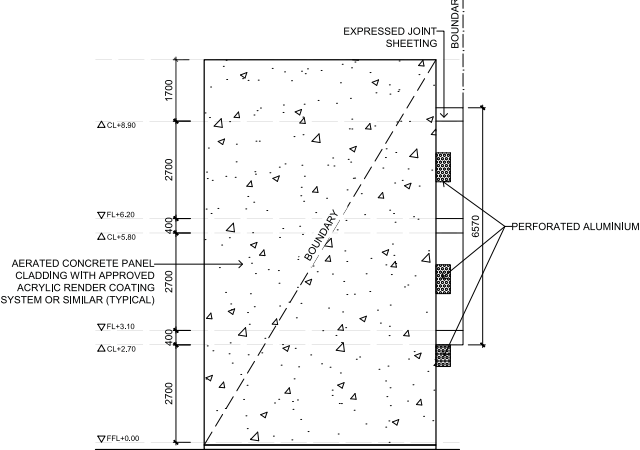
- The dwelling performs best facing north to improve solar access and energy efficiency
- If the dwelling faces south, east or west, sky lighting should be provided over the first floor void and second floor bedrooms
- The dwelling should be located in the General Residential Zone of the Residential Growth Zone to comply with height restrictions.
- The front setback should be 4m
- Site area covered by buildings should not exceed 60%
- Site area should remain minimum 20% pervious
- Solar access to private open space should be improved
- Private open space and storage facilities should satisfy minimum requirements. Increasing the first floor balcony area by 0.157m2 will achieve the minimum 8m² required under to Clause 55.

LEGEND:

- O Objective (Must be met)
- S Standard (Should be met)
- Conforms
- Non-compliant
- Discretionary
- Not Relevant



FRONT ELEVATION
SCALE 1: 100



LEFT ELEVATION
SCALE 1: 100

CLAUSE 54 SUMMARY			
	Standard	O	S
A1	Neighbourhood Character		
A2	Integration with Street		
A3	Street Setback		
A4	Building Height		
A5	Site Coverage		
A6	Permeability		
A7	Energy Efficiency		
A8	Significant Trees		
A10	Side & Rear Setbacks		
A11	Walls on Boundaries		
A12	Daylight to Existing Windows		
A13	Existing North-facing Windows		
A14	Overshadowing Existing Open Space		
A15	Overlooking existing areas		
A16	Daylight to New Windows		
A17	Private Open Space		
A18	Solar Access to Open Space		
A19	Design Detail		
A20	Front Fences		

CLAUSE 55 SUMMARY			
	Standard	O	S
B1	Neighbourhood character		
B2	Residential policy		
B3	Dwelling diversity		
B4	Infrastructure		
B5	Integration with the street		
B6	Street setback		
B7	Building height		
B8	Site coverage		
B9	Permeability		
B10	Energy efficiency		
B11	Open space		
B12	Safety		
B13	Landscaping		
B14	Access		
B15	Parking location		
B17	Side and rear setbacks		
B18	Walls on boundaries		
B19	Daylight to existing windows		
B20	Existing north-facing windows		
B21	Overshadowing existing open space		
B22	Overlooking existing spaces		
B23	Internal views		
B24	Noise impacts		
B25	Accessibility		
B26	Dwelling entry		
B27	Daylight to new windows		
B28	Private open space		
B29	Solar access to open space		
B30	Storage		
B31	Design detail		
B32	Front fences		
B33	Common property		
B34	Site services		

SMALL LOT HOUSING CODE		Compliance	
	Standard	Type A	Type B
1	Maximum Street Setback		
2	Minimum Street Setbacks		
3	Building Height		
4	Site Coverage		
5	Permeability		
6	Car Parking		
7	Side and Rear Setbacks		
8	Walls on Boundaries		
9	Daylight to existing habitable room windows		
10	Solar Access to Existing North-Facing Windows		
11	Overshadowing of Recreational Private Open Space		
12	Overlooking		
13	Daylight to Habitable Room Windows		
14	Private Open Space		
15	Front Fence Height		
16	Fence Setbacks from Side and Rear Boundaries		
17	Fences on or within 150mm of Side or Rear Boundaries		
18	Fences on Street Alignments		
19	Fences and daylight to windows in existing building		
20	Fences and solar access to existing north-facing habitable room windows		
21	Fences and overshadowing of recreational private open space		

NOTE

- The adjoining dwellings must contain simultaneously constructed boundary walls matching in height and length
- The dwelling must be constructed when there are no existing dwellings on adjoining side or rear lots, and when the neighbourhood character has not fully established.
- If 10 or more dwellings are proposed concurrently, at least one dwelling should contain a kitchen, bath or shower, and a toilet and wash basin at ground floor level. A mix of bedroom numbers between products should also be provided.

03

HOUSING TYPOLOGIES

URBAN GARAGE 2 FACADE B

ASSESSMENT SUMMARY



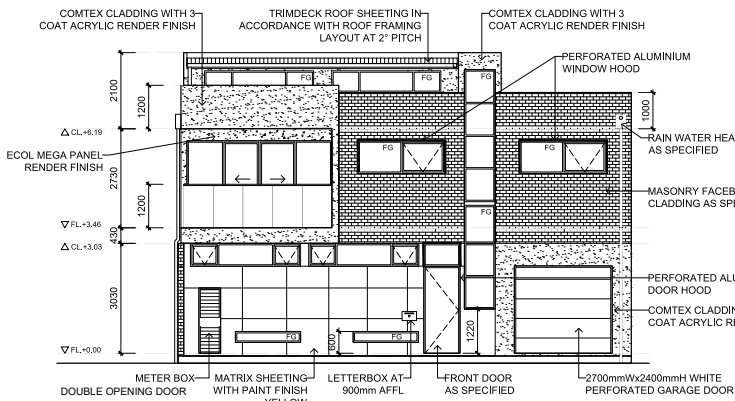
GENERAL CLAUSE 54 & 55 CONSIDERATIONS:

COMPLIANCE RECOMMENDATIONS - CURRENT APPROVAL FRAMEWORK:

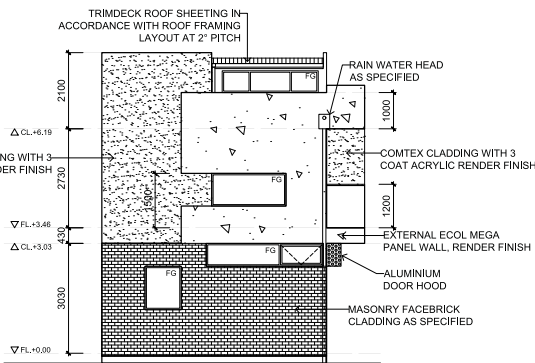
- The dwelling should be orientated north and be positioned on a corner lot.
- If the dwelling faces south, east or west, sky lighting should be provided over the first floor void and second floor bedrooms
- The front setback should be 4m
- Site area covered by buildings should not exceed 60%.
- Site area should remain minimum 20% pervious
- The side street setback should be a minimum 2m at ground level
- Solar access to private open space should be improve
- Private open space and storage facilities should satisfy minimum requirements

LEGEND:

- O Objective (Must be met)
- S Standard (Should be met)
- Conforms
- Non-compliant
- Discretionary
- Not Relevant



FRONT ELEVATION
SCALE 1: 100



LEFT ELEVATION
SCALE 1: 100

CLAUSE 54 SUMMARY			
Standard		O	S
A1	Neighbourhood Character		
A2	Integration with Street		
A3	Street Setback		
A4	Building Height		
A5	Site Coverage		
A6	Permeability		
A7	Energy Efficiency		
A8	Significant Trees		
A10	Side & Rear Setbacks		
A11	Walls on Boundaries		
A12	Daylight to Existing Windows		
A13	Existing North-facing Windows		
A14	Overshadowing Existing Open Space		
A15	Overlooking existing areas		
A16	Daylight to New Windows		
A17	Private Open Space		
A18	Solar Access to Open Space		
A19	Design Detail		
A20	Front Fences		

CLAUSE 55 SUMMARY			
Standard		O	S
B1	Neighbourhood character		
B2	Residential policy		
B3	Dwelling diversity		
B4	Infrastructure		
B5	Integration with the street		
B6	Street setback		
B7	Building height		
B8	Site coverage		
B9	Permeability		
B10	Energy efficiency		
B11	Open space		
B12	Safety		
B13	Landscaping		
B14	Access		
B15	Parking location		
B17	Side and rear setbacks		
B18	Walls on boundaries		
B19	Daylight to existing windows		
B20	Existing north-facing windows		
B21	Overshadowing existing open space		
B22	Overlooking existing spaces		
B23	Internal views		
B24	Noise impacts		
B25	Accessibility		
B26	Dwelling entry		
B27	Daylight to new windows		
B28	Private open space		
B29	Solar access to open space		
B30	Storage		
B31	Design detail		
B32	Front fences		
B33	Common property		
B34	Site services		

SMALL LOT HOUSING CODE		Compliance	
Standard		Type A	Type B
1	Maximum Street Setback		
2	Minimum Street Setbacks		
3	Building Height		
4	Site Coverage		
5	Permeability		
6	Car Parking		
7	Side and Rear Setbacks		
8	Walls on Boundaries		
9	Daylight to existing habitable room windows		
10	Solar Access to Existing North-Facing Windows		
11	Overshadowing of Recreational Private Open Space		
12	Overlooking		
13	Daylight to Habitable Room Windows		
14	Private Open Space		
15	Front Fence Height		
16	Fence Setbacks from Side and Rear Boundaries		
17	Fences on or within 150mm of Side or Rear Boundaries		
18	Fences on Street Alignments		
19	Fences and daylight to windows in existing building		
20	Fences and solar access to existing north-facing habitable room windows		
21	Fences and overshadowing of recreational private open space		

NOTE

- 2 on-site parking spaces are required pursuant to Clause 52.06. A permit is required to reduce the number of car parking spaces provided.
- The adjoining dwellings must contain simultaneously constructed boundary walls matching in height and length
- The dwelling must be constructed when there are no existing dwellings on adjoining side or rear lots, and when the neighbourhood character has not fully established.
- If 10 or more dwellings are proposed concurrently, at least one dwelling should contain a kitchen, bath or shower, and a toilet and wash basin at ground floor level. A mix of bedroom numbers between products should also be provided.

03

HOUSING TYPOLOGIES

URBAN GARAGE 3 FACADE A

ASSESSMENT SUMMARY



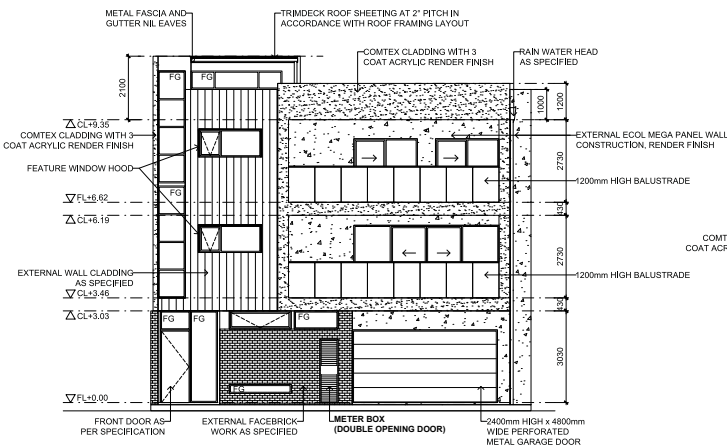
GENERAL CLAUSE 54 & 55 CONSIDERATIONS:

COMPLIANCE RECOMMENDATIONS - CURRENT APPROVAL FRAMEWORK:

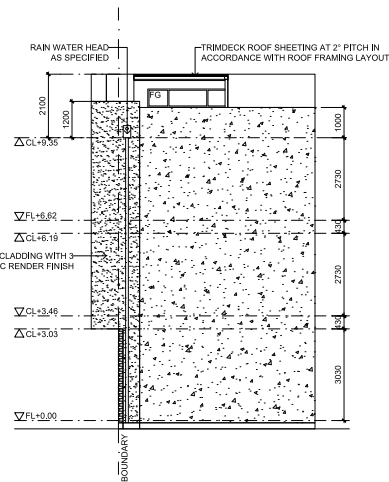
- The site must be zoned (or have an applied zone) in the Residential Growth Zone to exceed 11m in height (11.45m proposed).
- The height must be reduced to maximum 11m if proposed in General Residential Zone.
- The dwelling must be positioned on a corner lot.
- The dwelling performs best when orientated north and west. When facing east, place sky lights over void and second floor bedrooms
- The dwelling should not face south.
- The front setback should be 4m
- Site area covered by buildings should not exceed 60%.
- Site area should remain minimum 20% pervious
- Side street setback should 2m at ground level
- Solar access to private open space should be improved depending on dwelling orientation
- Private open space and storage facilities should satisfy minimum requirements

LEGEND:

- O Objective (Must be met)
- S Standard (Should be met)
- Conforms
- Non-compliant
- Discretionary
- Not Relevant



FRONT ELEVATION
SCALE 1:100



RIGHT ELEVATION
SCALE 1:100

CLAUSe 54 SUMMARY			
	Standard	O	S
A1	Neighbourhood Character		
A2	Integration with Street		
A3	Street Setback		
A4	Building Height		
A5	Site Coverage		
A6	Permeability		
A7	Energy Efficiency		
A8	Significant Trees		
A10	Side & Rear Setbacks		
A11	Walls on Boundaries		
A12	Daylight to Existing Windows		
A13	Existing North-facing Windows		
A14	Overshadowing Existing Open Space		
A15	Overlooking existing areas		
A16	Daylight to New Windows		
A17	Private Open Space		
A18	Solar Access to Open Space		
A19	Design Detail		
A20	Front Fences		

CLAUSE 55 SUMMARY			
	Standard	O	S
B1	Neighbourhood character		
B2	Residential policy		
B3	Dwelling diversity		
B4	Infrastructure		
B5	Integration with the street		
B6	Street setback		
B7	Building height		
B8	Site coverage		
B9	Permeability		
B10	Energy efficiency		
B11	Open space		
B12	Safety		
B13	Landscaping		
B14	Access		
B15	Parking location		
B17	Side and rear setbacks		
B18	Walls on boundaries		
B19	Daylight to existing windows		
B20	Existing north-facing windows		
B21	Overshadowing existing open space		
B22	Overlooking existing spaces		
B23	Internal views		
B24	Noise impacts		
B25	Accessibility		
B26	Dwelling entry		
B27	Daylight to new windows		
B28	Private open space		
B29	Solar access to open space		
B30	Storage		
B31	Design detail		
B32	Front fences		
B33	Common property		
B34	Site services		

SMALL LOT HOUSING CODE		Compliance	
	Standard	Type A	Type B
1	Maximum Street Setback		
2	Minimum Street Setbacks		
3	Building Height		
4	Site Coverage		
5	Permeability		
6	Car Parking		
7	Side and Rear Setbacks		
8	Walls on Boundaries		
9	Daylight to existing habitable room windows		
10	Solar Access to Existing North-Facing Windows		
11	Overshadowing of Recreational Private Open Space		
12	Overlooking		
13	Daylight to Habitable Room Windows		
14	Private Open Space		
15	Front Fence Height		
16	Fence Setbacks from Side and Rear Boundaries		
17	Fences on or within 150mm of Side or Rear Boundaries		
18	Fences on Street Alignments		
19	Fences and daylight to windows in existing building		
20	Fences and solar access to existing north-facing habitable room windows		
21	Fences and overshadowing of recreational private open space		

NOTE

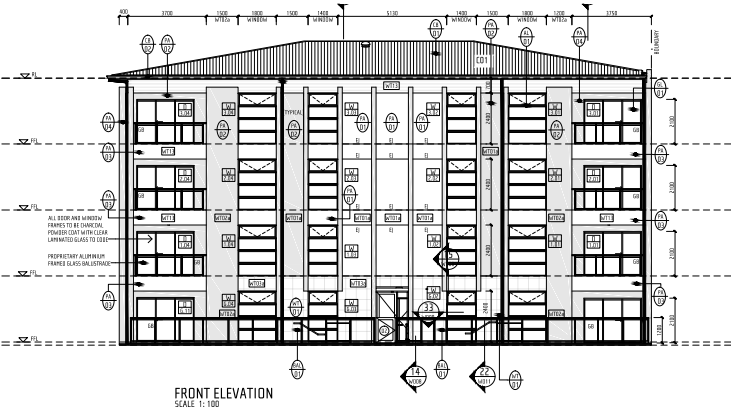
- The adjoining dwellings must contain simultaneously constructed boundary walls matching in height and length
- The dwelling must be constructed when there are no existing dwellings on adjoining side or rear lots, and when the neighbourhood character has not fully established.
- If 10 or more dwellings are proposed concurrently, at least one dwelling should contain a kitchen, bath or shower, and a toilet and wash basin at ground floor level. A mix of bedroom numbers between products should also be provided.
- Accessways should not exceed 33% of the street frontage

03

HOUSING TYPOLOGIES

LIGHT WEIGHT APARTMENT POD

ASSESSMENT SUMMARY



GENERAL CLAUSE 55 CONSIDERATIONS:

COMPLIANCE RECOMMENDATIONS - CURRENT APPROVAL FRAMEWORK:

- The building height should not exceed 13.5m in the Residential Growth Zone, or 11m in the General Residential Zone.
- Front and side setbacks must be shown and should be increased progressively with height
- Site area covered by buildings should not exceed 60%
- Site area should remain minimum 20% pervious
- Private open space and storage facilities should satisfy minimum requirements

LEGEND:

- O Objective (Must be met)
- S Standard (Should be met)
- Conforms
- Non-compliant
- Discretionary
- Not Relevant

CLAUSE 55 SUMMARY			
	Standard	O	S
B1	Neighbourhood character		
B2	Residential policy		
B3	Dwelling diversity		
B4	Infrastructure		
B5	Integration with the street		
B6	Street setback		
B7	Building height		
B8	Site coverage		
B9	Permeability		
B10	Energy efficiency		
B11	Open space		
B12	Safety		
B13	Landscaping		
B14	Access		
B15	Parking location		
B17	Side and rear setbacks		
B18	Walls on boundaries		
B19	Daylight to existing windows		
B20	Existing north-facing windows		
B21	Overshadowing existing open space		
B22	Overlooking existing spaces		
B23	Internal views		
B24	Noise impacts		
B25	Accessibility		
B26	Dwelling entry		
B27	Daylight to new windows		
B28	Private open space		
B29	Solar access to open space		
B30	Storage		
B31	Design detail		
B32	Front fences		
B33	Common property		
B34	Site services		

NOTE

- 2 on-site parking spaces are required for visitors pursuant to Clause 52.06. A permit is required to reduce the number of car parking spaces provided.
- Car spaces in garages or carports must be at least 6 metres long and 3.5 metres wide for a single space.
- The dwelling should be constructed when there are no existing dwellings on adjoining side or rear lots, and when the neighbourhood character has not fully established.
- A mix of bedroom numbers between products should be provided.
- Impervious surfaces must be calculated and shown on plan.