



DIAL BEFORE YOU DIG www.1100.com.au

Property: 3 Donohue Street, Cranbourne East VIC 3977 Case Number: 41270177 05 April 2022 Date: Sequence Number: 209982328 Scale in Metres : This plan is issued solely for the purpose of assisting you in identifying South East Water's specified assets through further investigation only. It is not to be used for any other purpose, including to identify any other assets, property boundaries or dimensions. Accordingly, the location of all assets should be proven by hand on site prior to the commencement of any work. (Refer to attached letter for further details). Assets labelled AC may contain asbestos and therefore works on these assets must be undertaken in accordance with OH&S Regulations Title/Road Boundary **Chlorination Assembly** Hydrant

Title/Road Boundary
 Proposed Title/Road
 Easement
 Chlorination Assembly
 Recycled Water Main Valve
 Fireplug/Washout
 Recycled Water Main & Services
 Chlorination Assembly
 Fireplug/Washout
 Offset from Boundary







Frankston VIC 3199 PO Box 2268

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southeastwater.com.au

05 APRIL 2022

Angelina Bosnjak

E-mail: 1q2npc6bqr2sj1.k1lco6gfs3abvk@smarterwx-mail.1100.com.au

Dear Sir/Madam,

SEW Reference Case Number 41270186 DBYD Sequence Number: 209982338

Location: 3 Donohue Street Cranbourne East 3977

Directory: Melways 0A0

Service Requested: Asset Information Dial-Before-You-Dig

SEW Order Number: 40662931

Please find attached information regarding your application to Dial Before You Dig for Asset Information.

Care must be taken when digging in the vicinity between Water Main to meter as service pipes could exist and may not be shown on the plan.

Any damage done to Utility assets will result in those responsible being billed for the repair work

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Yours sincerely bunkley

Martin Dunkley



Easement



ASSET INFORMATION - WATER Property: 3 Donohue Street, Cranbourne East VIC 3977 Case Number: 41270186 05 April 2022 Date: Sequence Number: 209982338 Scale in Metres : This plan is issued solely for the purpose of assisting you in identifying South East Water's specified assets through further investigation only. It is not to be used for any other purpose, including to identify any other assets, property boundaries or dimensions. Accordingly, the location of all assets should be proven by hand on site prior to the commencement of any work. (Refer to attached letter for further details). Assets labelled AC may contain asbestos and therefore works on these assets must be undertaken in accordance with OH&S Regulations Hydrant Title/Road Boundary **Chlorination Assembly** Electrolysis Fireplug/Washout Proposed Title/Road Water Main Valve

~ 1.0

Water Main & Services



ASSET INFORMATION - SEWER

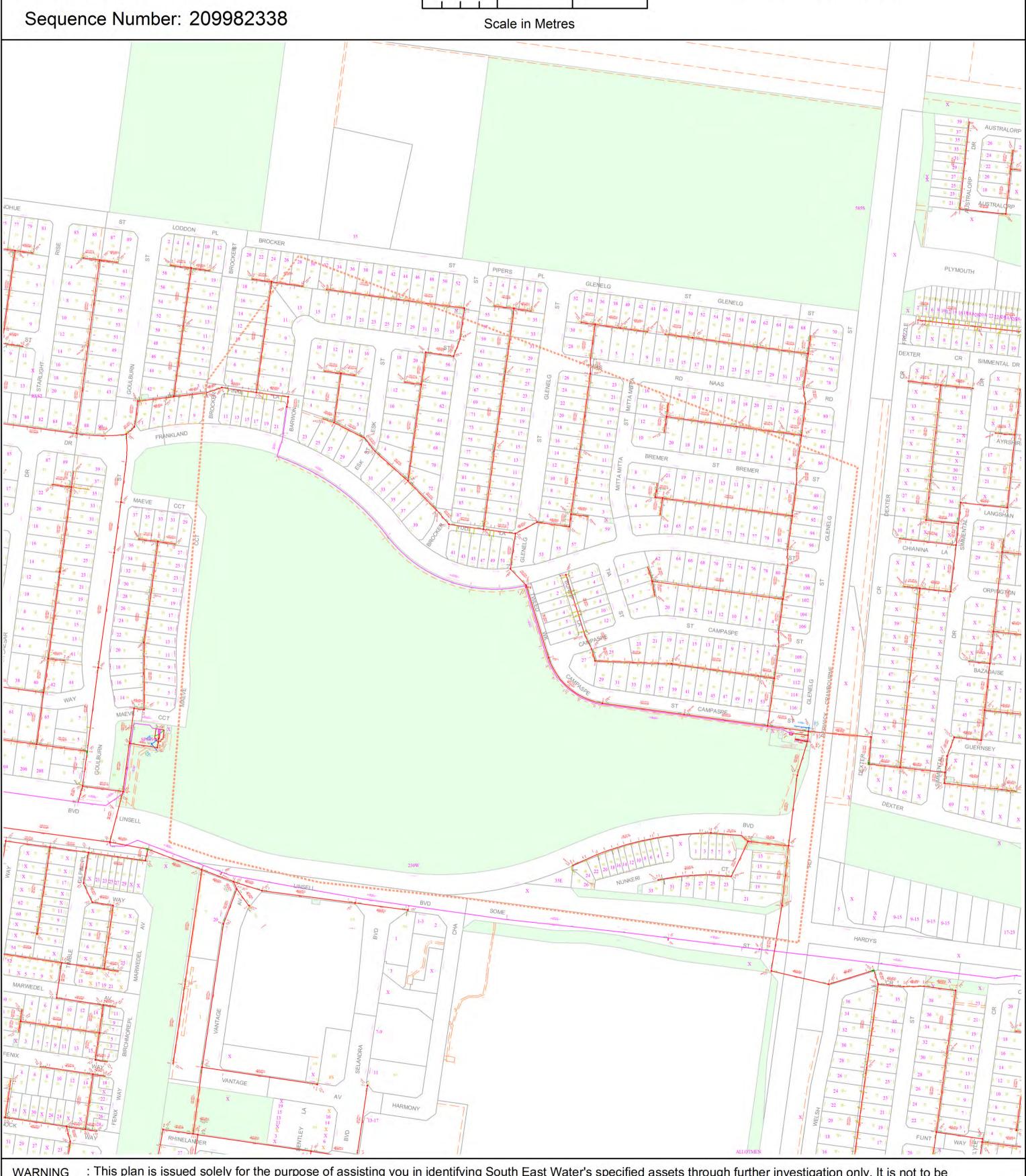
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Property: 3 Donohue Street, Cranbourne East VIC 3977

Case Number: 41270186

72 0 72 145

Date: 05 April 2022



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Title/Road Boundary
 Proposed Title/Road
 End of Pipe
 Maintenance Hole
 Inspection Shaft
 Easement
 Direction of Flow
 ✓ 225 VC
 Offset from Boundary

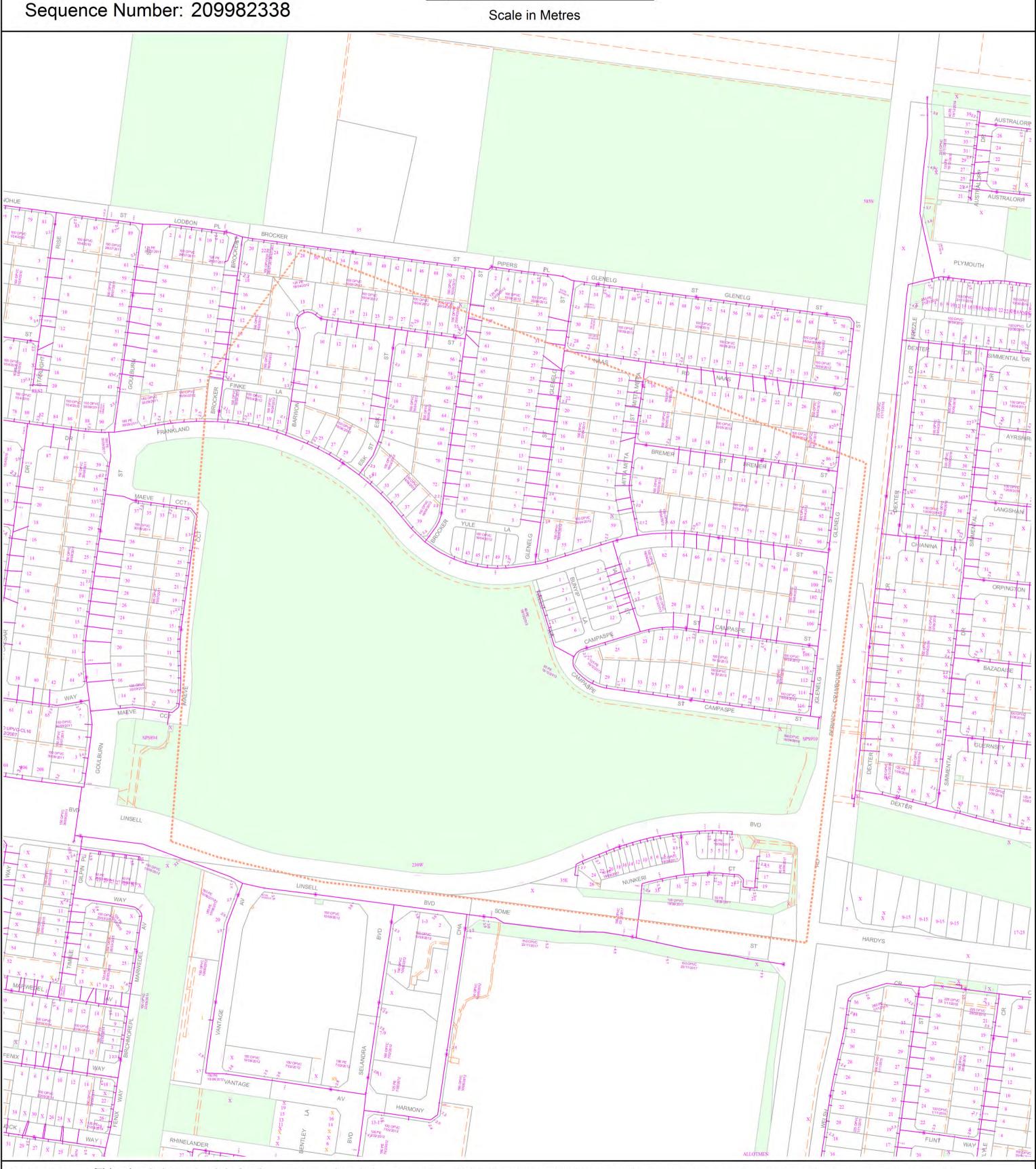


VOU DIG www.1100.com.au

Property: 3 Donohue Street, Cranbourne East VIC 3977

Case Number: 41270186

05 April 2022 Date:



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Title/Road Boundary Proposed Title/Road 100 CICL 26, 9, 1975 Easement

Recycled Water Main Valve

Chlorination Assembly

Fireplug/Washout

Hydrant

Recycled Water Main & Services







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05 APRIL 2022

Angelina Bosnjak

E-mail: 1q2npc6bqr2sj1.u4nu4pfv81119r@smarterwx-mail.1100.com.au

Dear Sir/Madam,

SEW Reference Case Number 41270201 DBYD Sequence Number: 209982332

Location: 3 Donohue Street Cranbourne East 3977

Directory: Melways 0A0

Service Requested: Asset Information Dial-Before-You-Dig

SEW Order Number: 40662955

Please find attached information regarding your application to Dial Before You Dig for Asset Information.

Care must be taken when digging in the vicinity between Water Main to meter as service pipes could exist and may not be shown on the plan.

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Yours sincerely bunkley

Martin Dunkley



ASSET INFORMATION - WATER



Property: 3 Donohue Street, Cranbourne East VIC 3977

Case Number: 41270201 05 April 2022 Date:



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Title/Road Boundary Proposed Title/Road Easement

Chlorination Assembly

Water Main & Services



Hydrant

Electrolysis

Fireplug/Washout Water Main Valve

~ 1.0



ASSET INFORMATION - SEWER

DIAL BEFORE YOU DIG www.1100.com.au

05 April 2022

Maintenance Hole

Inspection Shaft

<1.0>

Offset from Boundary

Date:

Property: 3 Donohue Street, Cranbourne East VIC 3977

Case Number: 41270201



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Direction of Flow

Sewer Main & Property Connections

End of Pipe

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works on these assets must be undertaken in accordance with OH&S Regulations

Title/Road Boundary

Proposed Title/Road

Easement





Property: 3 Donohue Street, Cranbourne East VIC 3977

Case Number: 41270201

05 April 2022 Date:

Sequence Number: 209982332 Scale in Metres 225 UPVC-CL16 24/01/2008

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Title/Road Boundary Proposed Title/Road Easement

100 CICL 26, 9, 1975

Recycled Water Main Valve Recycled Water Main & Services

Chlorination Assembly

Fireplug/Washout

Offset from Boundary

Hydrant







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05 APRIL 2022

Angelina Bosnjak

E-mail: 1q2npc6bqr2sj1.0hbg7b07klhso1@smarterwx-mail.1100.com.au

Dear Sir/Madam,

SEW Reference Case Number 41270248 DBYD Sequence Number: 209982330

Location: 3 Donohue Street Cranbourne East 3977

Directory: Melways 0A0

Service Requested: Asset Information Dial-Before-You-Dig

SEW Order Number: 40662996

Please find attached information regarding your application to Dial Before You Dig for Asset Information.

Care must be taken when digging in the vicinity between Water Main to meter as service pipes could exist and may not be shown on the plan.

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Martin Dunkley



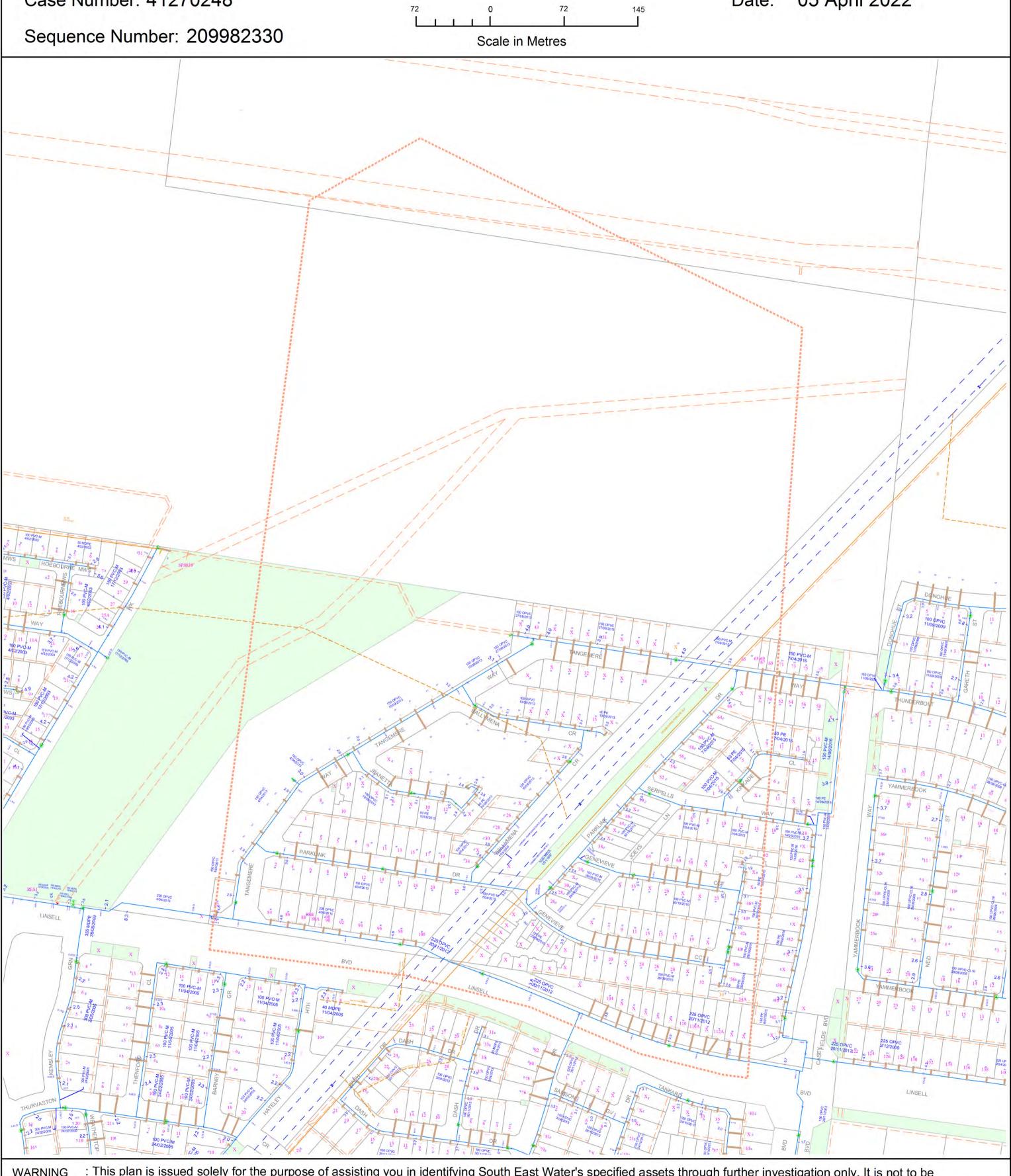
ASSET INFORMATION - WATER



Property: 3 Donohue Street, Cranbourne East VIC 3977

Case Number: 41270248

05 April 2022 Date:



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Title/Road Boundary Proposed Title/Road Easement

Chlorination Assembly



Hydrant



Water Main Valve Water Main & Services

~ 1.0

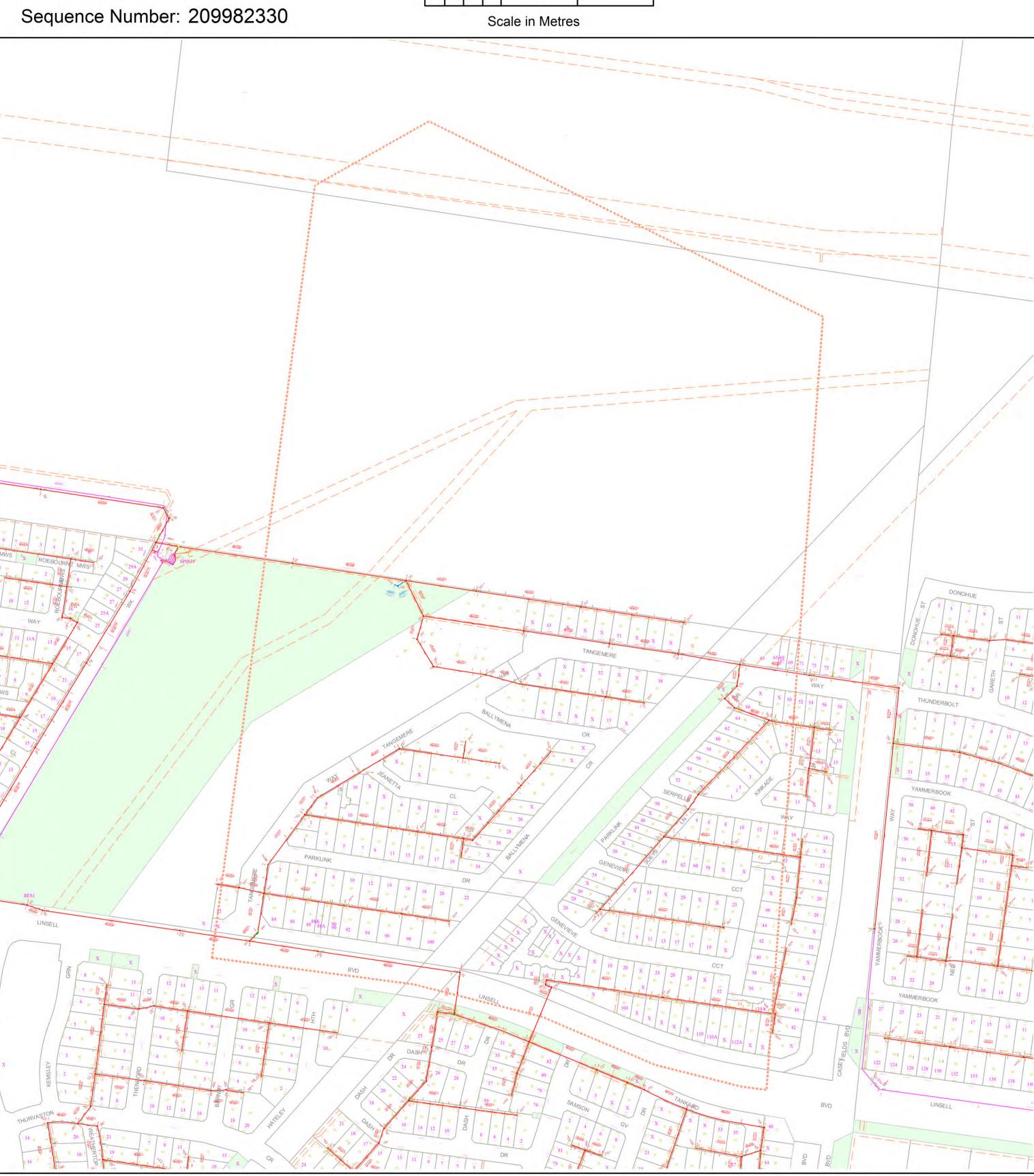
Fireplug/Washout



ASSET INFORMATION - SEWER

Property: 3 Donohue Street, Cranbourne East VIC 3977

Case Number: 41270248 05 April 2022 Date: Sequence Number: 209982330 Scale in Metres



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End of Pipe Maintenance Hole Title/Road Boundary **Sewer Main & Property Connections** Inspection Shaft Proposed Title/Road Direction of Flow <1.0> Offset from Boundary Easement

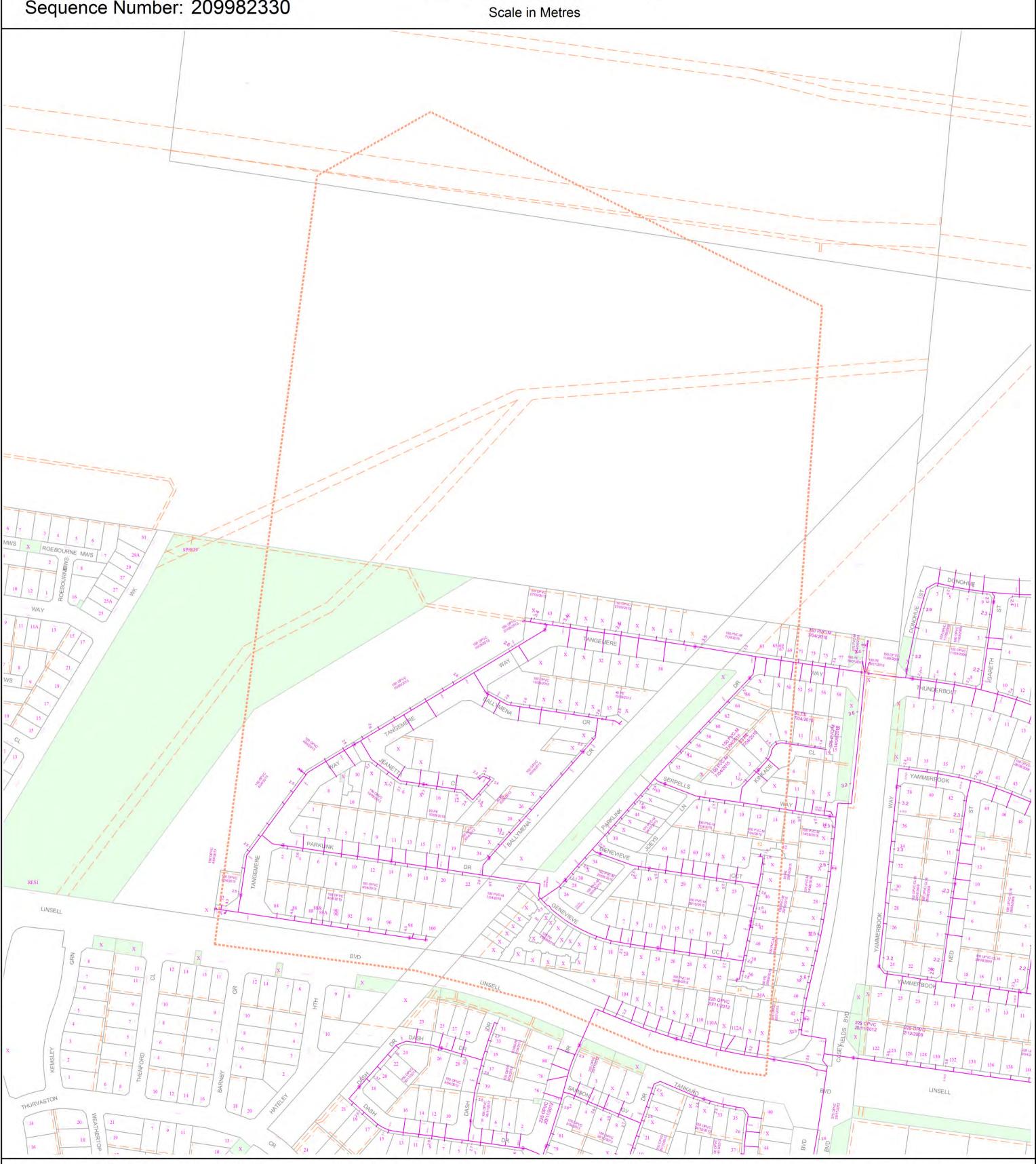


Property: 3 Donohue Street, Cranbourne East VIC 3977

Case Number: 41270248

05 April 2022 Date:

Sequence Number: 209982330



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Title/Road Boundary Proposed Title/Road Easement

Recycled Water Main Valve

Chlorination Assembly

Hydrant

Recycled Water Main & Services

Fireplug/Washout







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05 APRIL 2022

Angelina Bosnjak

E-mail: 1q2npc6bqr2sj1.sp72ebm3nvtzqv@smarterwx-mail.1100.com.au

Dear Sir/Madam,

SEW Reference Case Number 41270257 DBYD Sequence Number: 209982335

Location: 3 Donohue Street Cranbourne East 3977

Directory: Melways 0A0

Service Requested: Asset Information Dial-Before-You-Dig

SEW Order Number: 40663008

Please find attached information regarding your application to Dial Before You Dig for Asset Information.

Care must be taken when digging in the vicinity between Water Main to meter as service pipes could exist and may not be shown on the plan.

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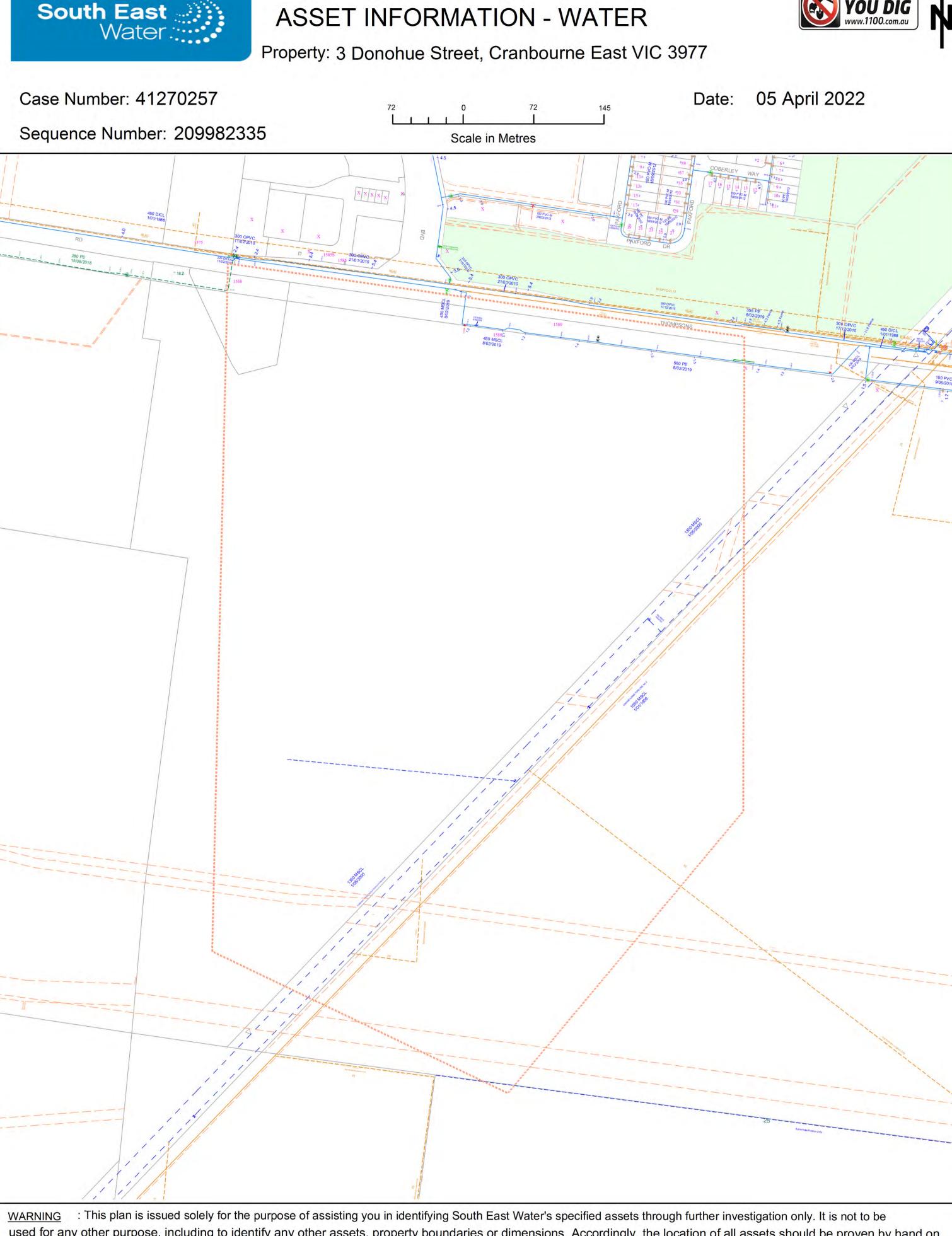
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Martin Dunkley







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Hydrant Title/Road Boundary **Chlorination Assembly** Electrolysis Fireplug/Washout Proposed Title/Road Water Main Valve Offset from Boundary ~ 1.0 Easement Water Main & Services

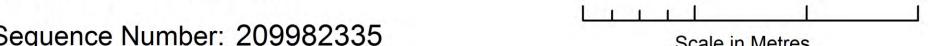


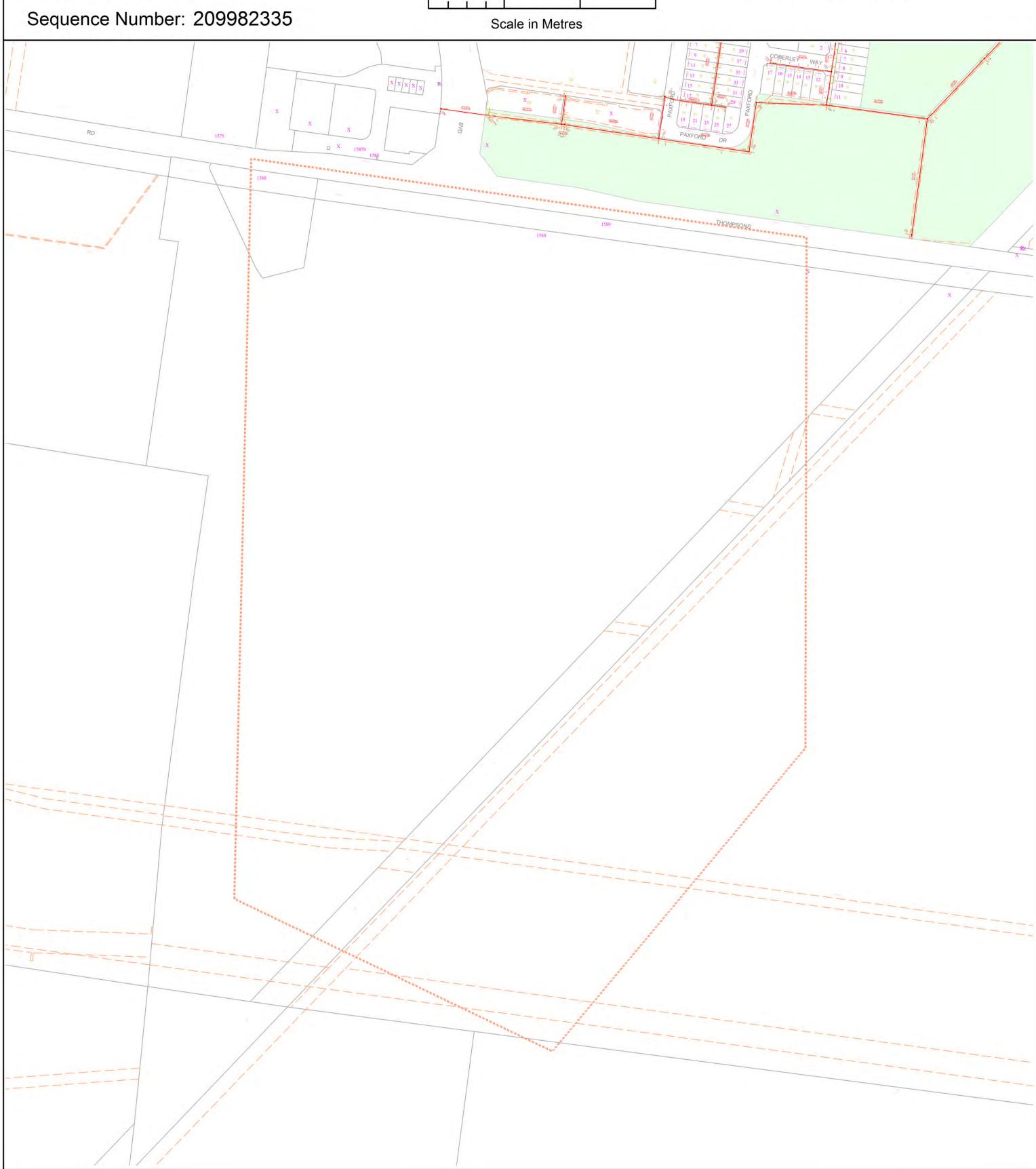
ASSET INFORMATION - SEWER



Property: 3 Donohue Street, Cranbourne East VIC 3977

Case Number: 41270257 05 April 2022 Date:





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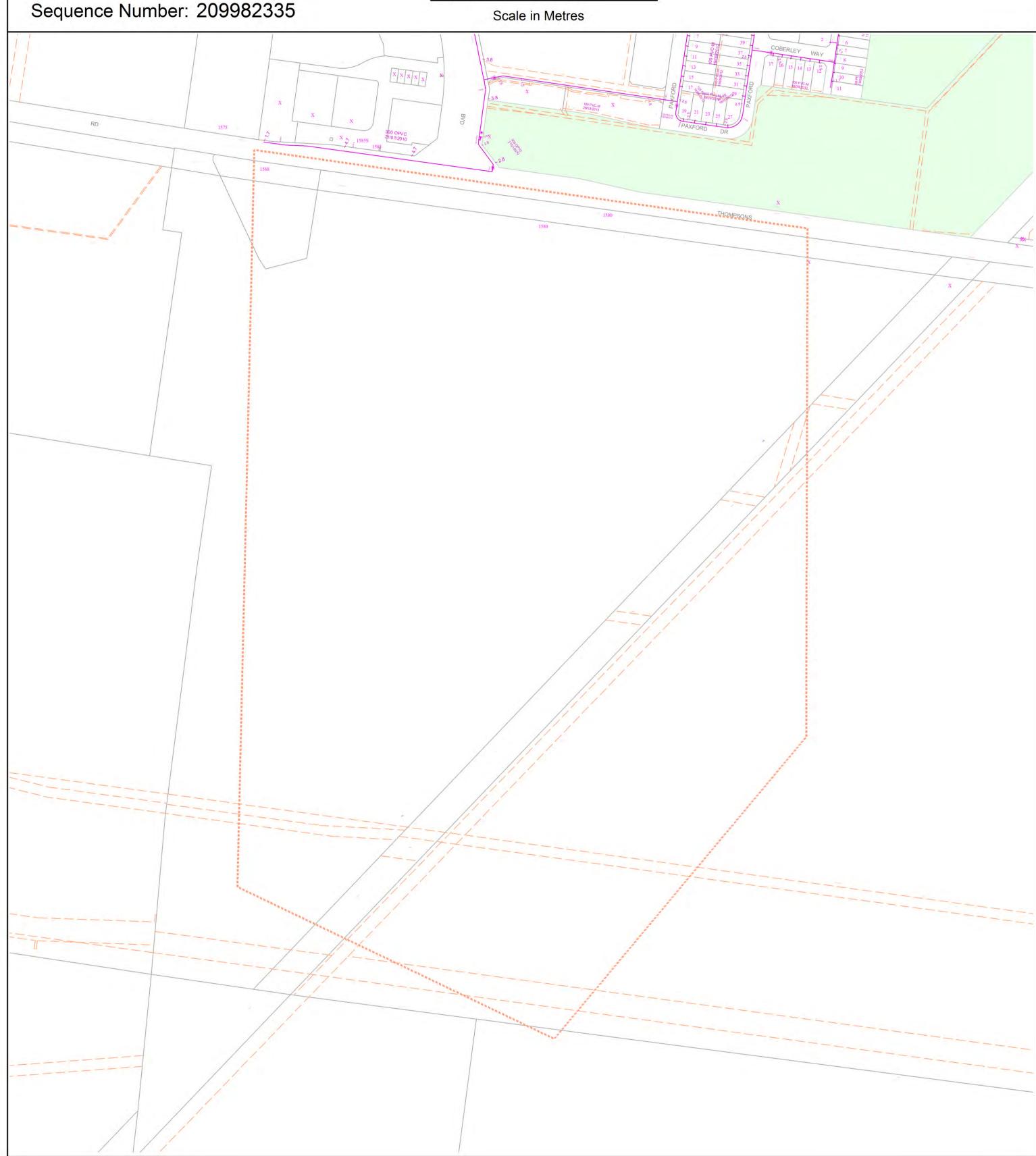
End of Pipe Maintenance Hole Title/Road Boundary Sewer Main & Property Connections Proposed Title/Road Inspection Shaft Direction of Flow Easement <1.0> Offset from Boundary



Property: 3 Donohue Street, Cranbourne East VIC 3977

Case Number: 41270257

05 April 2022 Date:



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Title/Road Boundary

Recycled Water Main Valve

Chlorination Assembly



Hydrant

Recycled Water Main & Services

Fireplug/Washout

Offset from Boundary

Proposed Title/Road







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05 APRIL 2022

Angelina Bosnjak

E-mail: 1q2npc6bqr2sj1.xc9r5e5y890873@smarterwx-mail.1100.com.au

Dear Sir/Madam,

SEW Reference Case Number 41270266 DBYD Sequence Number: 209982333

Location: 3 Donohue Street Cranbourne East 3977

Directory: Melways 0A0

Service Requested: Asset Information Dial-Before-You-Dig

SEW Order Number: 40663017

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Yours sincerely bunkley

Martin Dunkley

South East Water **ASSET INFORMATION - WATER** Property: 3 Donohue Street, Cranbourne East VIC 3977 Case Number: 41270266 05 April 2022 Date: Sequence Number: 209982333 Scale in Metres

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ASSET INFORMATION - SEWER

DIAL BEFORE YOU DIG www.1100.com.au

Property: 3 Donohue Street, Cranbourne East VIC 3977

Case Number: 41270266

Sequence Number: 209982333

Scale in Metres

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Title/Road Boundary
 Proposed Title/Road
 Easement
 End of Pipe
 Maintenance Hole
 Inspection Shaft
 Offset from Boundary



Property: 3 Donohue Street, Cranbourne East VIC 3977

Case Number: 41270266 05 April 2022 Date: Sequence Number: 209982333 Scale in Metres

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Title/Road Boundary Proposed Title/Road Easement

Recycled Water Main Valve Recycled Water Main & Services

Chlorination Assembly

Fireplug/Washout

Offset from Boundary

Hydrant







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05 APRIL 2022

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E-mail: 1q2npc6bqr2sj1.edu9ouxkivcfw3@smarterwx-mail.1100.com.au

Dear Sir/Madam,

SEW Reference Case Number 41270284 DBYD Sequence Number: 209982341

Location: 3 Donohue Street Cranbourne East 3977

Directory: Melways 0A0

Service Requested: Asset Information Dial-Before-You-Dig

SEW Order Number: 40663035

Please find attached information regarding your application to Dial Before You Dig for Asset Information.

Care must be taken when digging in the vicinity between Water Main to meter as service pipes could exist and may not be shown on the plan.

Any damage done to Utility assets will result in those responsible being billed for the repair work

Any works within the vicinity of a South East Water asset must conform with the guidelines specified in the documents '<u>Protection of South East Water Supply Assets</u>' and/or '<u>Protection of South East Water Sewerage Assets</u>'. Formal consent from South East Water is required where works are planned within one metre of an asset. General conditions are outlined in the document <u>Guidelines for Proposed Works Over / Adjacent to Water Authority Assets up to and including 225 diameter.</u>

Where works are planned within one metre of an asset, an application is required to be submitted through South East Water's online application portal, <u>PropertyConnect</u>. Formal consent or advice will be provided in response after review of the application.

IMPORTANT:

South East Water shall not have any warranty and makes no representation or guarantee as to the accuracy or scale of these plans. South East Water does not accept any liability for any loss, damage or inquiry by any reason as a result of inaccuracy in these plans.

The location of assets must be proved in the field by the applicant prior to the commencement of work. These plans do not indicate private services. Internal private sewer drains marked on PSP's can be obtained through the SEW website.

Assets labelled AC may contain asbestos and therefore works on these assets must be undertaken in accordance with OH&S regulations.

Metallic water mains and associated fittings may pose an electrocution hazard if electrical earth wires have been connected to the property service or water main.

Please be aware that works such as ground anchors, pile driving and site retention have special conditions and works must not commence without formal consent from South East Water.

Access to any South East Water asset i.e maintenance structure, must only be undertaken by an accredited contractor with prior consent.

For mobile maps SEWmap use our free downloadable mobile map app that provides access to our property, water, Sewer and recycling assets, look for it on the South East Water website.



The plans accompanying this letter are issued solely for asset identification purposes and should not be used for any other purpose. South East Water provides the information it has on Sewer, Water and Recycled Water assets, but does not guarantee the accuracy of information and therefore the location of all assets must be proven on site prior to the commencement of any works.

South East Water will not accept claims associated with any incorrect or incomplete information being contained on the plan. Due to ongoing potential asset changes this plan should not be reused at a later date, a new plan should be obtained.

Yours sincerely bunkley

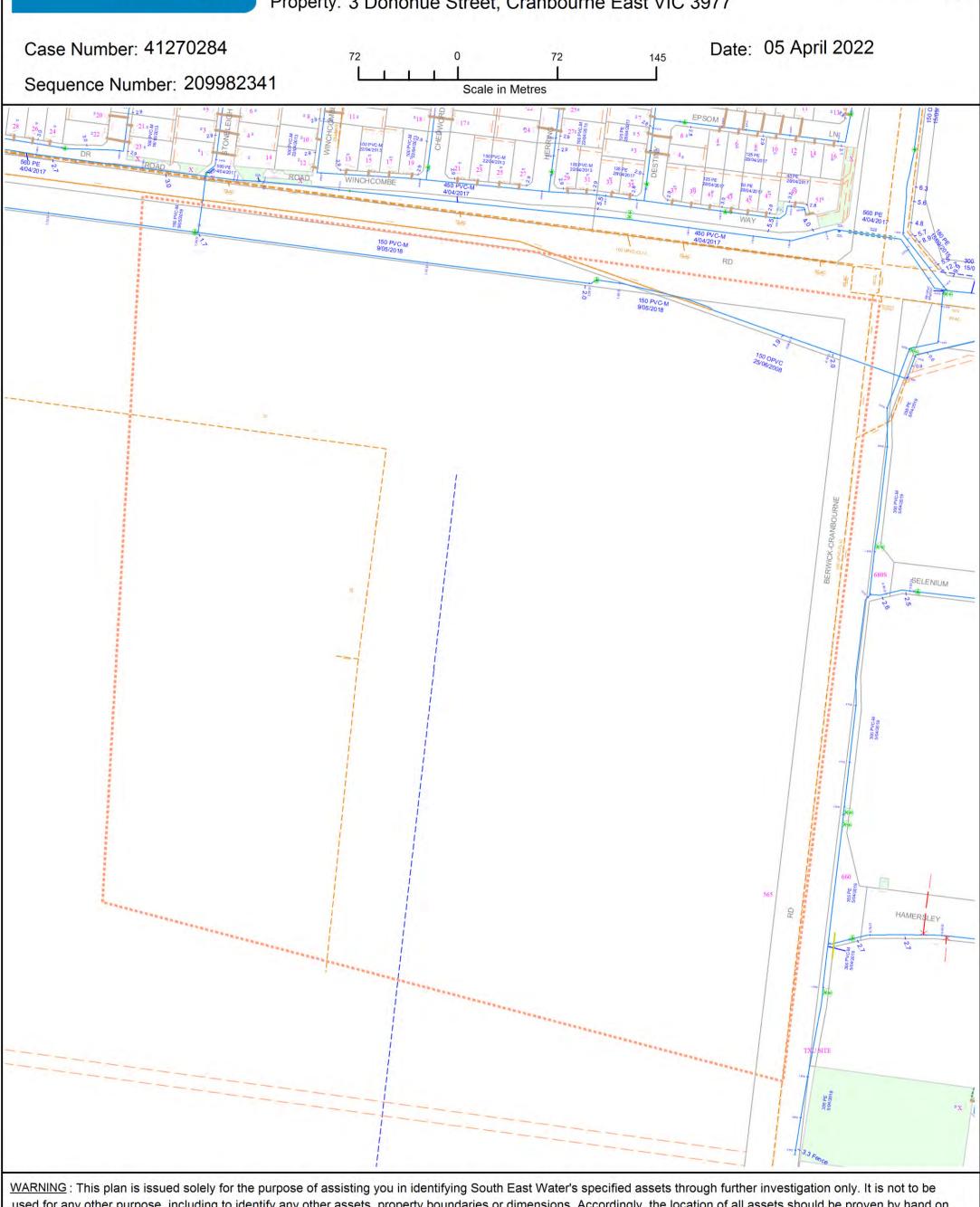
Martin Dunkley



ASSET INFORMATION - WATER

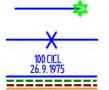


Property: 3 Donohue Street, Cranbourne East VIC 3977



used for any other purpose, including to identify any other assets, property boundaries or dimensions. Accordingly, the location of all assets should be proven by hand on site prior to the commencement of any work. (Refer to attached letter for further details). Assets labelled AC may contain asbestos and therefore works on these assets must be undertaken in accordance with OH&S Regulations Title/Road Boundary Hydrant Electrolysis

Proposed Title/Road Easement



Chlorination Assembly

Water Main & Services

Water Main Valve



Offset from Boundary

Fireplug/Washout

South East Water

ASSET INFORMATION - SEWER



Property: 3 Donohue Street, Cranbourne East VIC 3977 Date: 05 April 2022 Case Number: 41270284 145 Sequence Number: 209982341 Scale in Metres **EPSOM** ROAD WINCHCOMBE SELENIUM RD HAMERSLEY

<u>WARNING</u>: This plan is issued solely for the purpose of assisting you in identifying South East Water's specified assets through further investigation only. It is not to be used for any other purpose, including to identify any other assets, property boundaries or dimensions. Accordingly, the location of all assets should be proven by hand on site prior to the commencement of any work. (Refer to attached letter for further details). Assets labelled AC may contain asbestos and therefore works on these assets must be undertaken in accordance with OH&S Regulations

Title/Road Boundary

Proposed Title/Road

Sewer Main & Property Connections

Inspection Shaft

Direction of Flow

Calculate the Maintenance Hole

Inspection Shaft

Calculate the Maintenance Hole

Inspection Shaft

Calculate the Maintenance Hole

Offset from Boundary



YOU DIG

Property: 3 Donohue Street, Cranbourne East VIC 3977

Case Number: 41270284

145

05 April 2022 Date:

Sequence Number: 209982341 Scale in Metres SELENIUM RD HAMERSLEY

WARNING : This plan is issued solely for the purpose of assisting you in identifying South East Water's specified assets through further investigation only. It is not to be used for any other purpose, including to identify any other assets, property boundaries or dimensions. Accordingly, the location of all assets should be proven by hand on site prior to the commencement of any work. (Refer to attached letter for further details). Assets labelled AC may contain asbestos and therefore works on these assets must be undertaken in accordance with OH&S Regulations

Title/Road Boundary _____ Proposed Title/Road _____ Easement

Recycled Water Main Valve

Chlorination Assembly



Fireplug/Washout

Hydrant

Recycled Water Main & Services

~ 1.0







Frankston VIC 3199 PO Box 2268

Seaford VIC 3198 Australia

Telephone +61 39552 3000

southeastwater.com.au

05 APRIL 2022

Angelina Bosnjak

E-mail: 1q2npc6bqr2sj1.55mxwvacum4xe8@smarterwx-mail.1100.com.au

Dear Sir/Madam,

SEW Reference Case Number 41270305 DBYD Sequence Number: 209982331

Location: 3 Donohue Street Cranbourne East 3977

Directory: Melways 0A0

Service Requested: Asset Information Dial-Before-You-Dig

SEW Order Number: 40663053

Please find attached information regarding your application to Dial Before You Dig for Asset Information.

Care must be taken when digging in the vicinity between Water Main to meter as service pipes could exist and may not be shown on the plan.

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Where works are planned within one metre of an asset, an application is required to be submitted through South East Water's online application portal, <u>PropertyConnect</u>. Formal consent or advice will be provided in response after review of the application.

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For mobile maps SEWmap use our free downloadable mobile map app that provides access to our property, water, Sewer and recycling assets, look for it on the South East Water website.



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Yours sincerely bunkley

Martin Dunkley



ASSET INFORMATION - WATER



Property: 3 Donohue Street, Cranbourne East VIC 3977 Case Number: 41270305 05 April 2022 Date: Sequence Number: 209982331 Scale in Metres WARNING : This plan is issued solely for the purpose of assisting you in identifying South East Water's specified assets through further investigation only. It is not to be used for any other purpose, including to identify any other assets, property boundaries or dimensions. Accordingly, the location of all assets should be proven by hand on site prior to the commencement of any work. (Refer to attached letter for further details). Assets labelled AC may contain asbestos and therefore works on these assets must be undertaken in accordance with OH&S Regulations Title/Road Boundary Hydrant **Chlorination Assembly** Electrolysis

Water Main Valve

Water Main & Services

Proposed Title/Road

Easement

Fireplug/Washout

~ 1.0



ASSET INFORMATION - SEWER



Property: 3 Donohue Street, Cranbourne East VIC 3977

Case Number: 41270305 Date: 05 April 2022



<u>WARNING</u>: This plan is issued solely for the purpose of assisting you in identifying South East Water's specified assets through further investigation only. It is not to be used for any other purpose, including to identify any other assets, property boundaries or dimensions. Accordingly, the location of all assets should be proven by hand on site prior to the commencement of any work. (Refer to attached letter for further details). Assets labelled AC may contain asbestos and therefore works on these assets must be undertaken in accordance with OH&S Regulations

Title/Road Boundary
 Proposed Title/Road
 End of Pipe
 Maintenance Hole
 Inspection Shaft
 Easement
 Direction of Flow
 ✓ 225 VC
 Offset from Boundary



ASSET INFORMATION - RECYCLED WATER

DIAL BEFORE YOU DIG www.1100.com.au

Property: 3 Donohue Street, Cranbourne East VIC 3977

Case Number: 41270305

72 0 72 145

Date: 05 April 2022



WARNING: This plan is issued solely for the purpose of assisting you in identifying South East Water's specified assets through further investigation only. It is not to be used for any other purpose, including to identify any other assets, property boundaries or dimensions. Accordingly, the location of all assets should be proven by hand on site prior to the commencement of any work. (Refer to attached letter for further details). Assets labelled AC may contain asbestos and therefore works on these assets must be undertaken in accordance with OH&S Regulations

----- Title/Road Boundary
----- Proposed Title/Road
----- Easement

100 CICL 26. 9. 1975 Chlorination Assembly



Hydrant

Recycled Water Main Valve
Recycled Water Main & Services

Fireplug/Washout

1.0 Offset from Boundary

Quick tip:

For information on underground assets, please call Dial Before You Dig on 1100

Structures Near Assets

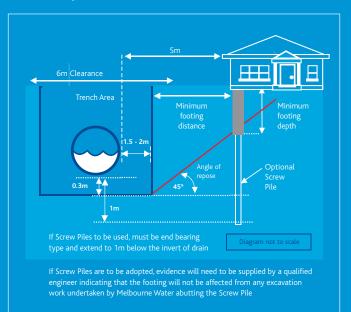
Structures built near assets are required to meet Melbourne Water's foundation criteria and overland flow path standard clearance requirements to ensure the safety of the proposed structures and existing pipe networks.

Structures on or above assets

Generally structures are not permitted over Melbourne Water assets, however some structures may be approved if minimum clearance conditions are met, the structure is non-permanent and can be fully removed. Eaves and overhangs are not permitted.

Angle of Repose

The below diagram shows how to calculate minimum footing depth and footing distance. Footings must meet or exceed these minimum requirements



What Needs Approval?

All structures to be built/dismantled near a Melbourne Water asset require Melbourne Water's approval and consent. Examples of structures that require approval include:

- Sheds
- Swimming Pools
- Gazebo/Decking/Verandas
- Landscaping/Excavating
- Tree planting/removal
- Fences
- Garages
- Car Ports
- Driveways
- Houses/extensions
- Demolition and Earthworks
- Any type of structure/works

Please note: This does not preclude the need to obtain other relevant approvals and operation of other legislations, eg: SBO, LSIO.

Who do I contact?

This brochure is a general guide. Not all structures have been listed in this brochure. Please contact Melbourne Water – Asset Services for further information regarding structure requirements, build-over agreements and conditions. Applications can be posted to:

Postal address: Asset Services Melbourne Water Corporation PO Box 4342 Melbourne Victoria 3001 ISBN 978-921603-50-1 (print) ISBN 978-921603-49-5 (web)

Email address: assetservices@melbournewater.com.au

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Web Site:

www.melbournewater.com.au

General Melbourne Water Enquiries 131722 Asset Services Enquiries 9679 6614

Version 2: June 2009

Melbourne Water

Build Over Guide







Melbourne Water must give consent for any structure to be built over or near any of its underground assets or easements.

What is a Build Over?

A build over is when a property owner plans to build near, on or above an easement, pipe or other asset* controlled by Melbourne Water. A legally binding Build Over Agreement is entered into by Melbourne Water and the property owner giving consent for the structure to be built, yet protecting Melbourne Water's continuous rights of access.

- *Assets include:
- Fasements

Water mains

Sewage pipes

- Access pits/Man holes.
- Drainage pipes and Channels

Melbourne Water must protect its rights of access to ensure it is able to fulfil its statutory obligations relating to the installation and maintenance of assets.

For any new subdivision, Melbourne Water will seek as a minimum to have a 6m easement located centrally over the asset.

Each build over application is considered on a case-by-case basis, as there are a number of factors that may effect each proposal:

· Ground conditions

- Foundation clearance
- Pipe: type, size, condition, age
- Overland flow path
- · Proposed structure clearance
- Load impacts on assets

General Structure Requirements (Residential Purposes)

- No private underground services are to be laid within an easement However, consideration may be given to services crossing the asset.
- A horizontal clearance of a minimum 5 metres is required if a structure is adjacent to a drainage channel.
- No structure must place additional load on the asset. For all structures the depth of the footings must be adequate to satisfy the angle of repose relative to the asset. Refer over page.
- Setback of buildings (including footings and eaves) shall be the greater of the following criteria:
- Must be set outside the easement, or
- A minimum offset of 5 metres horizontally clear of the outside edge of the assets.1 (Under section 148 Water Act)
- A horizontal clearance of **2 metres** is required for utility services adjacent to a Melbourne Water access pit
- Small sheds proposed with maximum floor area within the easement less than 4m² will be considered, dependant on overland flow requirements
- A minimum soil cover of 850mm must be maintained over the asset.
- Acceptable hardstand areas are new Bubbulle pavers set on a sand and crushed rock base, or
- · Concrete driveways (domestic) not exceeding a 100mm thickness.

Approval will not be granted if the proposed structure obstructs overland flow. Guidelines for development in flood prone areas can be found at melbournewater.com.au

Industrial/Commercial Property

· No building/structure will be considered within any easement or 5 metres either side of Melbourne Water's asset.

Utility Installation

Separate conditions are applicable for utility cables/pipe installations near, or crossing Melbourne Water assets/easements. Refer to Melbourne Water's Utilities Installation Brochure or contact Melbourne Water – Land Management for further information.

Build over application

Any submitted build over applications should include the following information:

- Completed build over application form*
- · Structure type and specifications
- · Structure location within the property
- General dimensions and clearances
- Footing details (type/depth etc)
- Survey plans of the property

Build over submissions will attract a standard application fee.

*Build over application forms can be found at melbournewater.com.au

¹ For site specific restrictions, case by case will be considered.















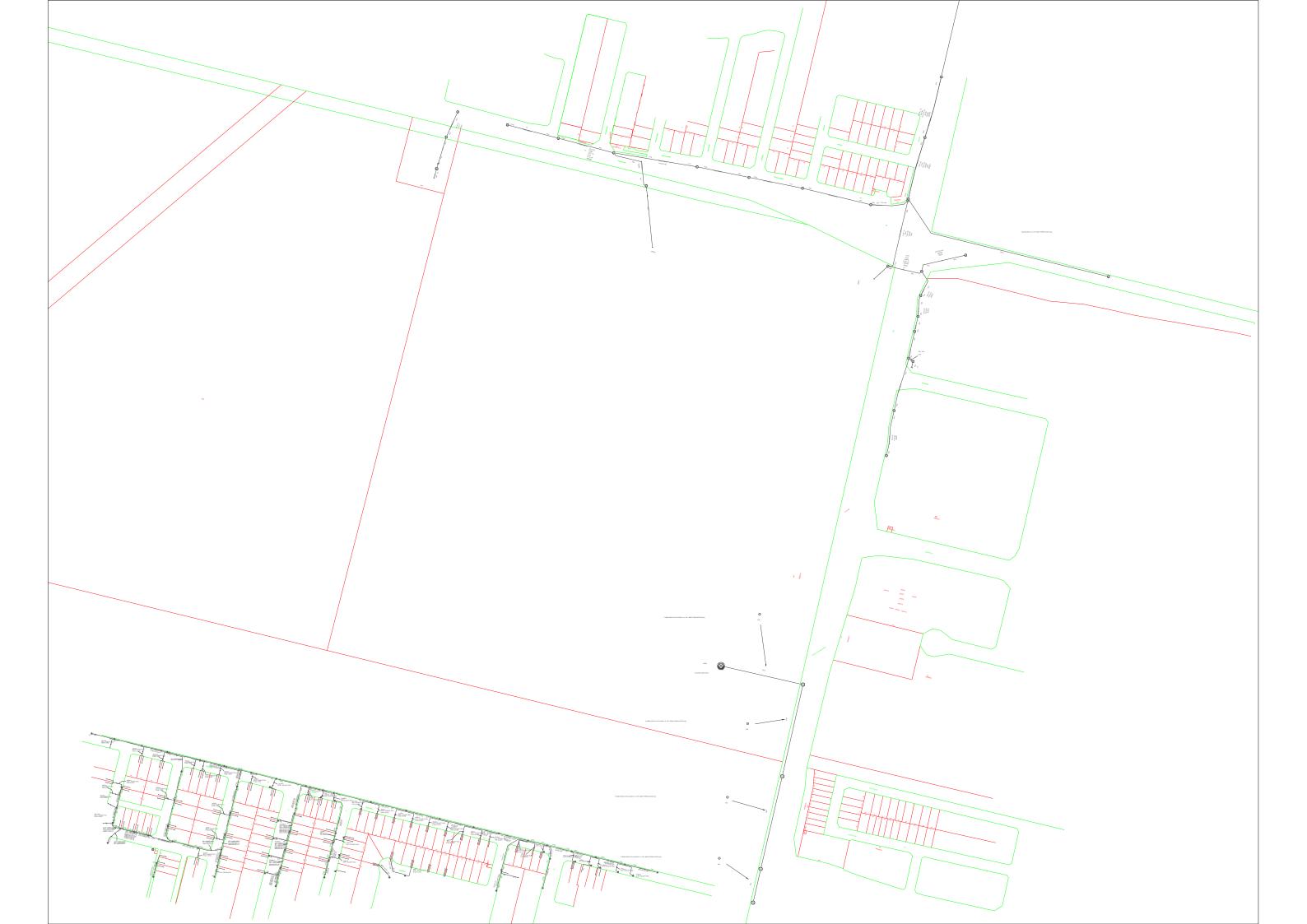


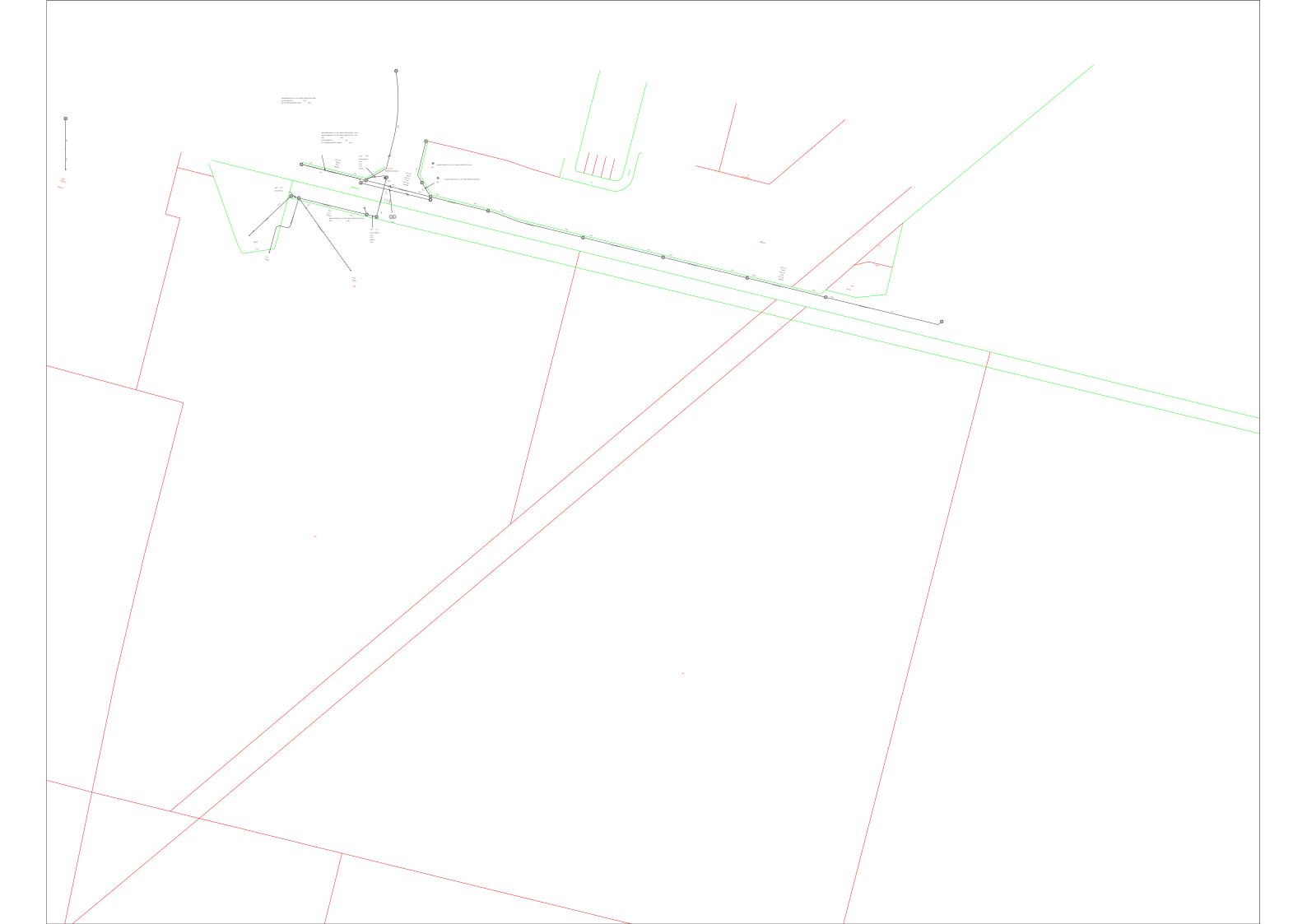




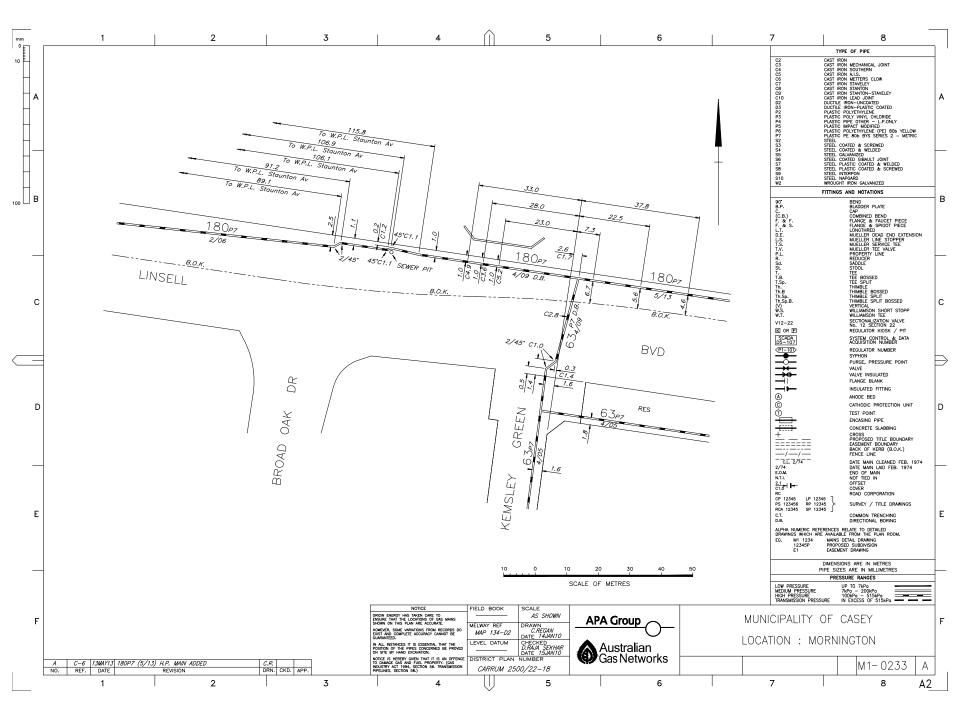


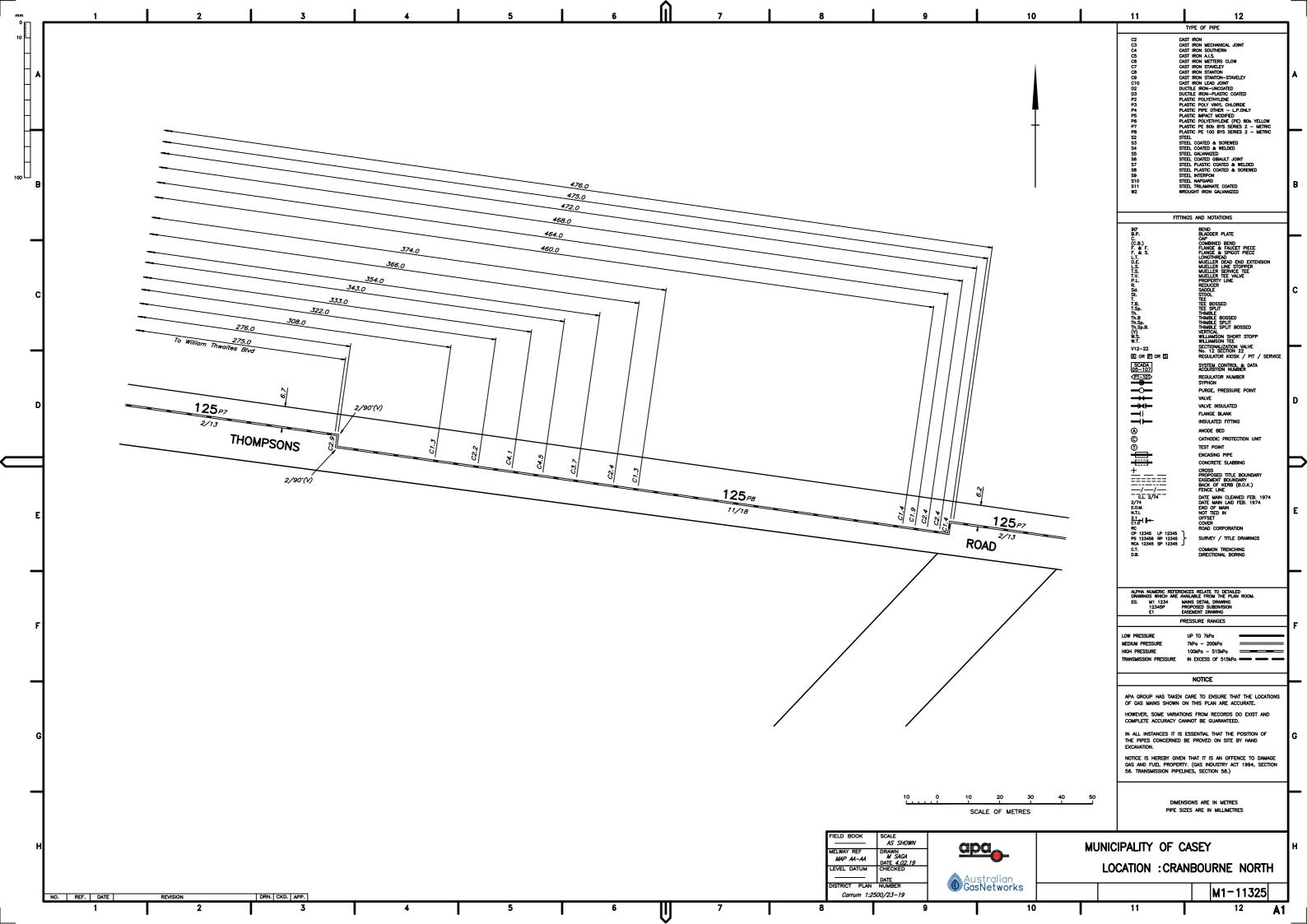














Re: Dial Before You Dig - Sequence No 213299435

Dear Angelina Bosnjak,

Location Details

Address: 37 Brocker Street

Clyde North VIC 3978

Activity: Non-Destructive Digging Commencement Date: 29 July 2022

According to our records your enquiry with the above details **does impact** our infrastructure. Please review other documents included with this response for additional detail.

Melbourne Water Corporation (MWC) shall not be responsible or otherwise liable in any way for loss of any kind including, without limiting the generality of the foregoing damages, costs, interest, loss of profits or special loss or damage arising from any error, inaccuracy, incompleteness or other defect in this information.

Please note, the attached plans do not constitute approval from Melbourne Water.

Please email <u>DBYD@melbournewater.com.au</u> for detailed asset locations allowing at least 5 business days.

If planning to undertake work over, under or near any Melbourne Water assets please contact our **Asset Services Team**via **Customer Service** on **131 722** or at http://melbournewater.com.au/constructingnearassets
at least **14 days prior** to the **commencement** of **any** work.

By receiving and accepting this information the recipient acknowledges that Melbourne Water Corporation makes no representation as to the accuracy or completeness of this information. The exact location of Melbourne Water Corporation's assets as set out in this information should be confirmed on site by the recipient prior to the commencement of work.

Please Note: Due to ongoing potential asset changes the attached plan/s is/are valid for 28 days from the date of issue. After that period the plan/s should not be used, rather a new plan should be obtained.

Warning: Assets may contain asbestos material and therefore works on these assets must be undertaken in accordance with OHS (asbestos) Regulations.

Melbourne Water Corporation provides wholesale Water Supply and Sewerage services to City West Water, South East Water and Yarra Valley Water, who in turn provide local residents with Water Supply and Sewerage services. MWC, in conjunction with Local Government, manage Melbourne's drainage infrastructure. Local councils maintain the local drainage infrastructure, while MWC provides the major infrastructure.

The attached plans only show MWC's assets and not all Water Supply, Sewerage and Drainage pipelines.

For location of local Water Supply and Sewer pipelines please contact:

City West Water 13 26 42 South East Water 9552 3770 Yarra Valley Water 1300 651 511

For location of local Drainage pipelines please contact the relevant Council.

Melbourne Water respects the privacy of your personal information and we collect and handle it in accordance with Victoria's Privacy laws. You may access your personal information at Melbourne Water. Contact our Privacy Officer: phone 131 722, email enquiry@melbournewater.com.au.

Melbourne Water Corporation

Melbourne Water Corporation Address: 990 La Trobe Street, Docklands Postal Address: PO Box 4342, Melbourne, VIC 3001 131 722



While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither Melbourne Water Corporation or SmarterWX shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.

Quick tip:

For information on underground assets, please call Dial Before You Dig on 1100

Workplace Safety

If utilities are being installed under/near natural or artificial waterways, contractors will be required to address the following issues:

- Method of waterway/stream diversion
- Evacuation procedures for people and machinery in the event of heavy rainfall or flooding
- Compliance with Victorian Workcover Authority requirements.

Application Submissions

All utility installation applications should include the following information:

- Property address and location
- Proposed works and specifications
- Alignment/location of works
- Dimensions and clearances
- Method of installation
- Survey plans of the property
- Workplace safety requirements if applicable

Utility installation submissions will attract a standard application fee.

Please note: This does not preclude the need to obtain other relevant approvals and operation of other legislations, eg: SBO, LSIO.

Contacts and Queries

This brochure is a general guide for utility installation only. Melbourne Water approval must be acquired before any excavation or installation occurs.

Who do I contact?

This brochure is a general guide. Not all structures have been listed in this brochure. Please contact Melbourne Water - Asset Services for further information regarding structure requirements, build-over agreements and conditions. Applications can be posted to:

Postal address: Asset Services Melbourne Water Corporation PO Box 4342 Melbourne Victoria 3001 ISBN 978-921603-48-8 (print) ISBN 978-921603-47-1 (web)

Email address: assetservices@melbournewater.com.au

Web Site: www.melbournewater.com.au

General Melbourne Water Enquiries 131722 Asset Services Enquiries 9679 6614 Version 2: June 2009



Utility installation Near Melbourne Water Assets Guide







Melbourne Water must give approval before any installation of utilites or excavation occurs.

Utility Installation

This brochure is a general guide when considering utility installations aligned across or parallel to a Melbourne Water asset. Melbourne Water assets include:

- Sewage pipes
- Stormwater/drainage pipes
- Water mains
- · Natural and artificial channels

Before any installation or excavation occurs Melbourne Water approval is required. This enables consent to be given for the proposed works while protecting Melbourne Water's continuous rights of access.

Detailed plans and a formal application must be submitted to Melbourne Water for investigation.

Clearance Requirements

All clearances are measured from the exterior surfaces of pipe/channel walls, not centrelines or inner wall surfaces. Vertical clearances for natural streams are measured from the base of the hard invert level. Clearance requirements are set considering method of installation, soil conditions, asset type, size and age.

Please Note

Separate clearance guidelines are followed for property development structures and tree planting near Melbourne Water assets.

Underground Assets

Open Cut - Involves excavating soil to form a trench, enabling new infrastructure to be laid/ repaired/ removed, and is then backfilled. General Melbourne Water requirements are:

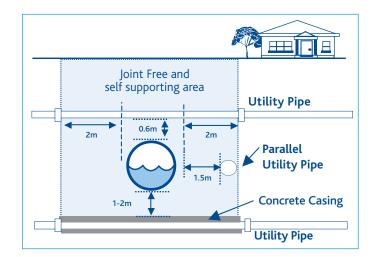
- A 1.0 metre minimum vertical clearance between the utility and asset
- Concrete cut-offs must be constructed
- · Soil compaction to 95% 98%
- Ground surface to be returned to original condition as per Melbourne Water requirements

Passing over pipes

- Any utility must be self-supporting in the event maintenance is undertaken on the Melbourne Water asset
- Minimum vertical clearance of 0.6 metres above asset
- No joints to be located within **2.0 metres** of the asset (must be outside the joint free area refer to diagram).

Passing under pipes

- Must be cased in concrete or similar protective material
- Must have a minimum clearance of 1.0m for open cut and 2.0m for boring installation methods
- No joints to be located within 2.0 metres of the asset (must be outside the joint free area refer to diagram)



Waterways and Constructed Channels

Boring - Involves a small tunnel being drilled through soil enabling new infrastructure to be laid. General Melbourne Water requirements are:

- For all waterways boring is the preferred method*
- Engineering calculations must be supplied to confirm no soil up thrust/down thrust occurs.
- No settlement is to occur following installation air pockets are to be avoided.
- Must have a minimum vertical clearance of 2.0 metres, measured from the hard invert level of the bed of the waterway/channel.
- Manholes/parallel utilities require a horizontal clearance of 5-10 metres from the bed and bank area for future channel/waterway works or maintenance.
- No joints are permitted under the channel/waterway or within 5.0 metres from the bed and bank area.
- Developer/Contractor must investigate and ensure legal requirements are met regarding significant flora, fauna and archaeological sites of significance.
- Disturbance to waterways/land/vegetation will be kept to a minimum and the affected areas replanted/reinstated upon completion of the works.
- *If boring is not possible the following submissions are required to support any altered proposals:
- Geotechnical Survey
- Environmental Report

