

SMALL LOT HOUSING CODE

Practice Note

NOVEMBER 2024



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Version history

Document	Purpose
Small Lot Housing Code Practice Note, 2014	Introduced in 2014.
Small Lot Housing Code Practice Note, 2019	Previous version of the Small Lot Housing Code Practice Note updated.
Small Lot Housing Code Practice Note, 2024	Updates Type A and B Standards, and introduces Type C.

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Purpose

The purpose of this Practice Note is to provide clarification of the Standards established in the Small Lot Housing Code (the Code). This Practice Note is not intended as a substitute for making direct reference to the relevant Standards in the Code.



Definitions

The definitions at the beginning of the Code apply to all Standards in the Code unless an alternative definition is detailed at a particular standard.

Background

The Code applies to the construction of a house and associated outbuildings where the Code has been incorporated into the planning scheme and where the lot is identified to be assessed against the Code via a restriction on title. The Code encourages one to three storey houses for Type A and Type B allotments and up to 4 storey houses for Type C allotments, that can be attached, semi-detached or detached housing on lots less than 300m². There are no minimum lot sizes under the code.

The Code is not mandatory, as a developer or house builder can opt to use existing planning permit processes, however if the Standards in this Code are met it eliminates the need for planning permits even for houses on lots less than 300m² in area.

The Standards are prescriptive - a Standard is either met or not met. The Standards establish an envelope that deals with all the siting matters covered Part 5 of the *Building Regulations 2018*. The Code also includes some Standards that are not prescribed in Part 5 of the *Building Regulations 2018* but are required to be met for the dwelling to be considered compliant with the Code. There are no options, discretions or variations involved in this code however the current planning permit process can be used for houses that do not meet the Standards.

How is the Code implemented?

The mechanism that activates the use of the Code is set out in the Schedule to the Urban Growth Zone (UGZ) or in another Special Purpose Zone. The Schedule provides that a planning permit is not required to construct one dwelling on a lot with an area less than 300 square metres where a site is identified on a certified plan of subdivision as a lot to be assessed against the Small Lot Housing Code via a restriction on title, and it complies with the Code. The restriction should identify each lot as "Type A", "Type B" or "Type C" under the Code as updated in 2023. Approval for the construction of housing that meets all the Standards is required from a certified Building Surveyor, in the form of a building permit issued by a Building Surveyor.

Before determining the applicable Standards the designation of the allotment as Type A, Type B or Type C must be obtained from the plan of subdivision.

VPA role in the Small Lot Housing Code

The VPA prepared the **Small Lot Housing Code** and this **Practice Note**, however the VPA cannot provide specific advice on whether applications meet the code or specific Standards of the code, which is the role of the building surveyor. The VPA are able to assist with interpretations, however the responsibility of compliance and issuing of certificates sits with the appointed Building Surveyor.

Exception concerning approved building envelopes

The Standards in the Code establish a building envelope for a single Class 1a building and associated Class 10 buildings on an allotment. If an adjoining allotment is not subject to the Code or is not shown on the same certified plan of subdivision, then regulations 79, 80, 81, 82, 83, 84, 90, 91, 05, 06 of the *Building Regulations 2018* apply to the extent that they relate to the adjoining allotment.

Part 1 – Type A and B standards

Single Class 1a Buildings and Associated Class 10a Buildings



Standards 1–24 apply to lots nominated as Type A or B.
Standards 25–57 apply to lots nominated as Type C.

Standard 1 – Maximum street setbacks

There is no maximum front setback.

Standard 1.1

The application is exempt from the requirements of the *Building Regulations 2018*.

Standard 2 – Minimum street setbacks and articulation

The minimum street setback is described in Table 1 of the Code. To identify the minimum setback, the classification of the road as either a declared or non-declared must be established from the VicRoads website on – [Maps of Declared Roads](#).

Note: A front street setback may be to a public open space reserve if the dwelling is rear or side loaded.

Standard 2.1

The term ‘facing’ means oriented towards the street (i.e., the plane of the wall is less than 90 degrees to the street alignment). If the wall is not parallel to the street alignment, the closest part of the wall to the street alignment is the point at which the setback is measured. There are no prescribed setbacks for rear streets however Standard 7 (side and rear setbacks) will apply. **Diagram 1** illustrates methods of measuring front and side street setbacks in some situations.

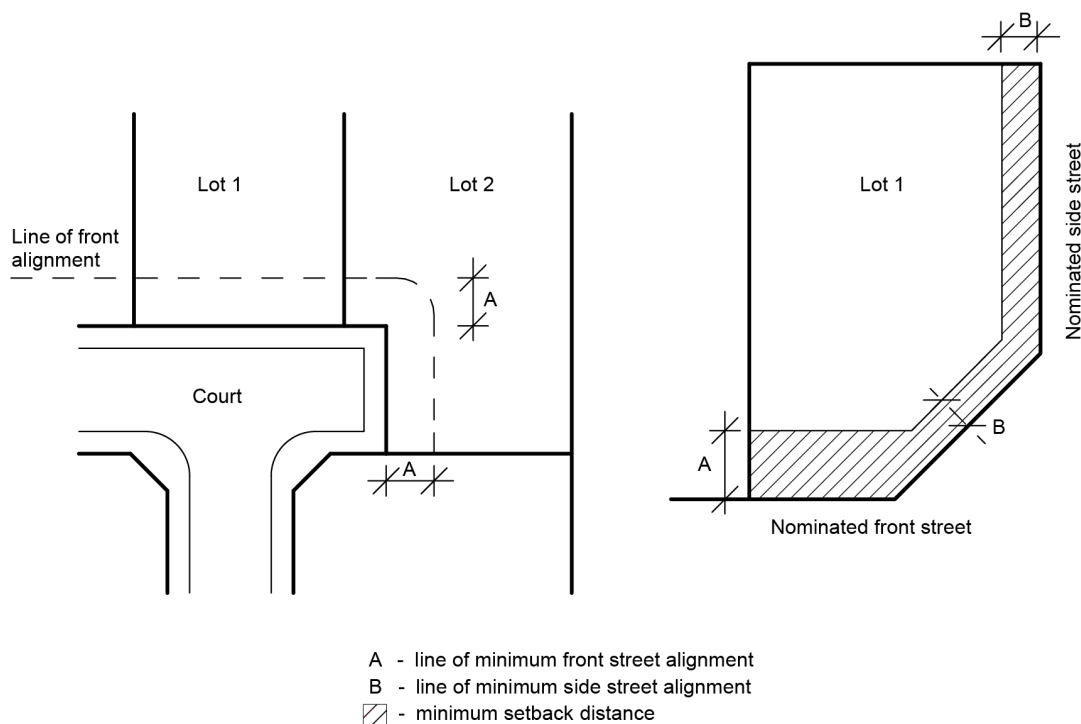


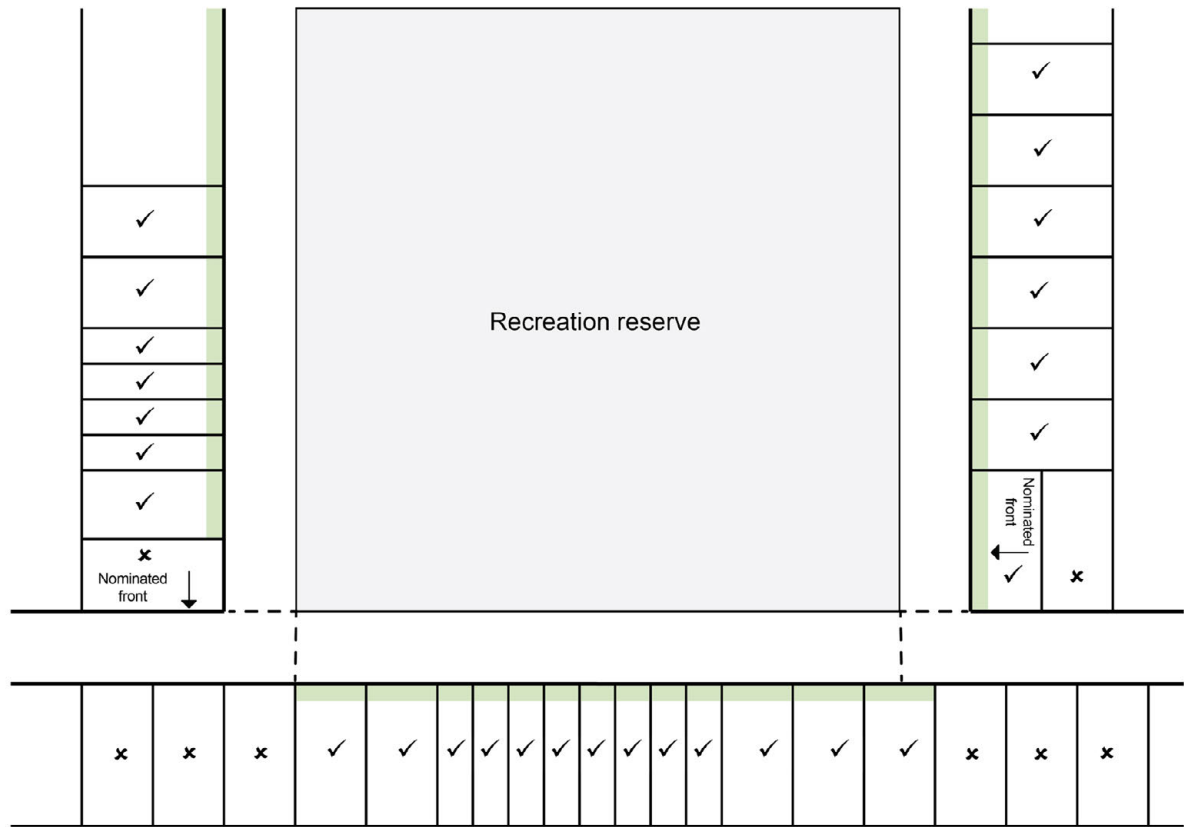
Diagram 1 Measuring front and side setbacks

A front street alignment may be to an open space reserve if the allotment is rear loaded.

There are no prescribed setbacks for rear streets however Standard 7 (side and rear setbacks) apply.

Reduced front setbacks for properties opposite recreational reserves is allowed on Type A allotments and **Diagram 2** indicates which properties would be eligible for the reduced front setbacks.

For the purpose of this standard, a secondary street alignment does not refer to a rear street.



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Type A allotments where a minimum 1.5m frontage setback would apply.
- x

Type A allotments where reduced frontage setback would not apply, i.e., minimum frontage setback of 3.0m for a non-declared road and minimum frontage setback of 4.0m for a declared road.
- Allotments where minimum 1.5m front setback would apply (if front street is nominated to face park).

Diagram 2 Front setbacks at recreation reserves

Standard 2.2

The concept of articulation of the front façade of the building and for walls adjacent to side streets that exceed 10 metres in length have been introduced in Table 2 within the Code. Articulation is to be achieved by requiring an increase in the setbacks for sections of the front and side walls of a minimum 300 millimetres (see **Diagram 3**).

The area of the front façade means the area of the walls of the dwelling facing the front street alignment and measured from a two-dimensional elevation and excludes any roof area and the area of garage and carports doors/opening.

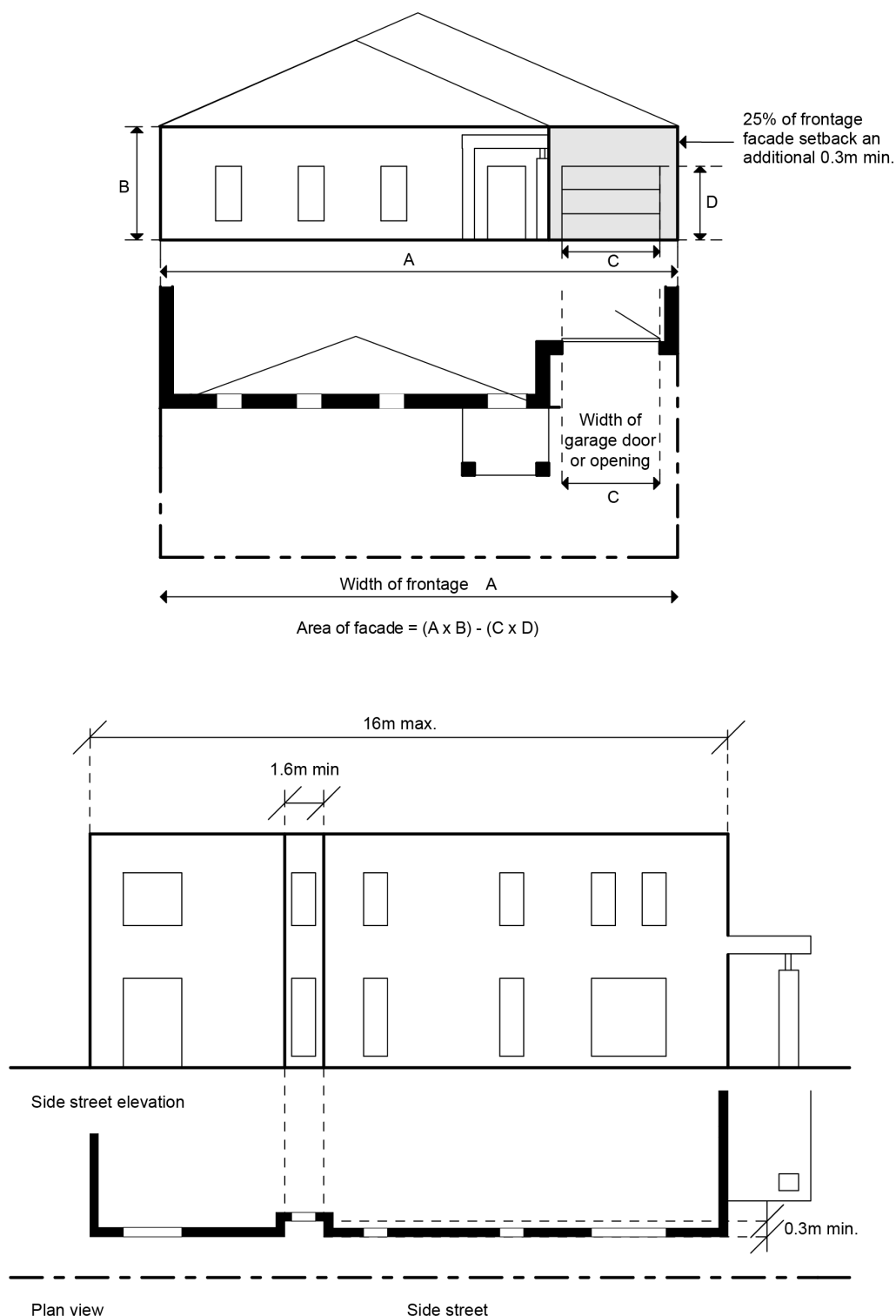


Diagram 3 Articulation

Standard 2.3

The minimum setback to the door or opening of a garage or carport, or to the access opening to a garage or carport, must be a minimum of 5.0 metres from a front street and 2.0 metres from a side street (not a laneway). This can be achieved by recessing the front door, as shown in **Diagram 4**.

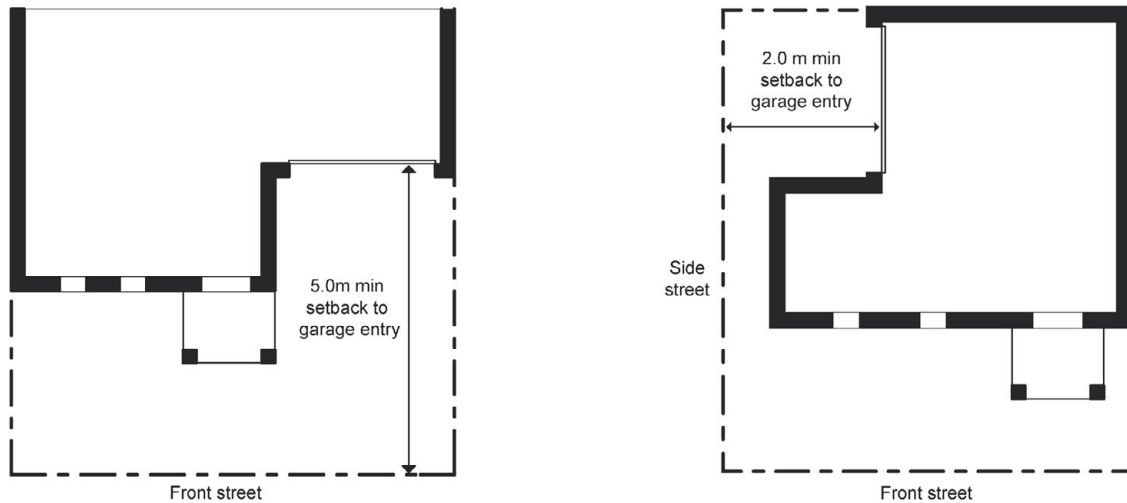


Diagram 4 Setback to garages

Standard 2.4

This Standard requires a window at the façade. The window may be transparent or opaque. The window may be provided as a side light window or viewing panel or within the door as shown in **Diagram 5**.

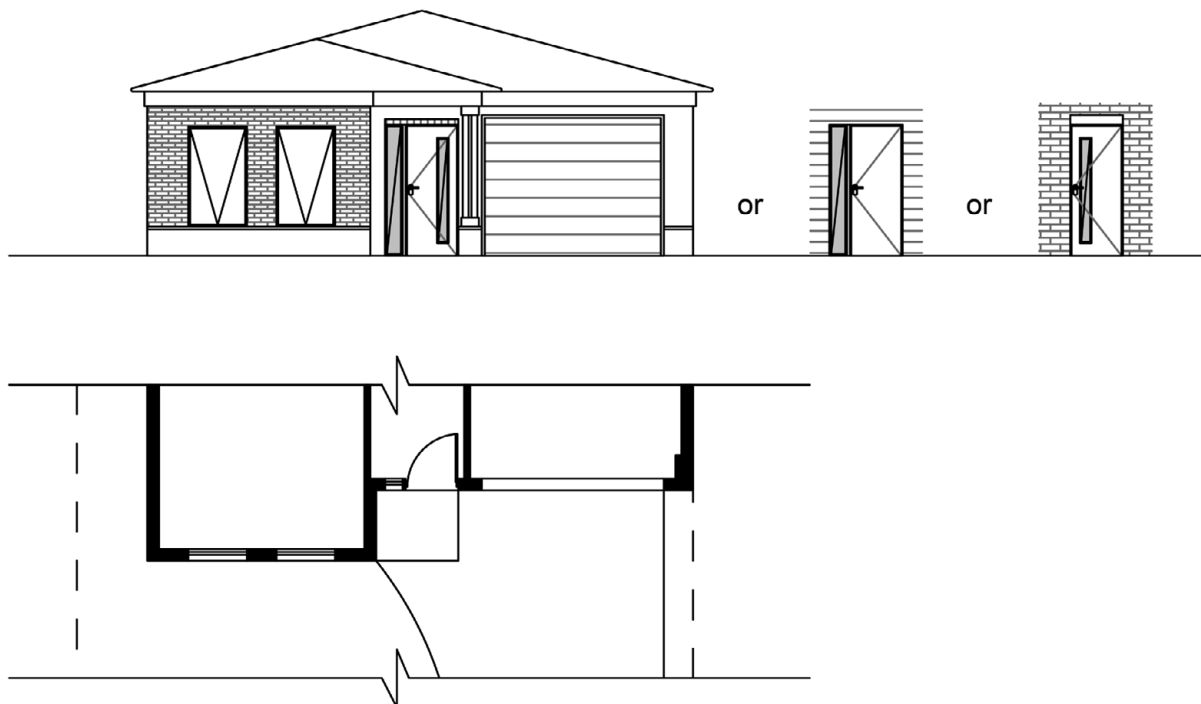


Diagram 5 Sidelight window requirements

Standard 2.5

This Standard allows eaves, fascia and gutters, and decks, steps & landings that are less than 800 millimetres in height from Natural Ground Level to encroach 1.5 metres into the required front and side street setbacks (as required by Standard 2.1), however at no time can any of these structures project over the allotment boundary.

Where any additional elements are proposed under Standard 2.5 to the front of the building, the addition(s) must comply with the conditions of Standard 2.5.

Standard 2.6

To further encourage front façade articulation, an open porch, verandah or pergola, an upper floor balcony, or fin/s, sunhood/s, blades, battens, louvres or a combination of the above, must project forward of the front wall of the dwelling and may encroach into the required setback (see examples in **Diagram 6 and 7**).

Any, additional design features must not exceed the prescribed minimum front setback at Standard 2.1, other than the secondary street alignment, in which case they can encroach no more than 1 metre.

Note: *The above elements may encroach into the secondary street alignment on a corner allotment no more than 1 metre.*

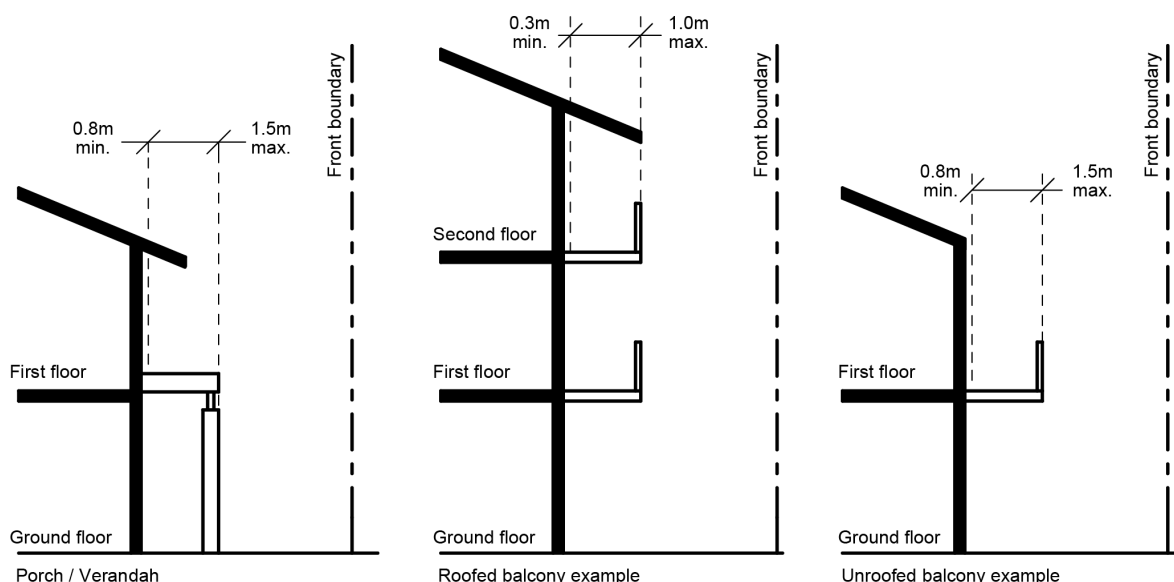


Diagram 6 Allowable encroachments

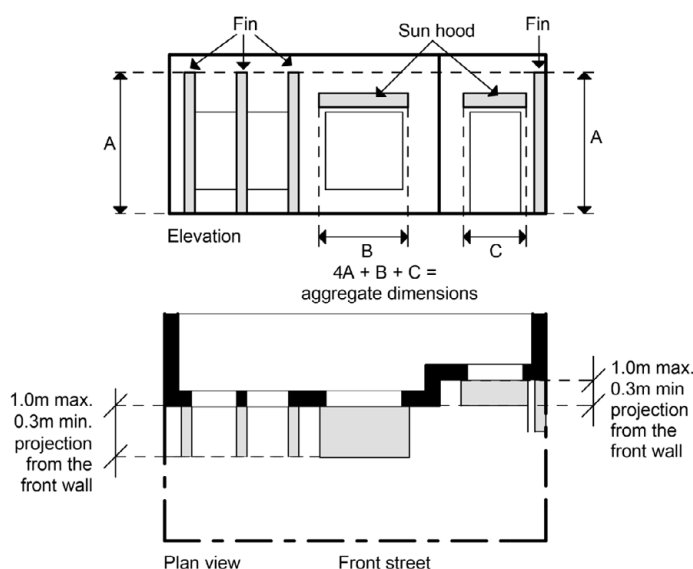


Diagram 7 Allowable encroachment (fins)

Standard 3 – Building height

The reference to the zone in this Standard includes an applied zone.

The Building Surveyor must first refer to the relevant planning scheme to ensure the building height does not exceed the height specified in the Zone or the Applied Zone.

Standard 3.1

If no height is specified in the planning scheme the maximum height is 11.0 metres and 3 storeys.

The height is calculated as shown at **Diagram 8**.

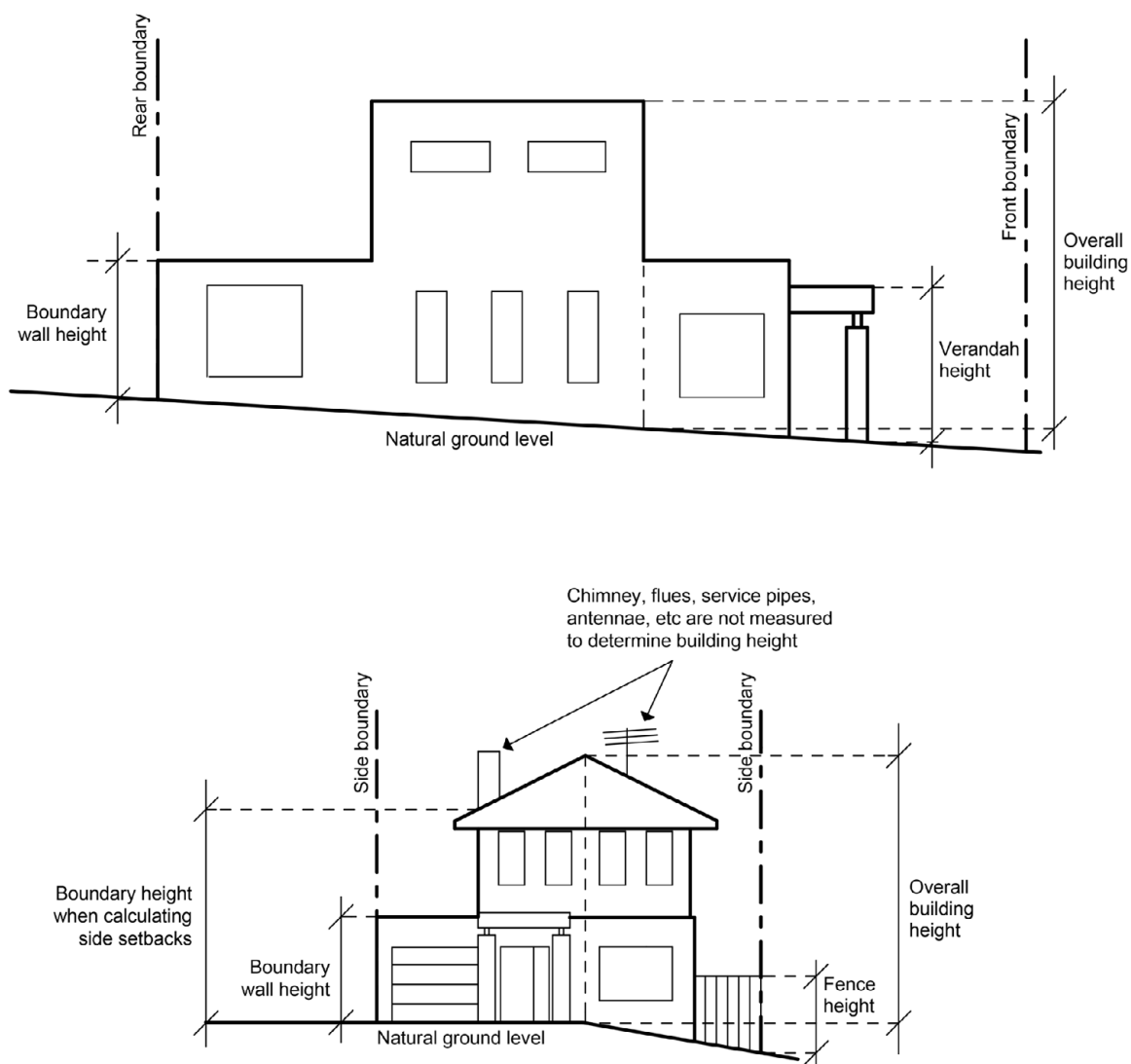


Diagram 8 Building height

Standard 4 – Site coverage

Standard 4.1

There is only a maximum site coverage specified for Type A allotments and this maximum percentage (90 per cent) may be calculated as the average over adjoining allotments, if the dwellings are simultaneously approved.

All buildings must be included when calculating site coverage however there are stated structures in Standard 4.1 that may be disregarded.

Note: *The Garden Area requirement, as described in the **Victoria Planning Provisions**, is not applicable to small lots, as the garden area only applies to lots 400 square metres or greater.*

Standard 5 – Permeability

Standard 5.1

There is only a minimum permeable surface requirement specified for Type A allotments and this minimum percentage (10 per cent) may be calculated as the average over adjoining allotments, if the dwellings are simultaneously approved.

Note: *A permeable surface is one that allows water to be absorbed through the material and therefore on-site infiltration of storm waters.*

Standard 6 – Car parking

The purpose of this Standard is to ensure new dwellings have a minimum of one on-site car parking space, additional car parking spaces may be provided but are not prescribed. Car parking spaces can be nominated anywhere on an allotment and be fully contained within the allotment. If the spaces are within a structure (i.e., carport or garage) the dimensions are to be taken as the internal dimensions of that structure (see **Diagram 9**).

Standard 6.1

A minimum of 1 car parking space must be provided under Standard 6.1 of the Code.

Standard 6.2

The car parking space required under Standard 6.1 must be accessible from a public street or lane or right of way. However, if the allotment has a frontage width of less than 6.0 metres, car access must be accessible from the rear of the allotment.

Standard 6.3

These Standards are explained in **Diagram 9**.

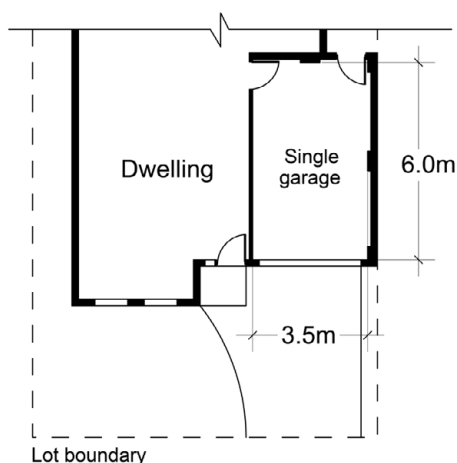


Diagram 9 Car park dimensions

Standard 6.4

No garage height is specified as the requirement is consistent with the minimum height requirements at Regulation 78 of the *Building Regulations 2018*.

Standard 6.5

This Standard is explained in **Diagram 10**.

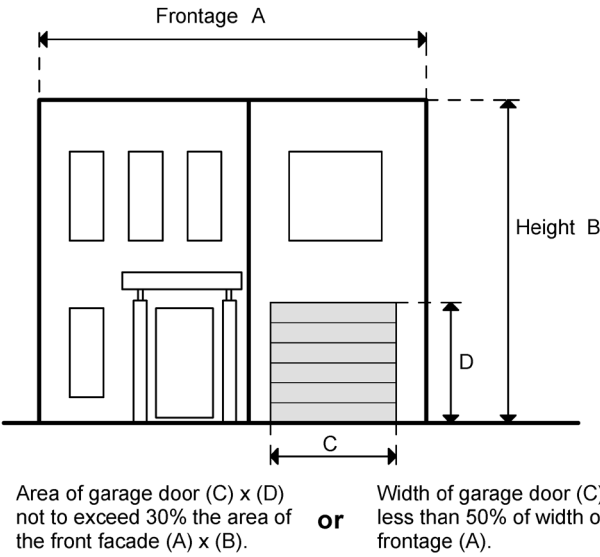


Diagram 10 Proportion of garage at frontage

Standard 7 – Side and rear setbacks

Standard 7 does not apply to a wall of a building or a carport that complies with Standard 8.

The envelope within which a building must be constructed is established by this regulation, dwelling must be setback from a side or rear boundary not less than the distance specified in this standard, as shown in **Diagram 11**. The envelope established commences at a 1.0 metre setback from the side or rear boundary, allowing a 3.6 metre height at this point. The envelope established by Standard 8 limits building heights, to 6.9 metres within 1.0 metre to a side or rear boundary.

Side and rear setbacks may include a minimum setback from the side or rear boundary (including a rear street) and a minimum setback from a lane.

Standards 7.2, 7.3 and 7.4 specify the allowable encroachments into the required setback and includes decks up to a maximum height of 800 millimetres above natural ground level, which is not the case under the *Building Regulations 2018*.

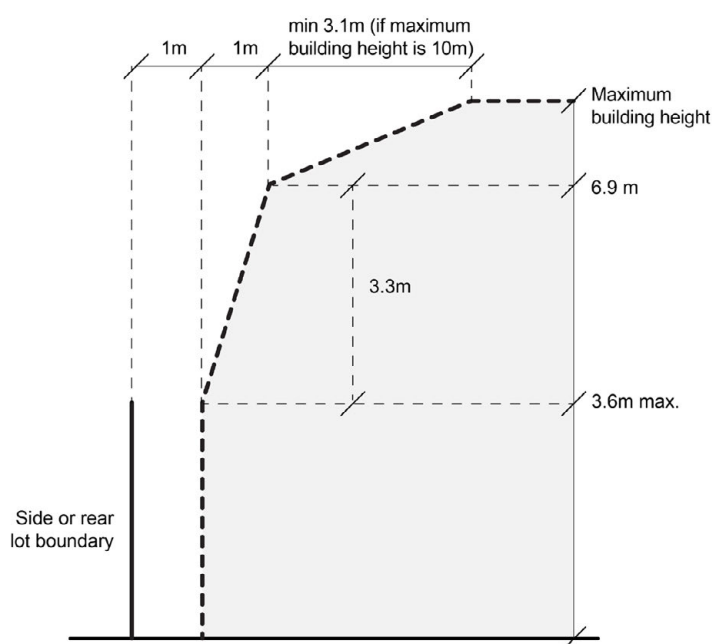


Diagram 11 Side and rear setbacks

Standard 8 – Walls on boundaries

This regulation applies to buildings that are built within 200 millimetres or abutting a side or rear boundary (not a laneway) or carports built on or within 1.0 metre of a side or rear boundary. If the requirements of this Standard are not met, then the building or carport must be setback a minimum of 1m from the side or rear boundary in compliance with the setback requirements in Standard 7. If it is proposed to construct a pitched roof off a boundary wall, the roof must be within the envelope shown on **Diagram 12**, or 13.

A wall may be built within 200 millimetres or abutting a side or rear lane up to 6.9 metres.

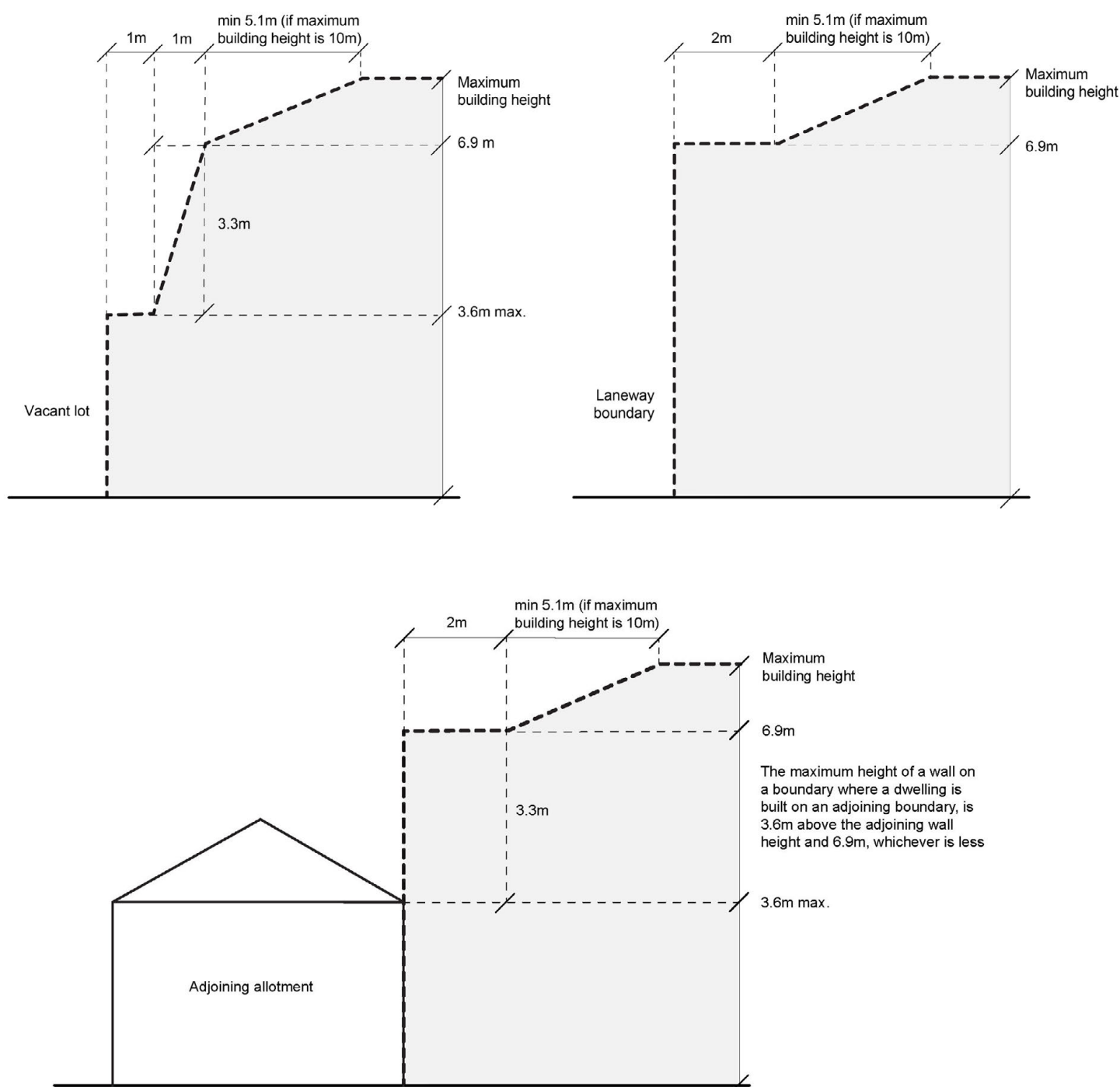


Diagram 12 Setback to walls on boundary

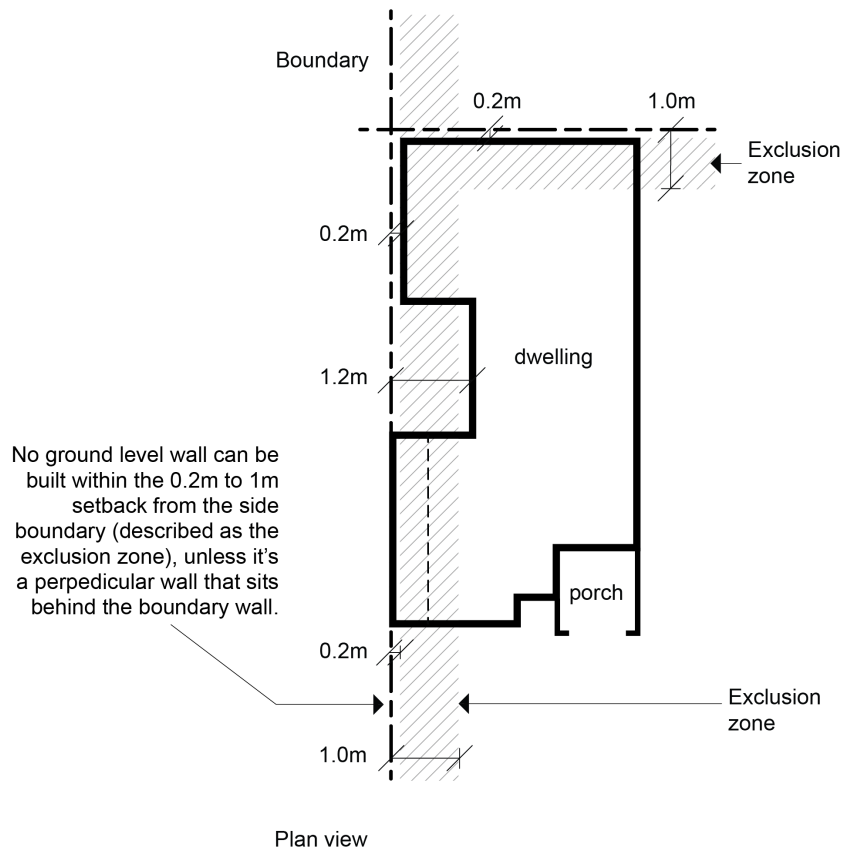


Diagram 13 Setback to walls on boundary

Standard 8.1 and 8.2

The maximum height of a boundary wall or carport is 3.6 metres unless constructed adjacent to an existing or simultaneously constructed boundary wall or carport on the adjoining allotment, in which case the height difference can be up to 3.6 metres, provided the length does not exceed the length of the existing or simultaneously approved/lodged boundary wall or carport by more than 2 metres (see **Diagram 14**). There is otherwise no stated maximum length of a wall on a side boundary.

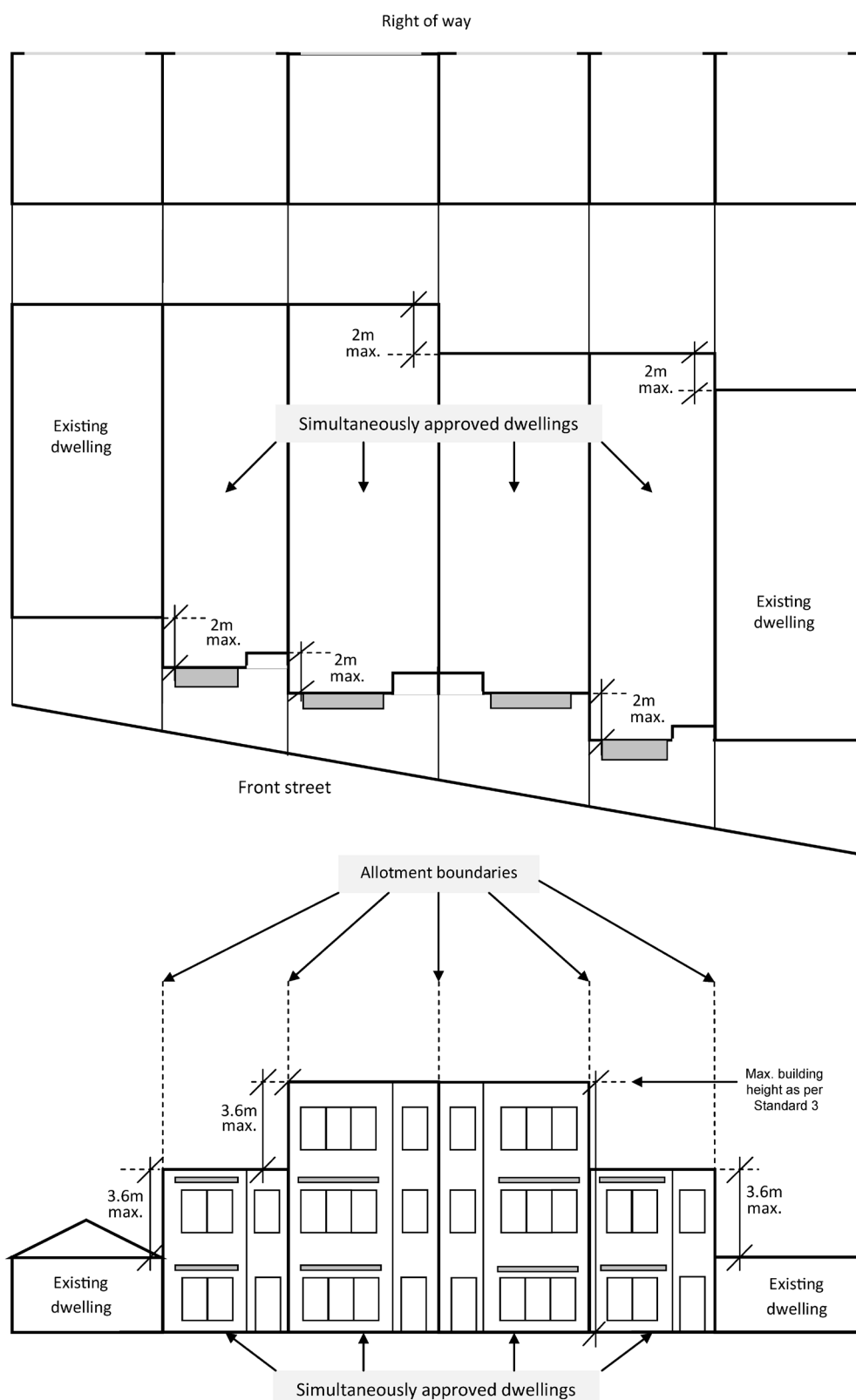


Diagram 14 Permitted extent of wall on boundary of simultaneously approved/lodged dwellings

Standard 8.3

A wall may be built on or within 200 millimetres of a side or rear boundary adjoining a lane up to 6.9 metres in height.

Standard 9 – Daylight to existing habitable room windows

Standard 9.1

There are no Standards under this heading as all buildings constructed in accordance with the Code provide their own light courts in accordance with Standard 13 and there are no requirements imposed on a house builder to increase setbacks on their property to provide daylight to neighbouring properties. This Standard heading has been placed in the code for consistency with the *Building Regulations 2018*.

Standard 10 – Solar access to existing north-facing habitable room windows

Standard 10.1

There are no Standards under this heading as all buildings constructed in accordance with the code provide their own light courts in accordance with Standard 13 and if additional northern solar access is desired then this must be provided by the house builder without imposing increased setbacks on the neighbouring properties. This Standard heading has been placed in the code for consistency with the *Building Regulations 2018*.

Standard 11 – Overshadowing of secluded private open space

Standard 11.1

The purpose of this Standard is to ensure protection of overshadowing of the adjoining allotments existing secluded private open space (SPOS) and links with the requirements of Standard 14.3 in that a minimum 6 square metres, with a minimum dimension of 2 metres, of the neighbours SPOS must have direct sunlight after determining the length of shadow.

This Standard does not apply where there is no existing SPOS adjacent.

The length of shadow cast by a wall or fence is calculated as $0.9 \times$ the height of the wall when the sun is true north (see **Diagram 15**).

A simple single overshadowing diagram, with the shadow lengths being $0.9 \times$ wall height, south of the building, need only be submitted.

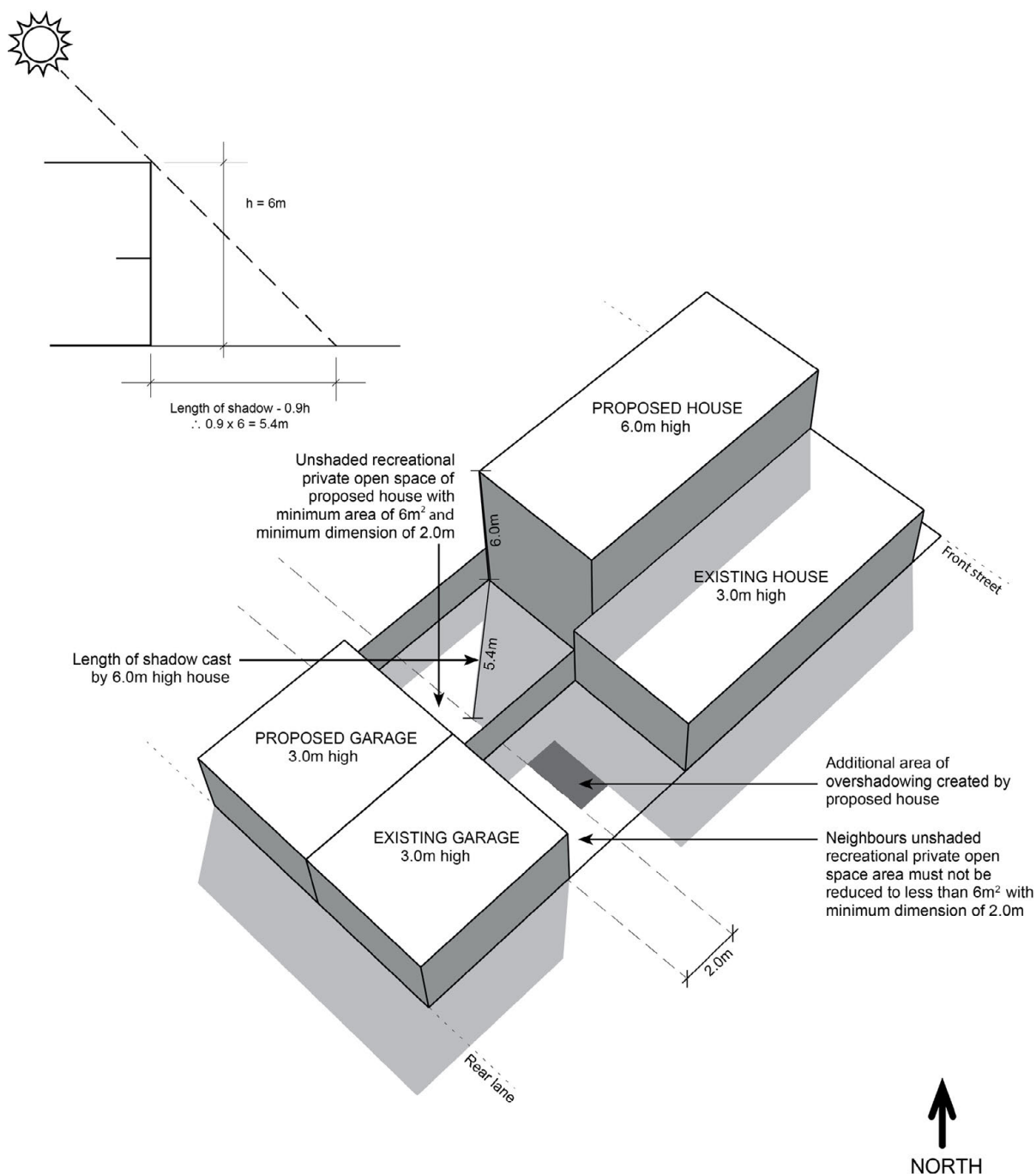


Diagram 15 Overshadowing secluded private open space

Standard 12 – Overlooking

This Standard sets out setbacks, sill heights and/or screen provisions that will reduce the overlooking from living room windows or raised open space (ROS) areas. The windows affected must be from habitable rooms with a floor level more than 2.5 metres above natural ground level at the window location and the ROS areas (i.e., landings with an area of more than 2 square metres, balconies, terraces, decks, or patios) that have a floor level of more than 800 millimetres above natural ground level.

Habitable rooms other than living rooms are not required to be protected from overlooking via glazing treatments or screening, however this Standard does not prohibit the provision of screening if it is preferred.

It is recommended that any preference for additional screening can be provided by a blind or similar.

Additional privacy screening can result in poor design outcomes through semi-obscured windows and an impact on daylight to bedroom windows. Therefore, prioritising privacy over other amenity factors can result in poor design outcomes and lowered amenity for residents.

Standard 12.1

A habitable room window must have a sill height or be screened to be no more than 25 per cent transparent to a height of 1.7 metres if it is:

- Within 4.5 metres of a living room window on an adjoining allotment; and
- The floor level of the room is more than 2.5 metres above natural ground level; and
- Faces a living room window on an adjoining allotment at an angle less than 45 degrees.

There is no need for architects or draftspersons to produce overlooking diagrams under this regulation. **Diagram 16** details some of the requirements of this standard.

Standard 12.2

An area of raised private open space that faces secluded private open space or living room windows of an existing dwelling on an adjoining allotment within a horizontal distance of 4.5 metres, must be screened to a height of at least 1.7 metres above the floor level with the screen being no more than 25 per cent transparent.

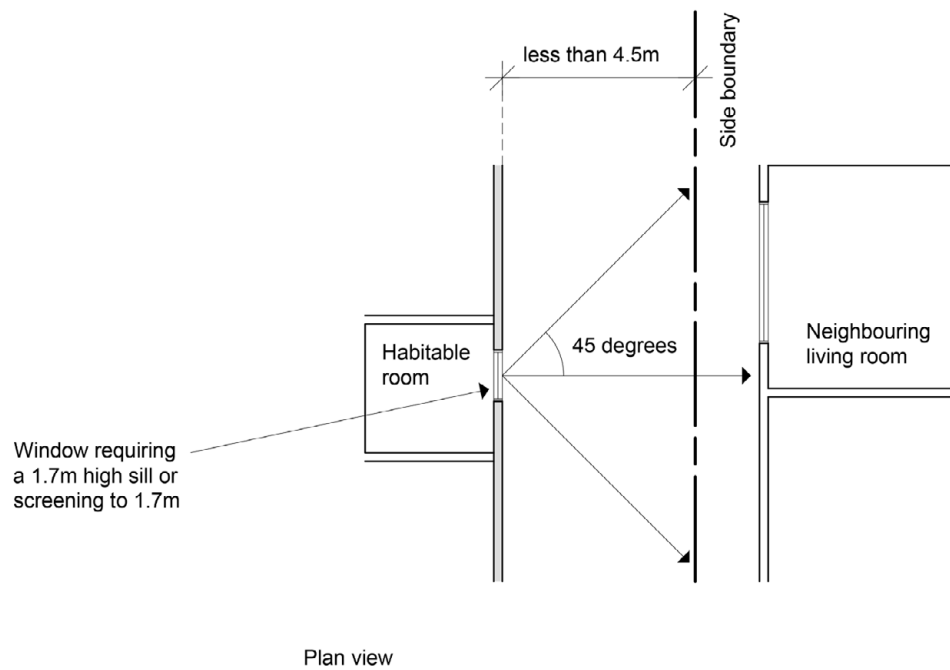
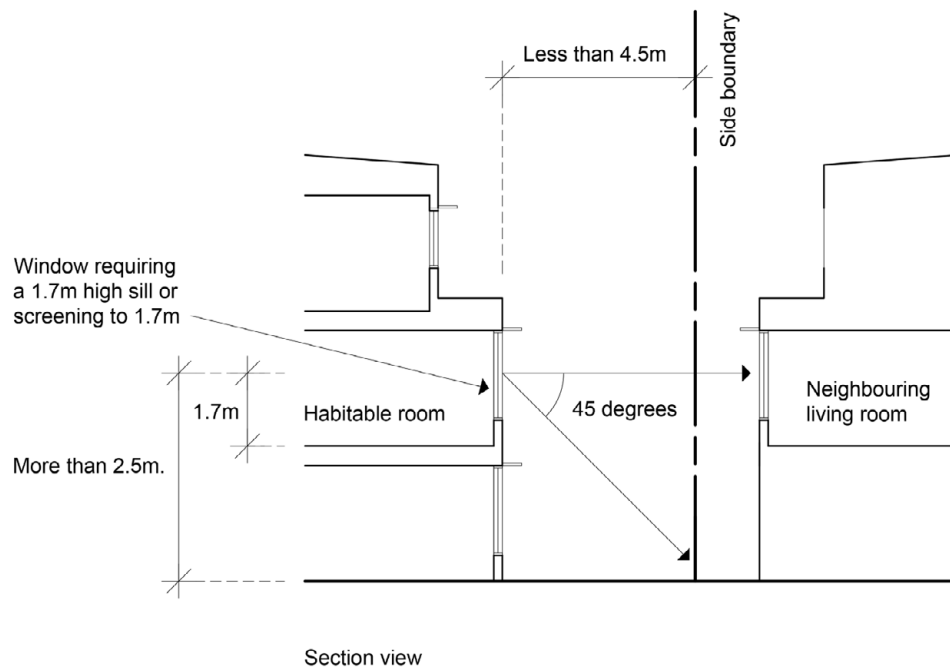


Diagram 16 Overlooking

Standard 13 – Daylight to habitable room windows

This Standard ensures that all required habitable room windows receive adequate light without imposing any requirements or restrictions on the neighbouring properties. A rear or side lane, or reserve can contribute to the required daylight to a habitable room window. **Diagram 17** demonstrates the required setbacks to verandahs and carports to comply with the Standard.

Standard 13.1

A habitable room window must face an outdoor space or light court with a minimum area of 3.0 square metres and a minimum dimension of 1.0 metre clear to the sky, not including land on an adjoining allotment.

Or a verandah or carport provided it is open for at least one third of its perimeter.

For the purposes of this Standard, a side of a carport or verandah will be open if the roof covering of the carport or verandah is not less than 500 millimetres from another dwelling on the allotment or the adjoining allotment boundary.

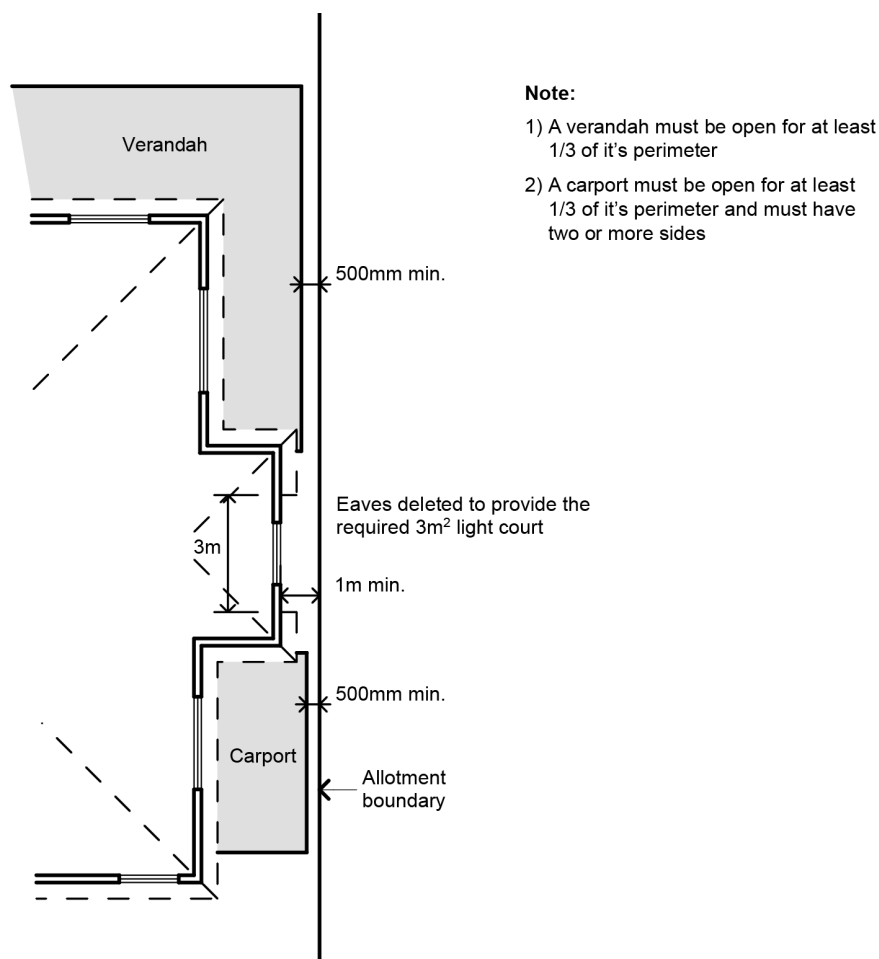


Diagram 17 Setbacks to carports and verandahs to achieve daylight to habitable rooms

Standard 14 – Private open space

The area of private open space (POS) that needs to be provided on an allotment is determined by the number of bedrooms in the dwelling. A bedroom includes any room that is enclosed on all sides, that contains a window and is more than 6 square metres in floor area. This means that enclosed rooms labelled study or library etc. may need to be counted as a bedroom for the purposes of this standard.

Standard 14.1 and **14.2** relate to the amount of bedrooms in a dwelling and how much POS is to be provided.

POS cannot be provided in the front yard.

POS can be at ground level, on a balcony or at roof top level (see **Diagram 18**).

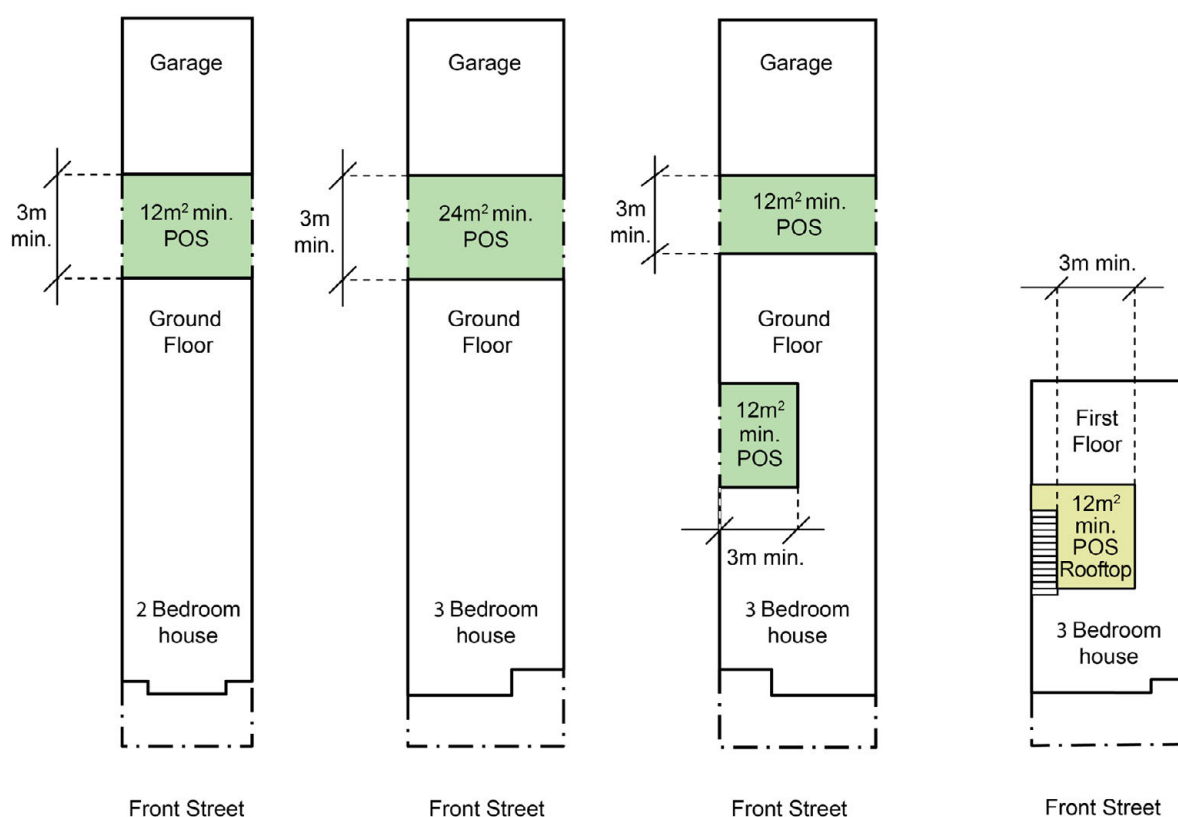


Diagram 18 Secluded private open space

Standard 14.3

If POS is provided at the side or rear of the dwelling or as a roof top area it must have a minimum area of 6 square metres, with a minimum dimension of 2 metres, that receives direct sunlight at noon on the equinox. To determine if the POS receives or does not receive direct sunlight, the length of shadow cast by a wall or fence is calculated as $0.9 \times$ the height of the wall when the sun is true north as shown in **Diagram 19**.

If the private open space is provided at the Balcony, Standard 14.3 does not apply.

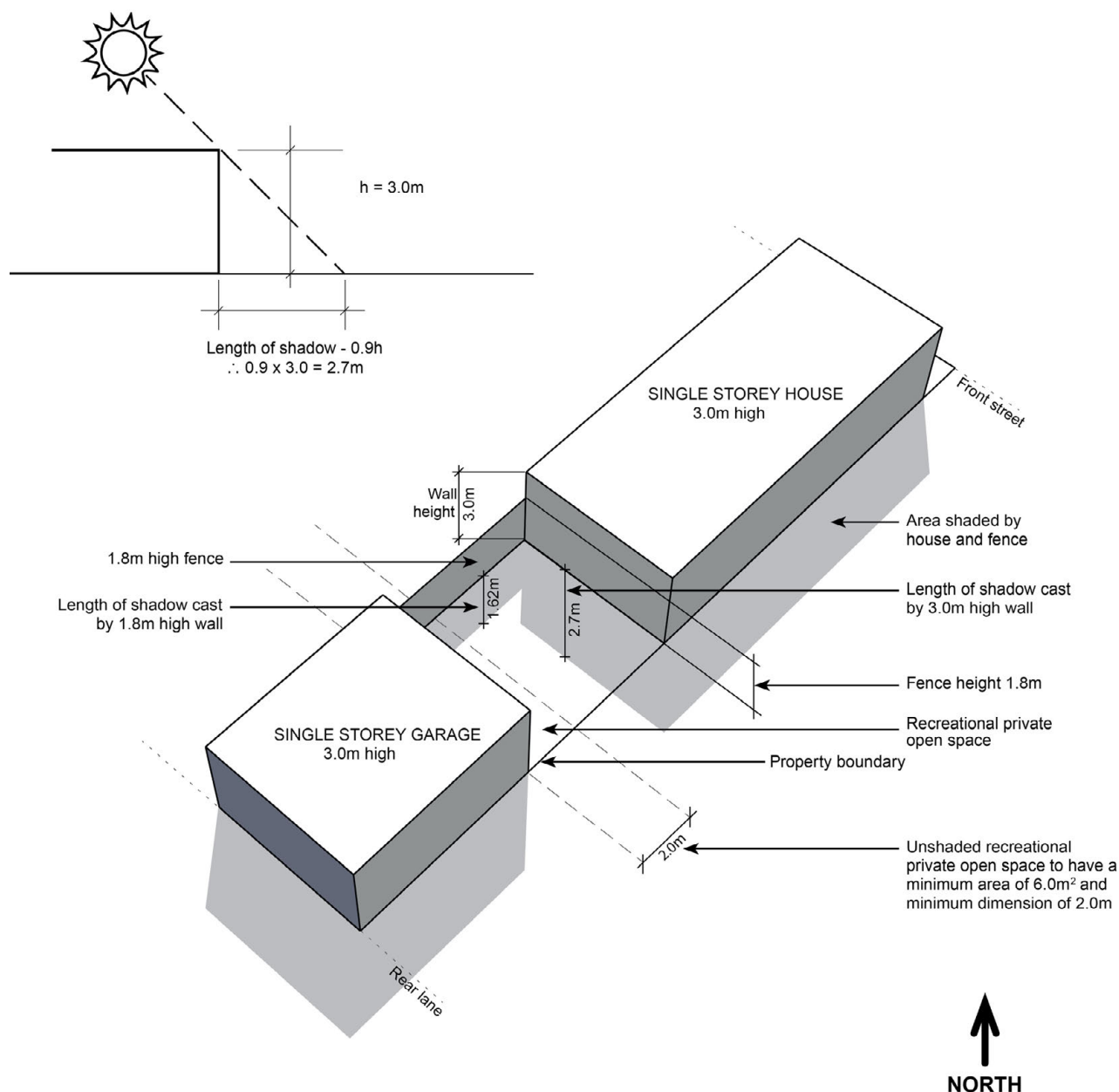


Diagram 19 Calculating shadows to private open space

Class 10b Buildings

The Standards in this part apply to front and other fences constructed on allotments. There are no other siting Standard applicable for other Class 10b buildings such as swimming pools, spas, masts, poles etc. The height provisions of regulation 97 of the *Building Regulations 2018* apply in respect of masts, poles, aerials, antennae, chimneys, flues, pipes, or other services.

Standard 15 – Storage

Standard 15.1

The minimum storage requirement is 2.5 cubic metres with a depth of 600mm. The storage space must be additional to space provided for a vehicle.

Standard 16 – Bin storage

Standard 16.1

Each dwelling needs to provide a minimum area of 1.71 square metres of bin storage with a depth of 0.8 metres and a minimum height of 1.8 metres.

Any storage provided in a garage must be provided in addition to the storage requirements at Standard 47.1.

Standard 17 – Front fence height

This Standard applies to fences within 3 metres of the front street alignment with the maximum height and type of fence permitted depending on the street classification.

Standard 17.1

The maximum height of a front fence within 3m to a declared road is 2 metres whereas the maximum height of a front fence within 3 metres to a non-declared road is 1.2 metres.

Standard 17.2

A front fence within 3 metres to a non-declared road, if higher than 700 millimetres, must have that part of the fence higher than 700 millimetres more than 15 per cent transparent (see **Diagram 20**).

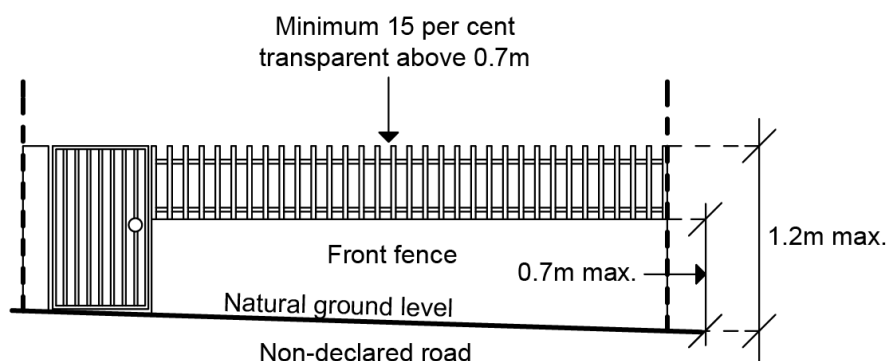


Diagram 20 Front fence to a non-declared road

Standard 18 – Fences setback more than 150 millimetres from side and rear boundaries

Standard 18.1

A fence that is setback more than 150 millimetres from a side or rear boundary must have a maximum height of 2.5 metres. If the fence is higher than 2 metres, the section of fence that is greater than 2 metres must be at least 25 per cent transparent (see **Diagram 21**).

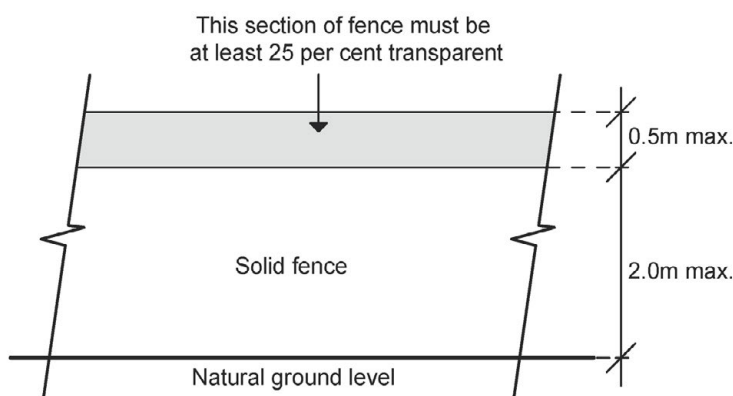


Diagram 21 Fences setback from side and rear boundaries

Standard 19 – Fences on or within 150 millimetres of side and rear boundaries

Standard 19.1

The maximum height of any fence on or within 150 millimetres of a side or rear boundary is 2.5 metres, but if the fence is higher than 2 metres, the section of fence that is greater than 2 metres must be at least 25 per cent transparent (see **Diagram 21**).

Standard 20 – Fences forward of front walls

Standard 20.1

Fences forward of the front wall must comply with the height and transparency requirements of Standards 18.1 and 18.2.

Standard 21 – Fences on intersecting and secondary street alignments

Note: That “street” in this Standard does not include lanes, footways, alleys or right of ways so the fence within 3 metres to the intersection of the side street and the rear lane are not limited to the maximum height.

Standard 21.1

This Standard applies to fences within 3 metres to a point of intersection of street alignments on corner allotments and fences on a side street and rear streets (see **Diagram 22**).

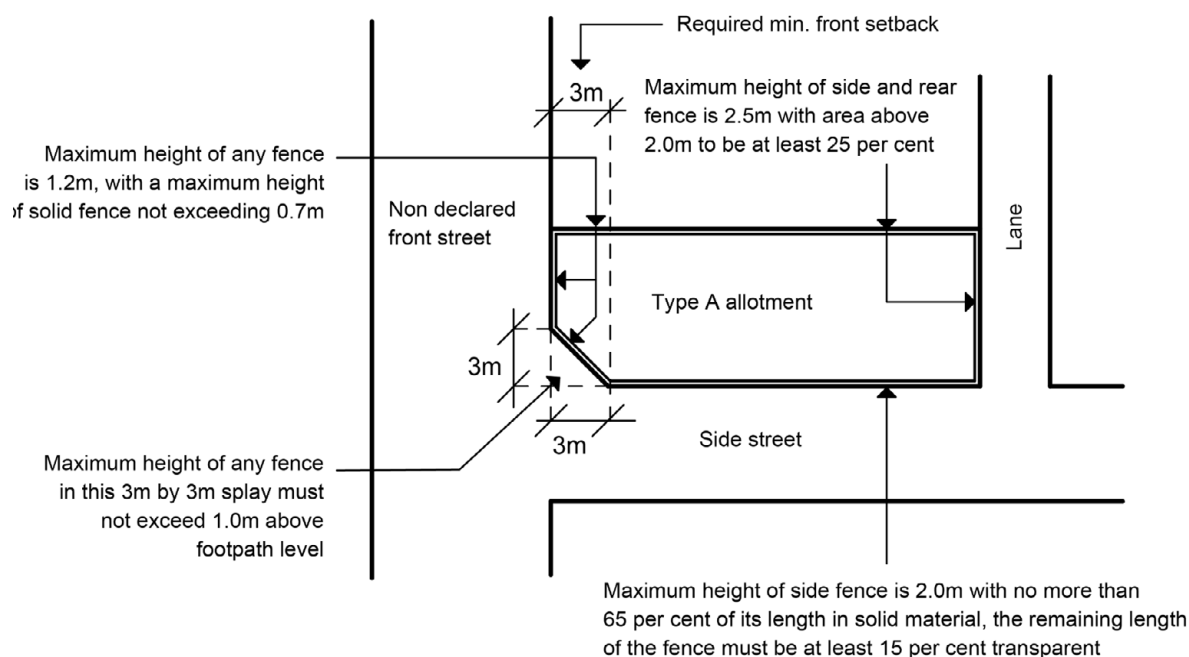


Diagram 22 Fences on intersecting street alignments

The height of the fence within 3 metres of the point of intersection is measured above footpath level whereas all other fence heights are measured above natural ground level.

Standard 21.2

Fences located within 1 metre of a secondary street alignment must not exceed 2 metres in height and may be solid for no more than 65 per cent of its length, with the remainder of the fence being 15 per cent transparent.

Standard 21.3

Any fence on or within a rear street alignment must not exceed 2 metres in height.

Standard 21.4

Fences must not contain barbed wire or other sharp protrusions.

Standard 22 – Fences and daylight to windows in existing buildings, and

Standard 23 – Fences and solar access to existing north-facing habitable room windows, and

Standard 24 – Fences and overshadowing of secluded private open space

There are no requirements specified for these three Standards as the maximum height of a fence is 2.5 metres, with the section of fence that is greater than 2 metres in height being 25 per cent open. It is considered that such fences would not affect the amenity on adjoining habitable room windows or SPOS areas. These Standards are included in the code for consistency with the *Building Regulations 2018*.

Part 2 – Type C standards

Single Class 1a Buildings and Associated Class 10a Buildings



Standards 1–24 apply to lots nominated as Type A or B.
Standards 25–57 apply to lots nominated as Type C.

BUILDING HEIGHT AND SETBACKS

Standard 25 – Building height

Standard 25.1

The building height must not exceed the maximum height specified in the zone in the relevant planning scheme, including a height specified in a schedule or plan incorporated into the planning scheme, if no height is specified in the planning scheme the maximum height is 13.5 metres and 4 storeys.

The height is calculated as shown at **Diagram 23**.



Diagram 23 Building height

Standard 26 – Setback – Maximum street setback

No maximum street setback is required.

Standard 26.1

The application is exempt from the requirements of the *Building Regulations 2018*.

Standard 27 – Setback – Minimum street setback to a front or secondary street

This standard encompasses an open space reserve alignment and a paper road as part of a street.

Standard 27.1

The minimum setback from a front street alignment for a Type C lot is 2.5 metres as shown at **Diagram 24**.

The minimum setback from a side street alignment (on a corner allotment - see **Diagram 25**) for a Type C lot is:

- For a wall 6.9 metres or less: 1.5 metres.
- For a wall more than 6.9 metres in height: 1.5 metres plus 0.5 metres for every metre of height over 6.9 metres.

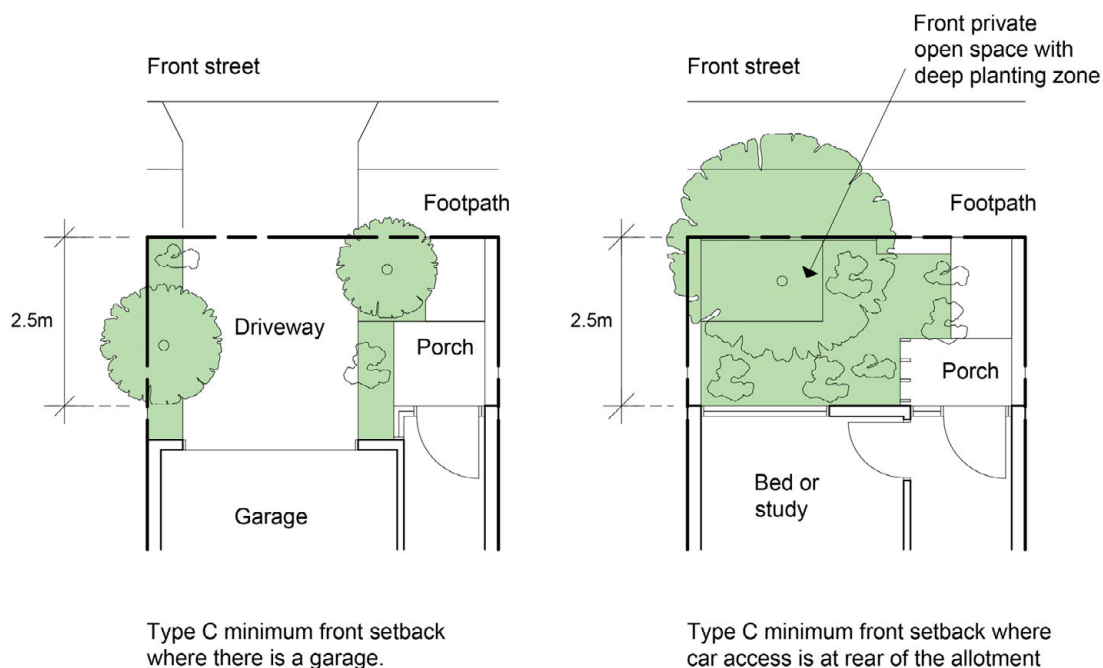


Diagram 24 Minimum front setback

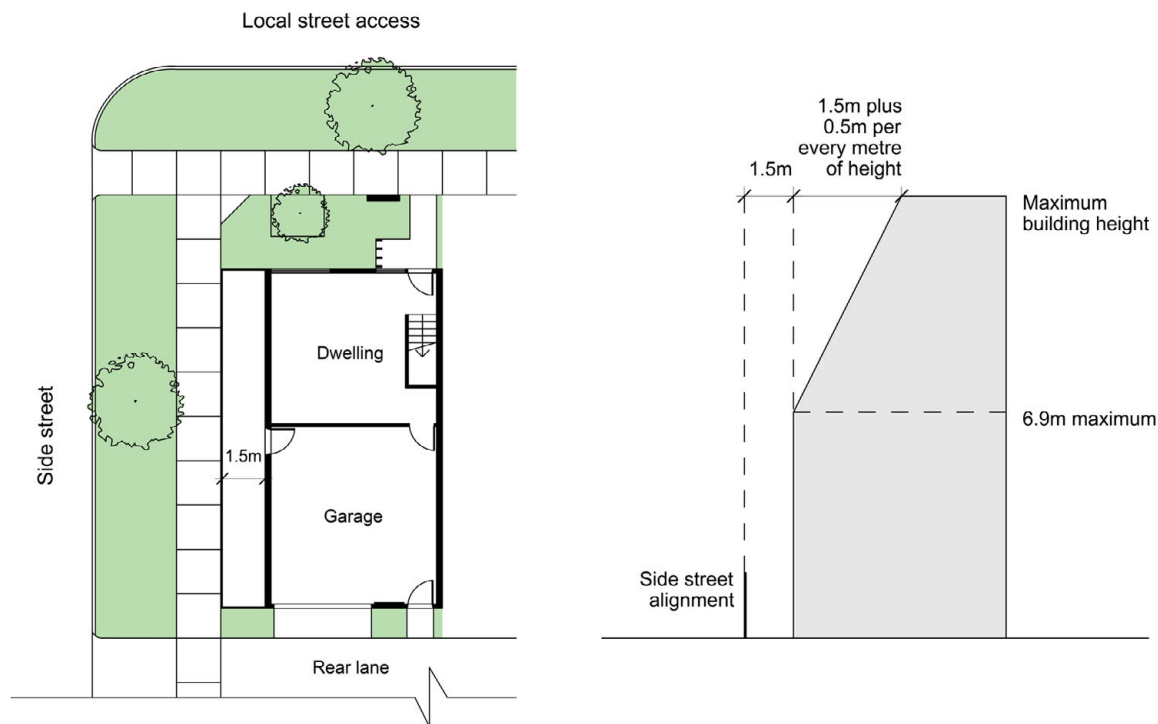


Diagram 25 Setback from front and side street alignment required.

Standard 28 – Setback – Side and rear boundary

Standard 28 applies to all setbacks other than front and side street alignment setbacks. Standard does not apply to a wall of a building or a carport that complies with Standard 29.

Standard 28.1

This Standard sets the setback profiles from side and rear boundaries. Table 9 at Standard 28.1 of Type C in the Small Lot Housing Code specifies the setbacks for the following four scenarios:

- Minimum side setback to an adjoining allotment boundary
- Minimum rear setback to an adjoining allotment boundary
- Minimum setback from a lane
- Minimum rear setback from a street, a lane or open space reserve

These setbacks are shown at **Diagram 26**.

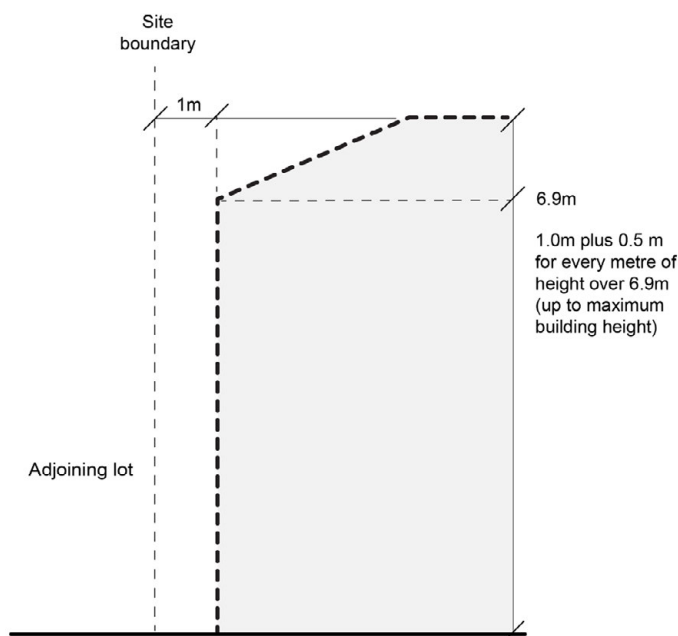


Diagram 26 Side and rear setbacks

Standard 29 – Setback – Wall on boundary

Standard 29.1

This Standard allows variations to Standard 27.1 and permits a wall on or within 200 millimetres of a side or rear boundary (including a lane), or a carport on or within 1.0 metres of a side or rear boundary to be built up to a height of 6.9 metres. Further variation is permitted if:

- a) it abuts an existing building on the adjoining allotments or will abut a simultaneously approved building on the boundary; and
- b) the height difference between the existing adjoining building or the simultaneously approved building or carport does not exceed 2.0 metres.
- c) notwithstanding Standard 28.1(a) the length difference between the existing or simultaneously approved building must not exceed a total of 2.0 metres, and the additional length must not cast additional shadow on a light court in accordance with Standard 42 (see **Diagram 27**).

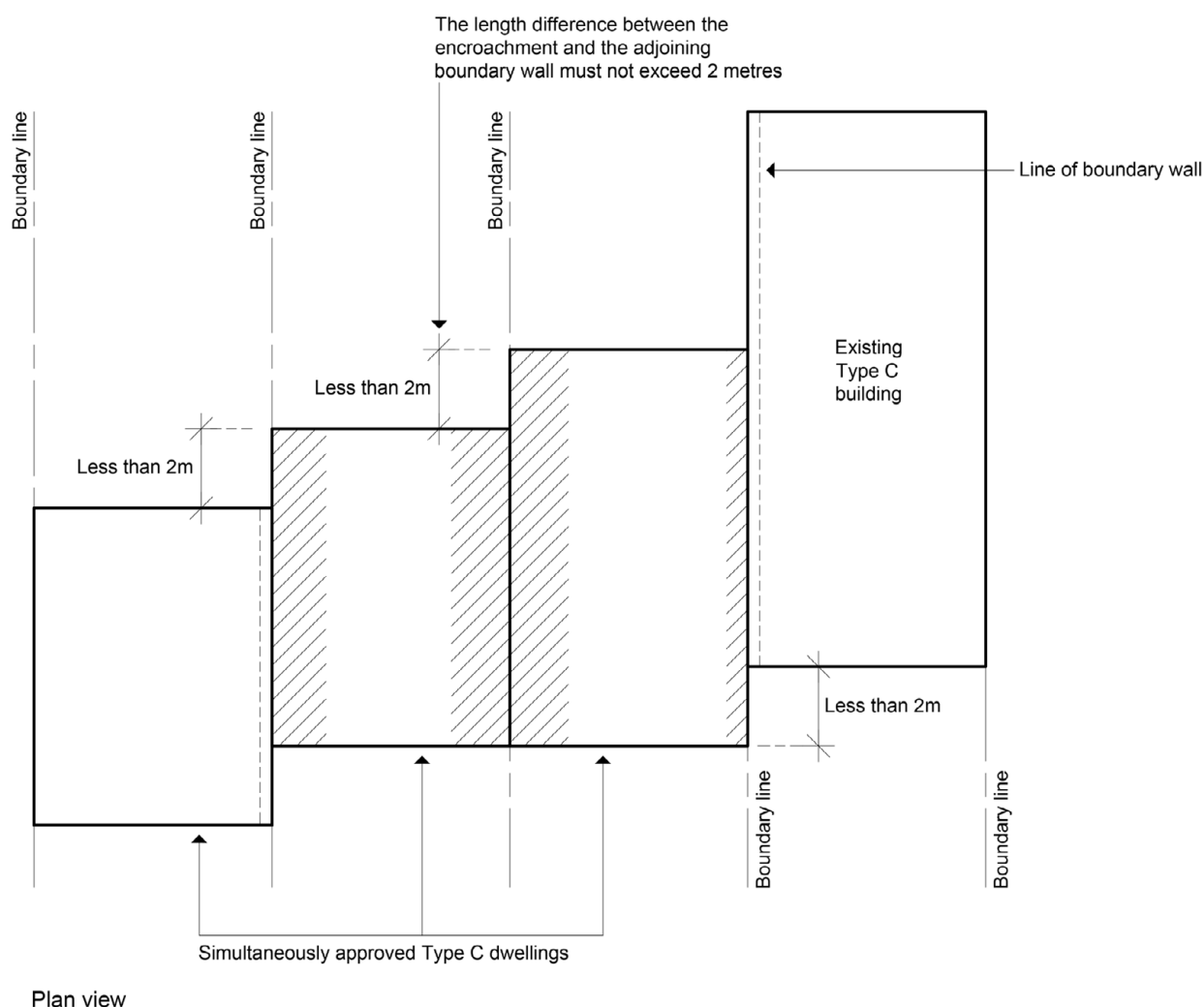


Diagram 27 Setback to wall on boundary (Standard 29.1c)

Standard 29.2

There is no maximum wall on boundary length required to be met provided other Standards, such as front setback, are satisfied (as shown at **Diagram 28**).

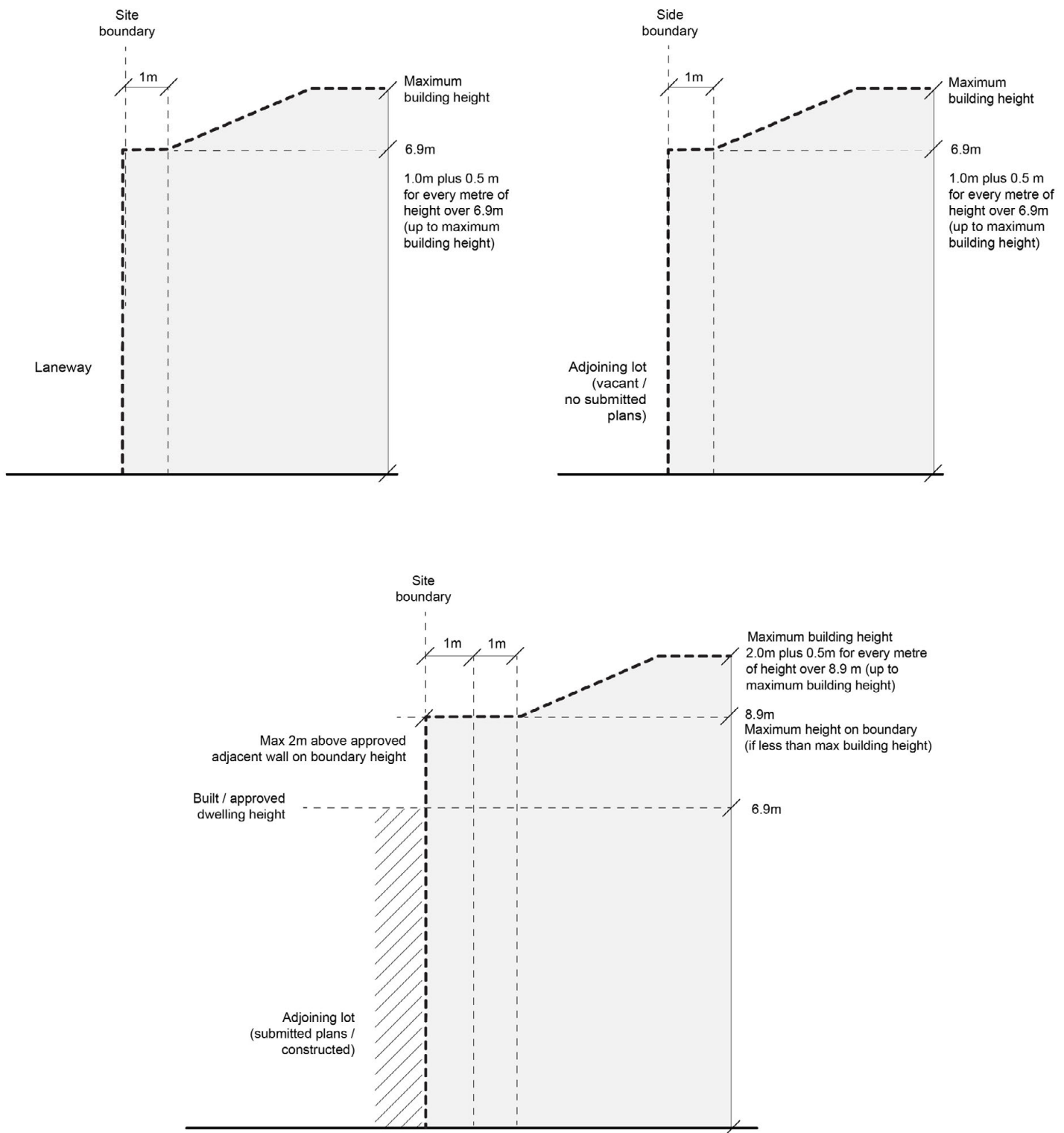


Diagram 28 Setback to wall on boundary

Standard 30 – Setback – Allowable encroachment

Standard 30.1

To further improve front façade articulation, certain elements are permitted to encroach into the setback distance required by Standard 29.1. The encroachment distance varies depending on the element type and is summarised in the table below:

Building element	Maximum encroachment
Roofed pergolas, porches and verandahs on the ground floor; and balconies (covered or uncovered) on the first floor or above	1.5m
Sunhoods, sunshades or fins	1.0m
Eaves, fascia and gutters;	0.75m
Unroofed pergolas	Up to allotment boundary

Standard 31 – Setback – Garage and carport from the street

Standard 31.1

The entrance door or opening of any garage or carport for a front-loaded dwelling must be setback:

- no less than 2.5 metres from the secondary street alignment (does not include a laneway); and
- no more than 5.0 metres from the front street alignment.

This Standard is shown at **Diagram 29**.

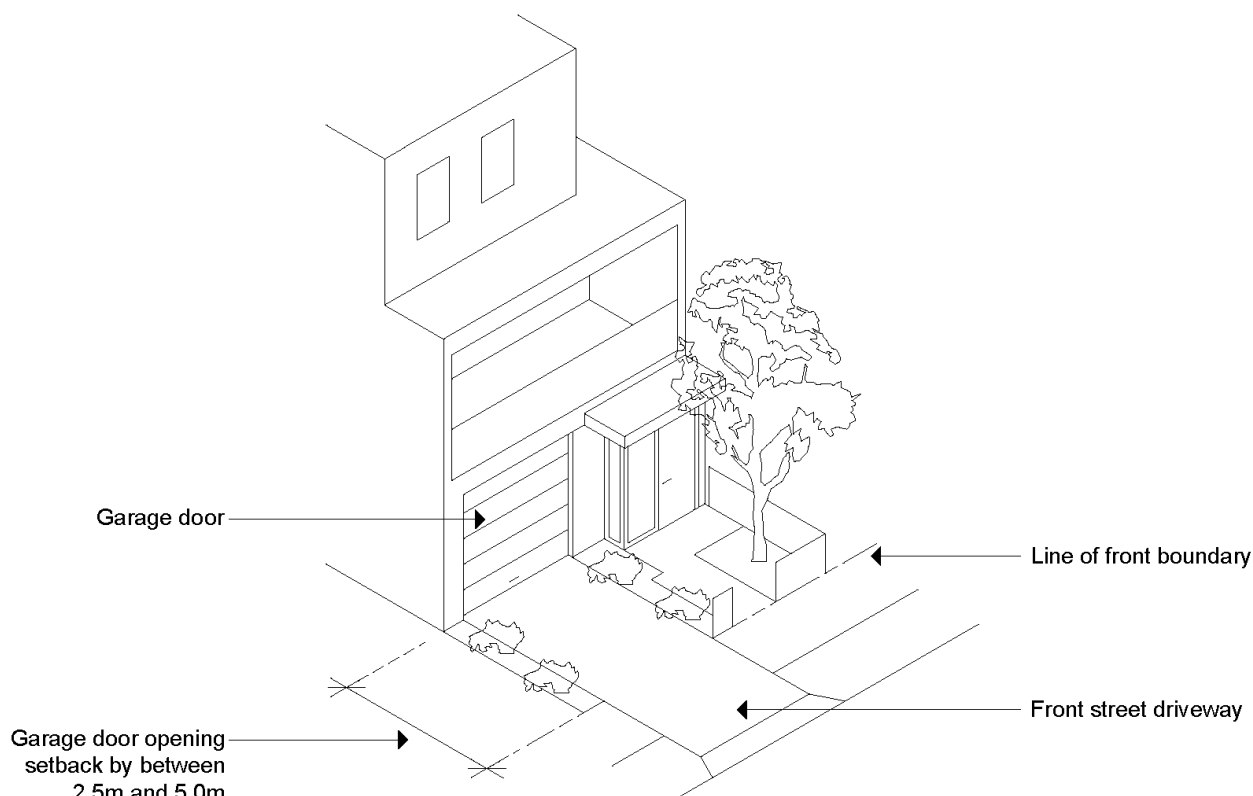


Diagram 29 Setback garage from street

ARTICULATION

Standard 32 – Articulation – Entrance to the dwelling

Standard 32.1

For houses with garages fronting a street, the entry to the dwelling must be located a minimum of 500 millimetres forward of the garage (as shown at **Diagram 30**).

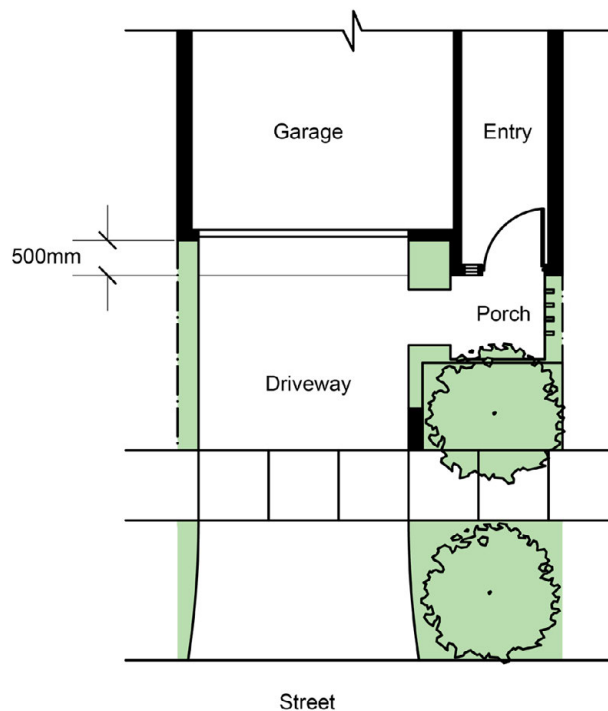


Diagram 30 Garage recess to front of dwelling

Standard 32.2

For an entry door to a dwelling facing a street (not including a lane) or public open space, there must be a window in the form of a sidelight window or viewing panel.

This standard requires a window at the front street alignment or public open space reserve (as shown at **Diagram 31**). The window may: be transparent, opaque, be provided as a side light window, viewing panel or within the door.

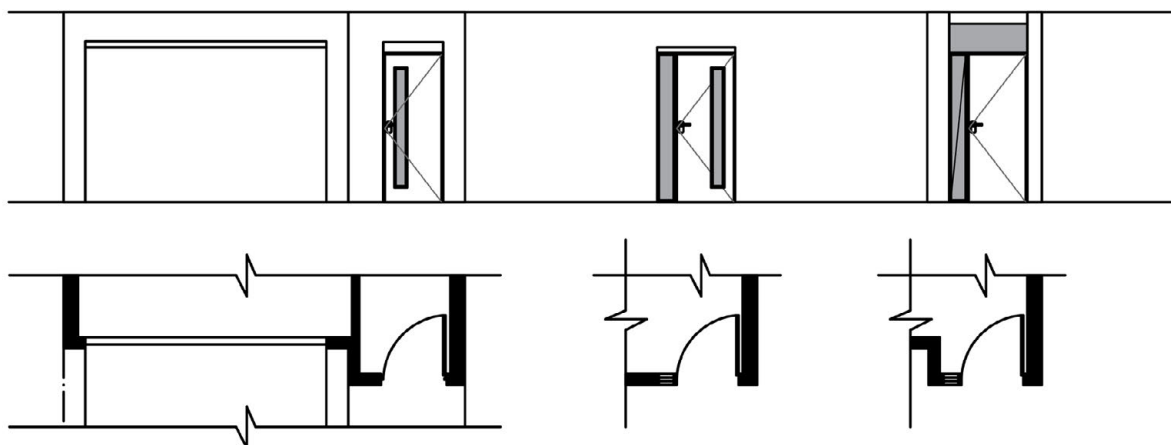


Diagram 31 Sidelight window requirements

Standard 33 – Articulation – Massing

Standard 33.1

The extent of a dwelling's façade must have between 25 per cent and 75 per cent of its area recessed by an additional 600 millimetres as shown at **Diagram 32**.

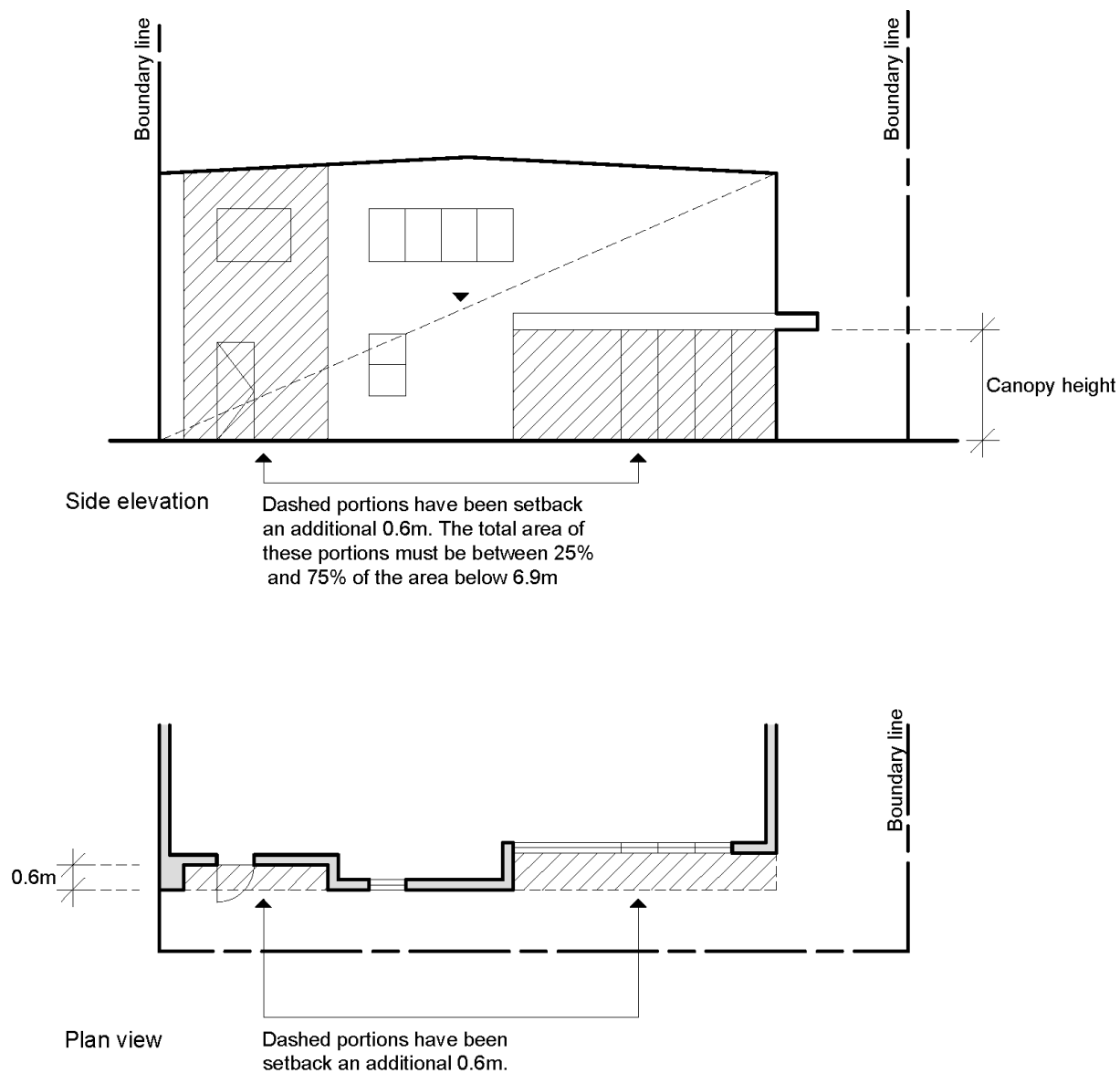


Diagram 32 Articulation massing

Standard 34 – Articulation – Façades through materials

Standard 34.1

Façades that face a street, paper road or public open space reserve must include a minimum of two materials, with no material being used for more than 75 per cent of the façade on that frontage as shown at **Diagram 33**.

The percentage may be calculated based on the total area of the façade of simultaneously approved/lodged attached dwellings.

Changes of paint colour or render texture are not defined as material changes for the purposes of this Standard.

For the purposes of calculating the area of the façade, windows, doors and garages doors are not included.

Variation of materials adds visual interest and reduces the appearance of bulk.

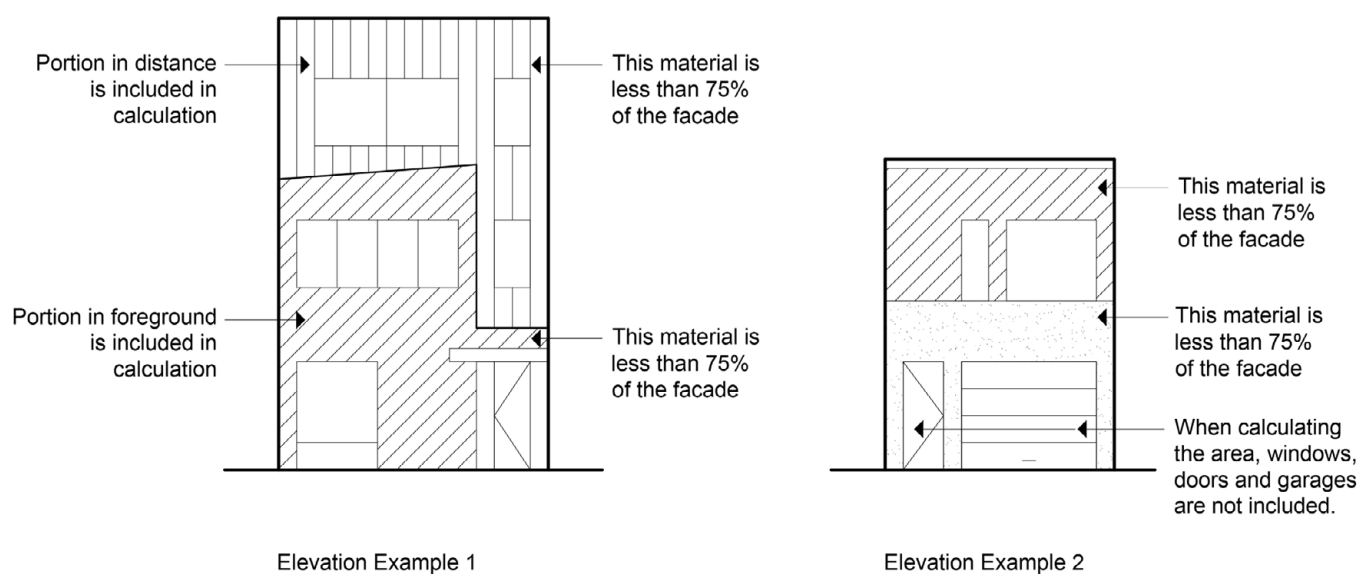


Diagram 33 Materials articulation

Standard 35 – Articulation – Detailed design

Standard 35.1

At least one of the elements listed at Standard 34.1 must be provided in the front setback as shown at **Diagram 34**. The allowable elements must comply with the encroachment distances specified at Standard 29.1.

Additionally, elements must project forward of the façade the prescribed distance. Porches, balconies, and verandahs must project a minimum of 800 millimetres and maximum of 1.5 metres, and each element must be at least 25 per cent of the frontage width.

Blades, battens, louvres, perforated panels must have a minimum combined length of 3.1 metres, and project no more than 1.0 metre forward of the front wall and have a minimum transparency of 50%.

Eaves, fascia, and gutters do not count towards the minimum one allowable encroachment required.

Any additional design features must also comply with Standard 29.1.

Standard 35.2

On corner allotments, the same encroachments are permitted to project in to the secondary street alignment setback on a corner allotment, however they must not project towards the secondary street alignment any more than 1.0 metres.

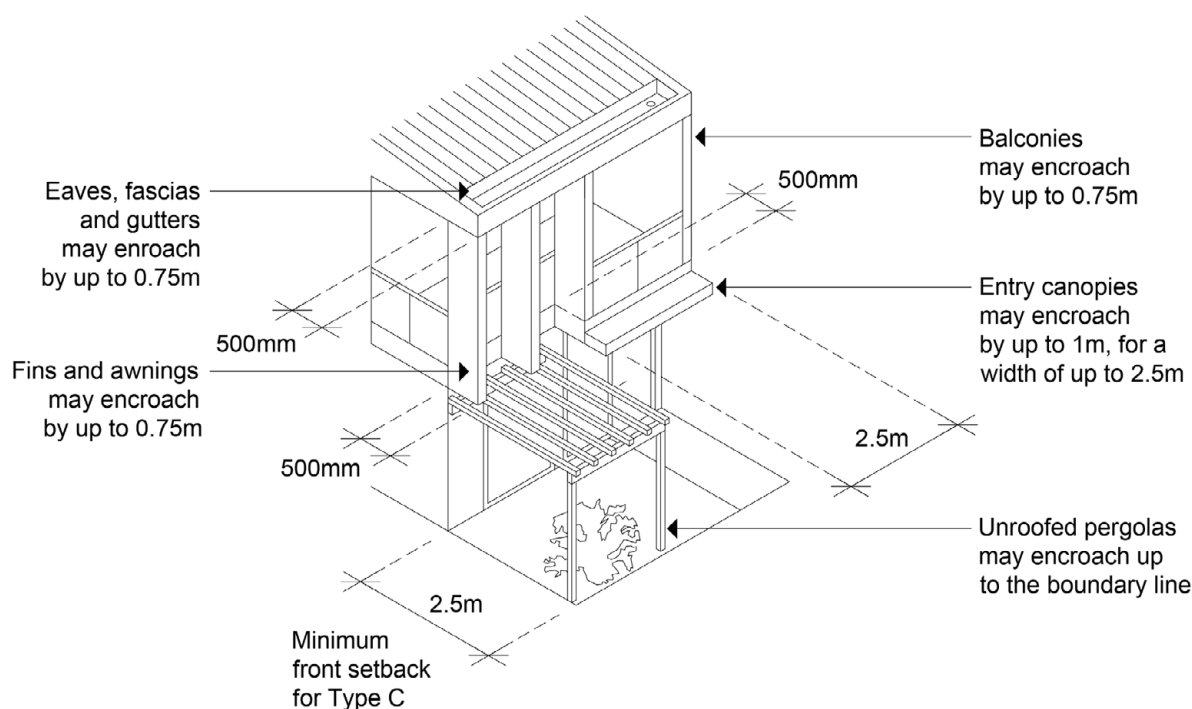


Diagram 34 Articulation detailed design

ACTIVATION

Standard 36 – Activation and passive surveillance

Standard 36.1

To enable activation and passive surveillance of the street there must be an area of open space forward of the primary frontage that has a 1.5 metre minimum dimension, in each direction.

Standard 36.2

There must be at least one habitable room window or balcony at a front, rear or side boundary where it adjoins a street or public open space reserve, to allow for passive surveillance as shown in **Diagram 35**.

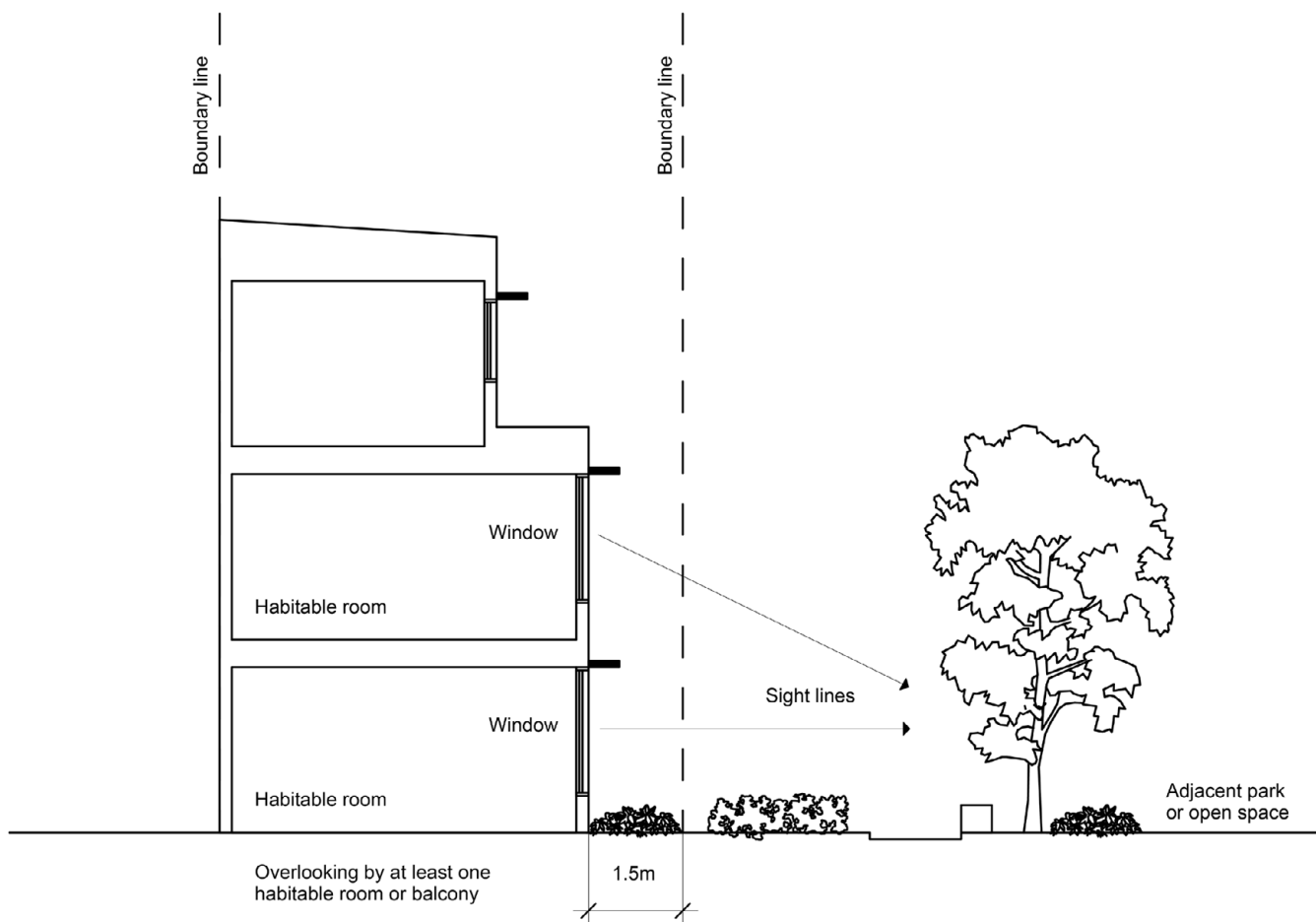


Diagram 35 Activation and passive surveillance

Standard 37 – Car parking

The purpose of this Standard is to ensure new dwellings have adequate on-site car parking. Car parking spaces can be nominated anywhere on an allotment, however a complying car parking space must be accessible from a public street, lane or right-of-way and be fully contained within the allotment. If the spaces are within a structure the dimensions are to be taken as the internal dimensions of that structure.

These Standards are described at **Diagram 36**.

Standard 37.1

At least one car park is required to be provided on the allotment.

There is limited capacity to provide more than one carpark on very small lots and additional carparking may compromise activation of the surrounding area.

It is not mandatory for a car park to be provided within a garage.

Standard 37.2

The car park can be provided in a garage, carport or in an un-roofed area.

Standard 37.3

At least 1 car parking space must be at least 6.0 metres long and 3.2 metres wide.

Standard 37.4

The minimum ceiling height to a garage, carport or car parking space is 2.4 metres.

Standard 37.5

This Standard sets maximum dimensions for garage doors.

If the car parking space is in a garage, the door(s) or opening(s) to the garage.

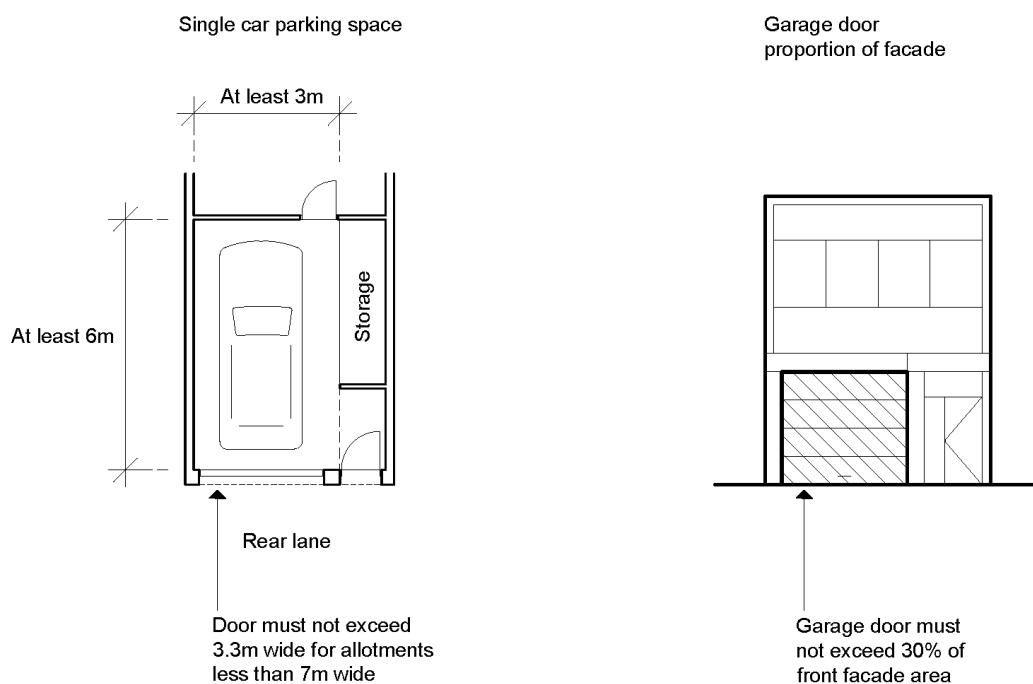


Diagram 36 *Garage door dimensions*

PRIVATE OPEN SPACE

Standard 38 – Site coverage

Standard 38.1

There is no maximum site coverage.

*Note: The Garden Area requirement, as described in the **Victoria Planning Provisions**, is not applicable to small lots, as the garden area only applies to lots 400 square metres or greater.*

Standard 39 – Private open space

The number of bedrooms in the dwelling determines the required area of private open space (POS). Private open space can be at ground level, on a balcony or at roof top level (as shown in Diagrams 37, 38 and 39).

Standard 39.1

The definition for bedroom includes any room more than 6 square metres in floor area, enclosed on all sides and containing a window, but not a kitchen or main living room. Rooms labelled study or library etc. but otherwise meeting the above definition must be counted as a bedroom for the purposes of this Standard.

Number of bedrooms	Minimum area of private open space
Two or less	12 square metres
Three or more	18 square metres

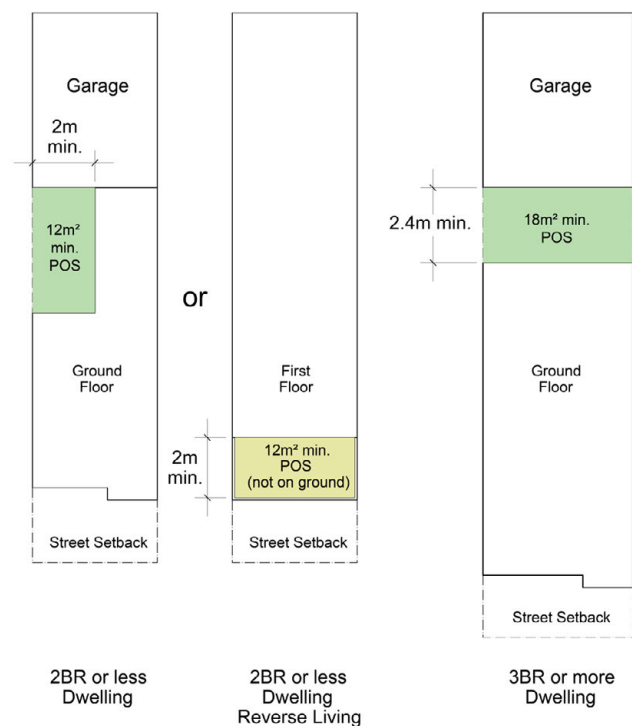


Diagram 37 Private open space

Standard 39.2

POS can be located in two separate parcels provided:

- Each parcel has a minimum dimension of 1.5 metres in all directions; and
- One of the parcels meets the area and dimensions in accordance with the following table, and has a door connecting to a living room:

Number of bedrooms	Minimum Area	Minimum dimension
2 Bedrooms or less	8 square metres	2 metres
3 Bedrooms or more	8 square metres	2.4 metres

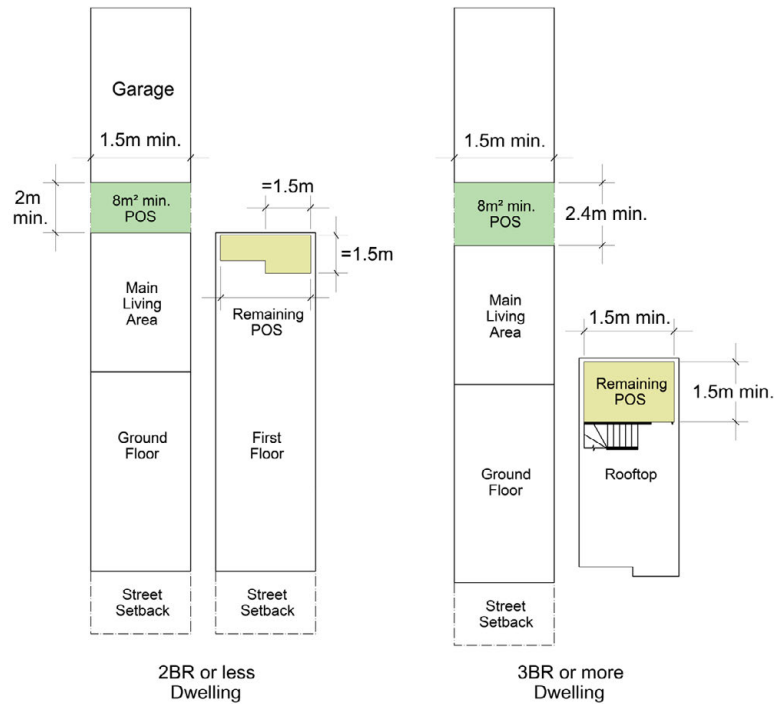


Diagram 38 Private open space

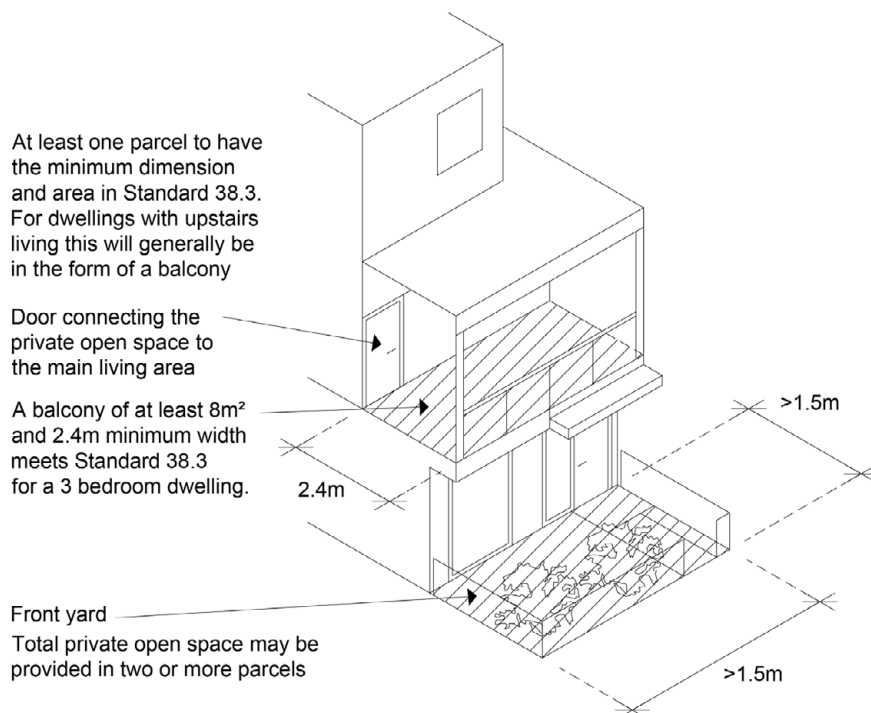


Diagram 39 Private open space

Standard 40 – Daylight to private open space

Standard 40.1

A 4.0 square metre area of POS with a minimum dimension of 2.0 metres in each direction, must have direct sunlight for at least 2 hours between 8am and 4pm on the Spring equinox (22 September), as shown at **Diagram 40**.

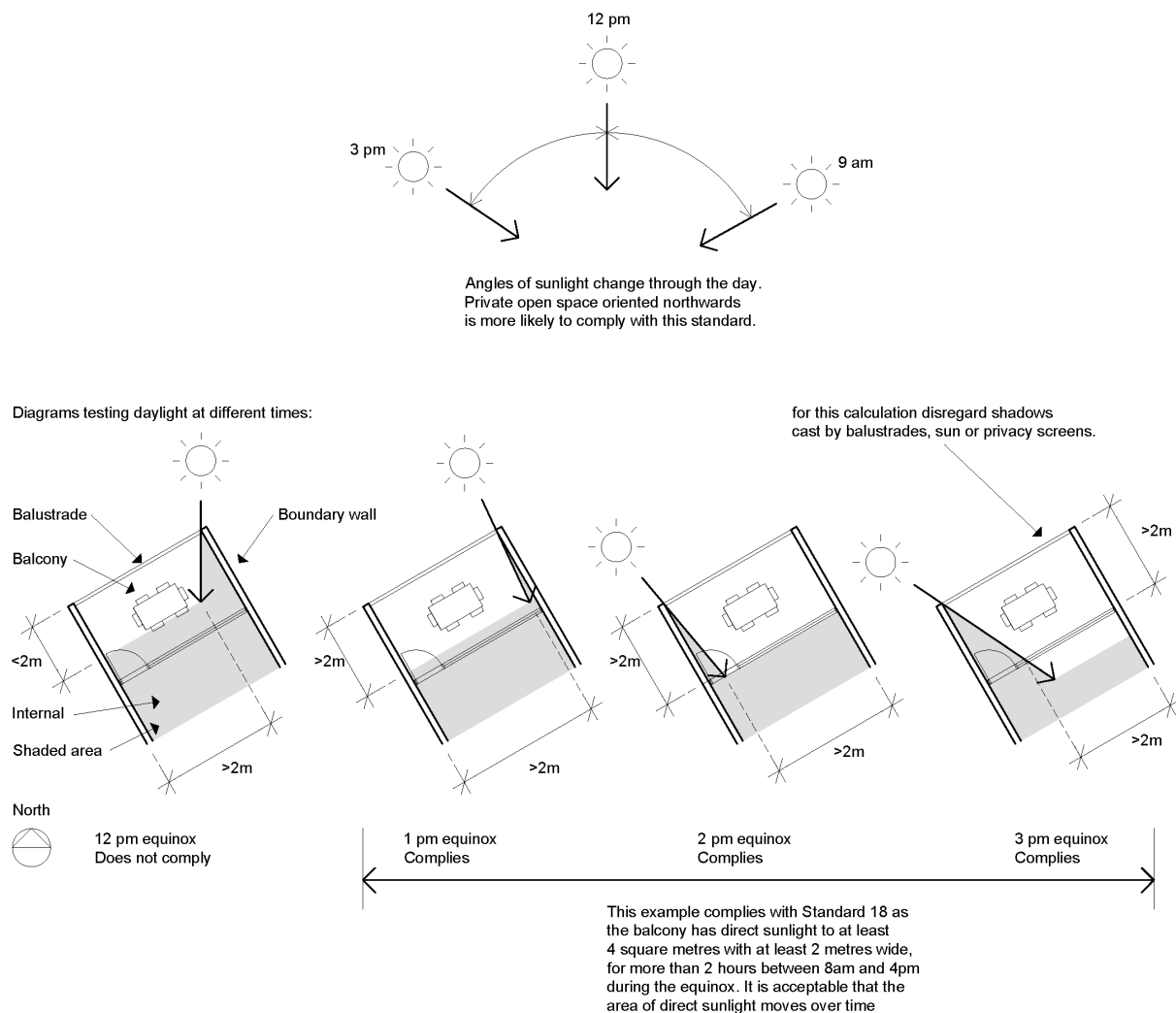


Diagram 40 Daylight to private open space

Standard 41 – Landscape permeability

Standard 41.1

At least 50 per cent of unroofed, ground level POS must comprise water permeable surfaces. An example of this could be garden beds.

AMENITY

Standard 42 – Daylight to existing habitable room windows

Standard 42.1

The application is exempt from the requirements of the *Building Regulations 2018*, unless the subject allotment adjoins an allotment that is not subject to the Small Lot Housing Code or is not shown on the same certified plan of subdivision, in which case Building Regulation 81 of the *Building Regulations 2018* apply to the extent that they relate to the adjoining allotment.

Standard 43 – Solar access to existing north facing windows

Standard 43.1

The application is exempt from the requirements of the *Building Regulations 2018*, unless the subject allotment adjoins an allotment that is not subject to the Small Lot Housing Code or is not shown on the same certified plan of subdivision, in which case Building Regulation 82 of the *Building Regulations 2018* apply to the extent that they relate to the adjoining allotment.

Standard 44 – Overshadowing of secluded private open space

Standard 44.1

The purpose of this Standard is to ensure protection of overshadowing of the adjoining allotments existing secluded private open space (SPOS) and links with the requirements of Standard 14.2 in that a minimum 6 square metres, with a minimum dimension of 2 metres, of the neighbours SPOS must have direct sunlight after determining the length of shadow for type A and Type B allotments.

This Standard does not apply where there is no existing SPOS adjacent.

The length of shadow cast by a wall or fence is calculated as $0.9 \times$ the height of the wall when the sun is true north (see **Diagram 41**).

Standard 44.2

A building must not reduce the sunlight to POS of an existing Type C building on an adjoining allotment such that it would no longer meet Standard 42.1 Daylight to POS.

Note: *If an adjoining allotment is not subject to the Code, then Regulation 83 of the Building Regulations 2018 applies to that interface with the adjoining allotment.*

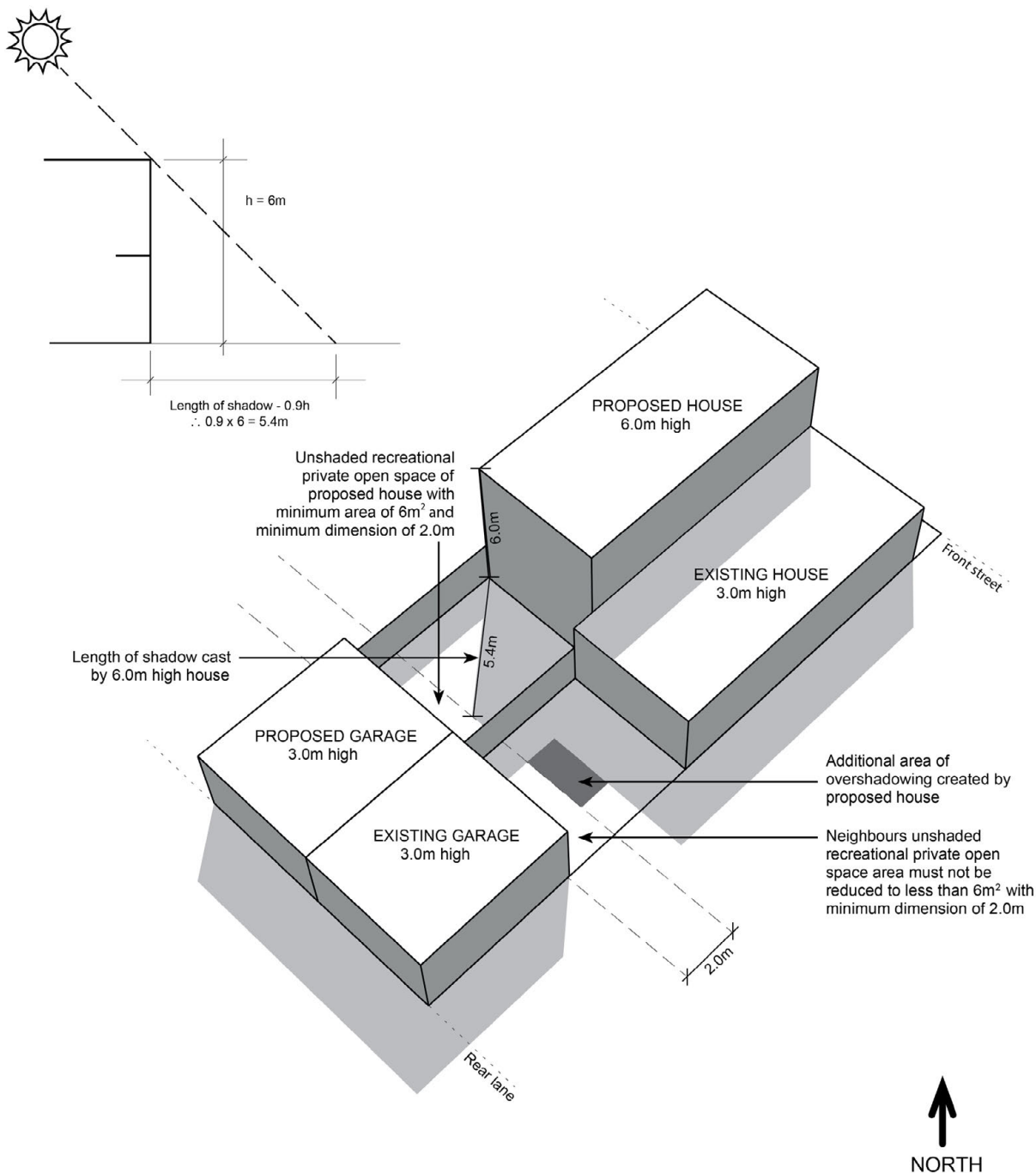


Diagram 41 Overshadowing

Standard 44.3

A dwelling must not reduce the sunlight to private open space of an existing Type C dwelling on an adjoining allotment, such that the allotment would no longer meet Standard 42.1.

This requirement does not apply to SPOS provided as a balcony.

A simple single overshadowing diagram, with the shadow lengths being $0.9 \times$ wall height, south of the building, need only be submitted.

Standard 45 – Deep soil zone

Standard 45.1

Each allotment must have a minimum 2.5 square metre, deep soil area with a minimum dimension of 1.5 metres.

Note: The location of the deep soils area is not specified.

Standard 46 – Overlooking

If an adjoining allotment is not subject to the Small Lot Housing Code or is not shown on the same certified plan of subdivision regulation 84 of the *Building Regulations 2018* apply to the extent that they relate to the adjoining allotment.

Standard 46.1

This Standard is described at **Diagram 42**.

This Standard prescribes setbacks, sill heights and/or screen provisions to reduce overlooking from habitable room windows into living rooms.

Habitable rooms other than living rooms are not required to be protected from overlooking via glazing treatments or screening, however this Standard does not prohibit the provision of screening if it is preferred.

A habitable room window must have a sill height or be screened to be no more than 25 per cent transparent to a height of 1.7 metres if it is:

- Within 4.5 metres of a living room window on an adjoining allotment; and
- The floor level of the room is more than 2.5 metres above natural ground level; and
- Faces a living room window on an adjoining allotment at an angle less than 45 degrees.

There is no requirement to prepare overlooking diagrams under this regulation.

Standard 46.2

A raised POS must be screened to a height of 1.7 metres with the screen being no more than 25 per cent transparent if it is:

A raised private open space that faces a secluded private open space or living room windows of a dwelling within a horizontal distance of 4.5 metres, must be screened to a height of at least 1.7 metres above the floor level with the screen no more than 25 per cent transparent.

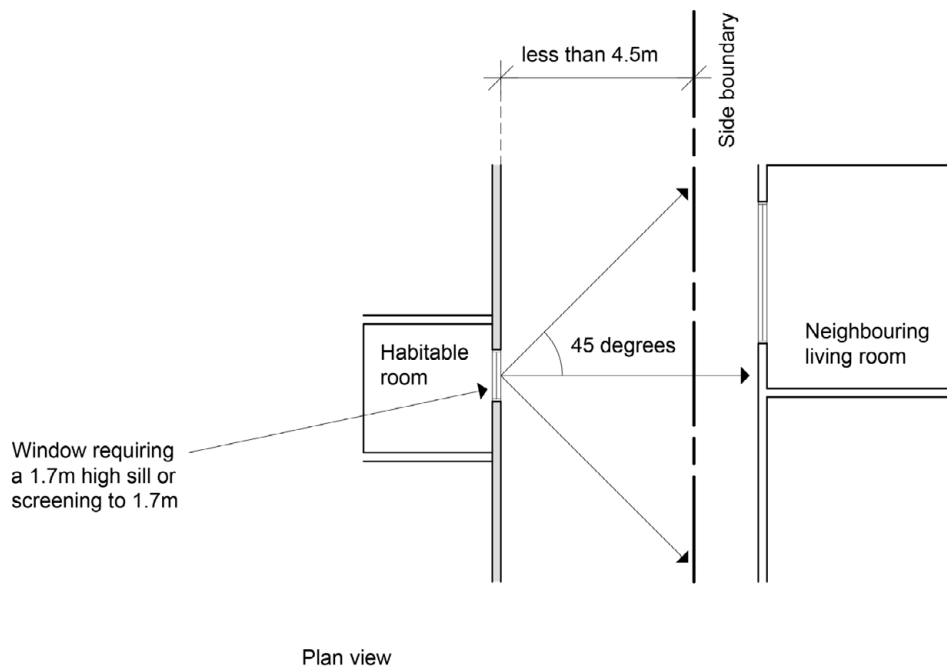
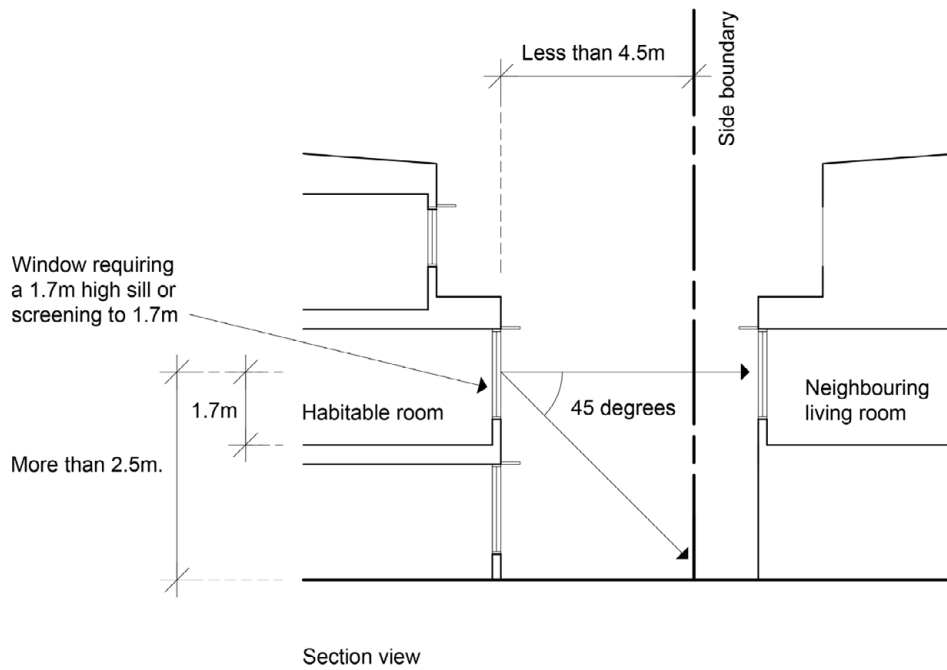


Diagram 42 Overlooking

Standard 47 – Daylight to habitable rooms

Standard 47.1

This Standard ensures that all habitable room windows receive adequate light without imposing any requirements or restrictions on the neighbouring allotments. A rear or side lane, or reserve can contribute to the required daylight to a habitable room window.

This Standard is described at **Diagram 43**.

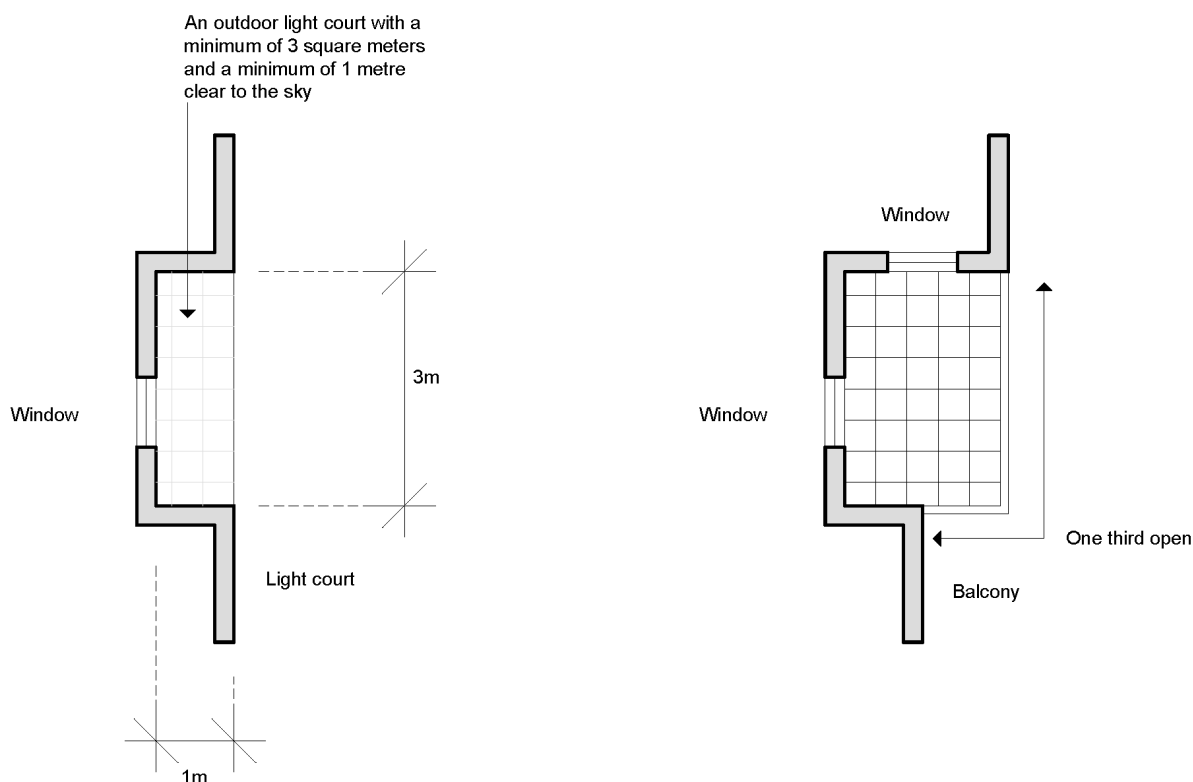


Diagram 43 Daylight to habitable rooms

STORAGE, SERVICES, UTILITIES AND FENCES

Standard 48 – Storage

Standard 48.1

Each dwelling must have at least 2.5 cubic metres of storage provided, with a minimum depth of 600 millimetres. If storage is provided in the garage, it must be in addition to space provided for a vehicle.

Standard 49 – Bin storage

Standard 49.1

Each dwelling must provide bin storage that is screened from view from the front street alignment.

If bin storage is provided in a garage, it must be provided in addition to the storage requirements at Standard 48.1.

FENCES

Standard 50 – Front fence height

Standard 50.1

The maximum height of a front fence within 3 metres of a declared road is 2 metres. The maximum height of a front fence within 3 metres of any other street is 1.5 metres.

Standard 50.2

A front fence within 3 metres of a non-declared road that is higher than 850 millimetres, must be more than 25 per cent transparent for that part of the fence above 850 millimetres.

The front and side boundary fence Standards are described at **Diagram 44**.

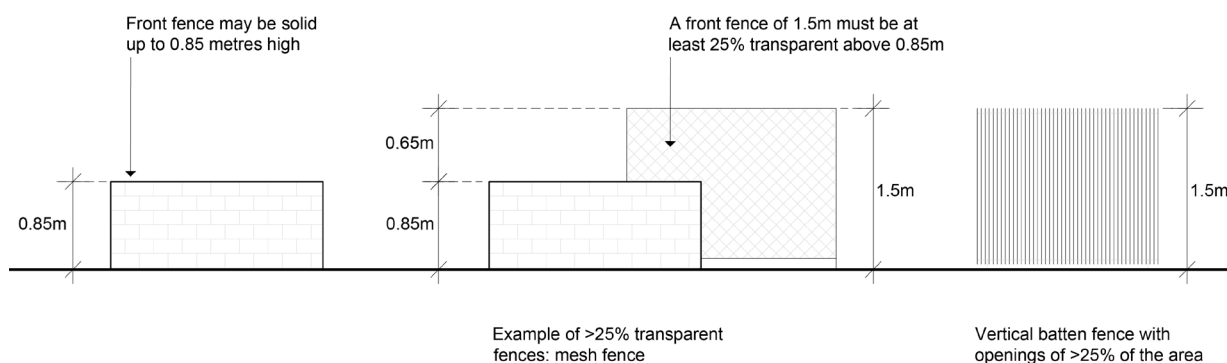


Diagram 44 Front and side boundary fences

Standard 51 – Fences on or within 150 millimetres of side or rear boundaries

Standard 51.1

The maximum height of any fence on or within 150 millimetres of a side or rear boundary is 2.5 metres.

If the fence is higher than 2 metres, the section of fence that is greater than 2 metres must be at least 25 per cent transparent (see **Diagram 45**), unless the subject allotment shares a boundary with a lot that is not subject to the Small Lot Housing Code or is not shown on the same certified plan of subdivision, in which case Regulation 91 of the *Building Regulations 2018* apply to the extent that they relate to the adjoining allotment.

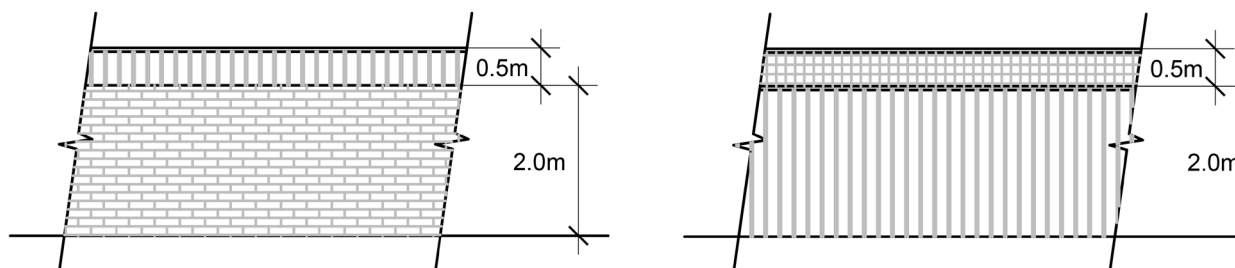


Diagram 45 Fences setback from side and rear boundaries

Standard 52 – Fences forward of front walls

Standard 52.1

Fences forward of the front wall must comply with the height and transparency requirements of Standards 50.1 and 50.2.

Standard 53 – Fences on secondary street alignments, paper road or public open space reserve

These Standards are described at Diagram 46.

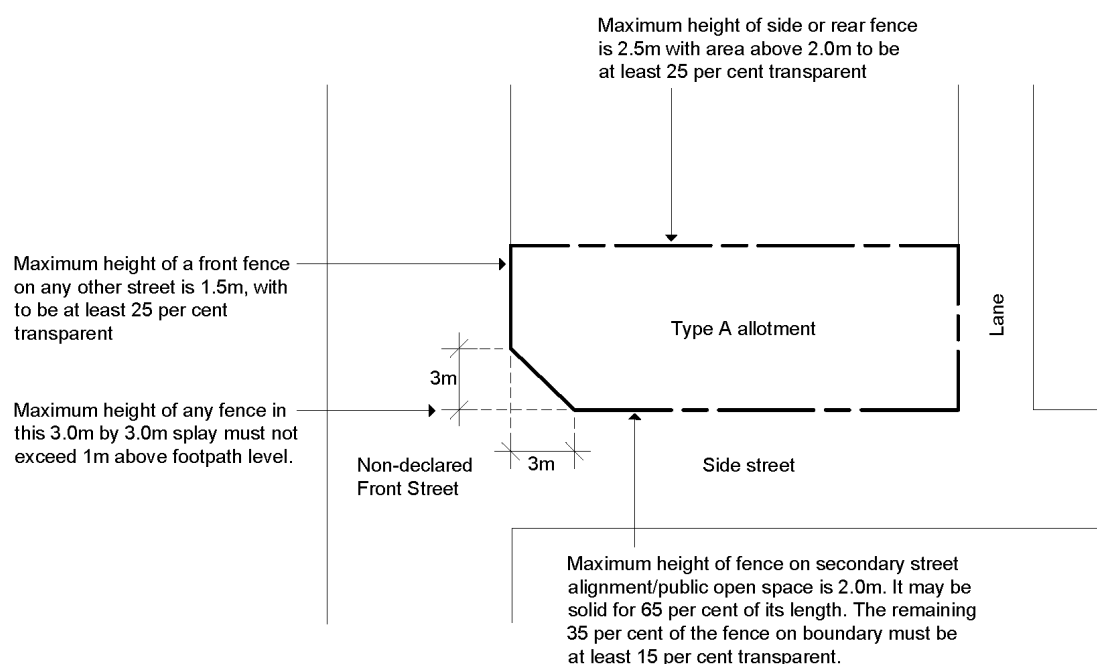


Diagram 46 Fences on side street alignments

Standard 53.1

Note that “street” in this Standard does not include a lane, footway, alley, or right-of-way.

Despite Standard 51.1 a fence within 1 metre of a side boundary to a street, paper road or public open space reserve must:

- Not exceed 2.0 metres in height; and
- Be solid for no more than 65 per cent of its length, the remaining length of the fence must be at least 15 per cent transparent.

Standard 53.2

Despite Standard 51.1, a fence within 1.0 metre of a rear boundary to a street, paper road, public open space reserve must not exceed 2.0 metres in height.

Standard 53.3

A fence on a rear street alignment must not exceed 2.0 metres in height above natural ground level.

Standard 53.4

Fences must not contain barbed wire or other sharp protrusions.

Standard 54 – Fences on intersecting and secondary street alignments

Standard 54.1

This Standard applies to fences within 3.0 metres of a point of intersection of street alignments on corner allotments, and fences on a side street and rear street.

Standard 55 – fences and daylight to windows in existing building

Standard 55.1

The application is exempt from the requirements of the *Building Regulations 2018*, unless the subject allotment adjoins an allotment that is not subject to the Small Lot Housing Code or is not shown on the same certified plan of subdivision, in which case Building Regulation 94 of the *Building Regulations 2018* apply to the extent that they relate to the adjoining allotment.

Standard 56 – fences and solar access to existing north-facing habitable room windows

Standard 56.1

The application is exempt from the requirements of the *Building Regulations 2018*, unless the subject allotment adjoins an allotment that is not subject to the Small Lot Housing Code or is not shown on the same certified plan of subdivision, in which case Building Regulation 95 of the *Building Regulations 2018* apply to the extent that they relate to the adjoining allotment.

Standard 57 – fences and overshadowing of secluded private open space

Standard 57.1

The application is exempt from the requirements of the *Building Regulations 2018*, unless the subject allotment adjoins an allotment that is not subject to the Small Lot Housing Code or is not shown on the same certified plan of subdivision, in which case Building Regulation 96 of the *Building Regulations 2018* apply to the extent that they relate to the adjoining allotment.

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