

PSP 2.0

Bannockburn South East

Development Contributions Plan

WADAWURRUNG COUNTRY

April 2025

DRAFT

FOR PUBLIC CONSULTATION

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1. SUMMARY OF CHARGES

Table 1 provides an overview of the project categories and charges included within this Development Contributions Plan (DCP). A more detailed explanation of apportionment, methods of calculation, and the description and costs of individual projects is included within the document.

Table 1 Summary of charges

Summary - Net Developable Area (NDA) by charge area		
Charge area	Total Cost of Contribution	Contribution per Net Developable Hectare (NDHa)
Residential	\$301,423,938	\$974,156

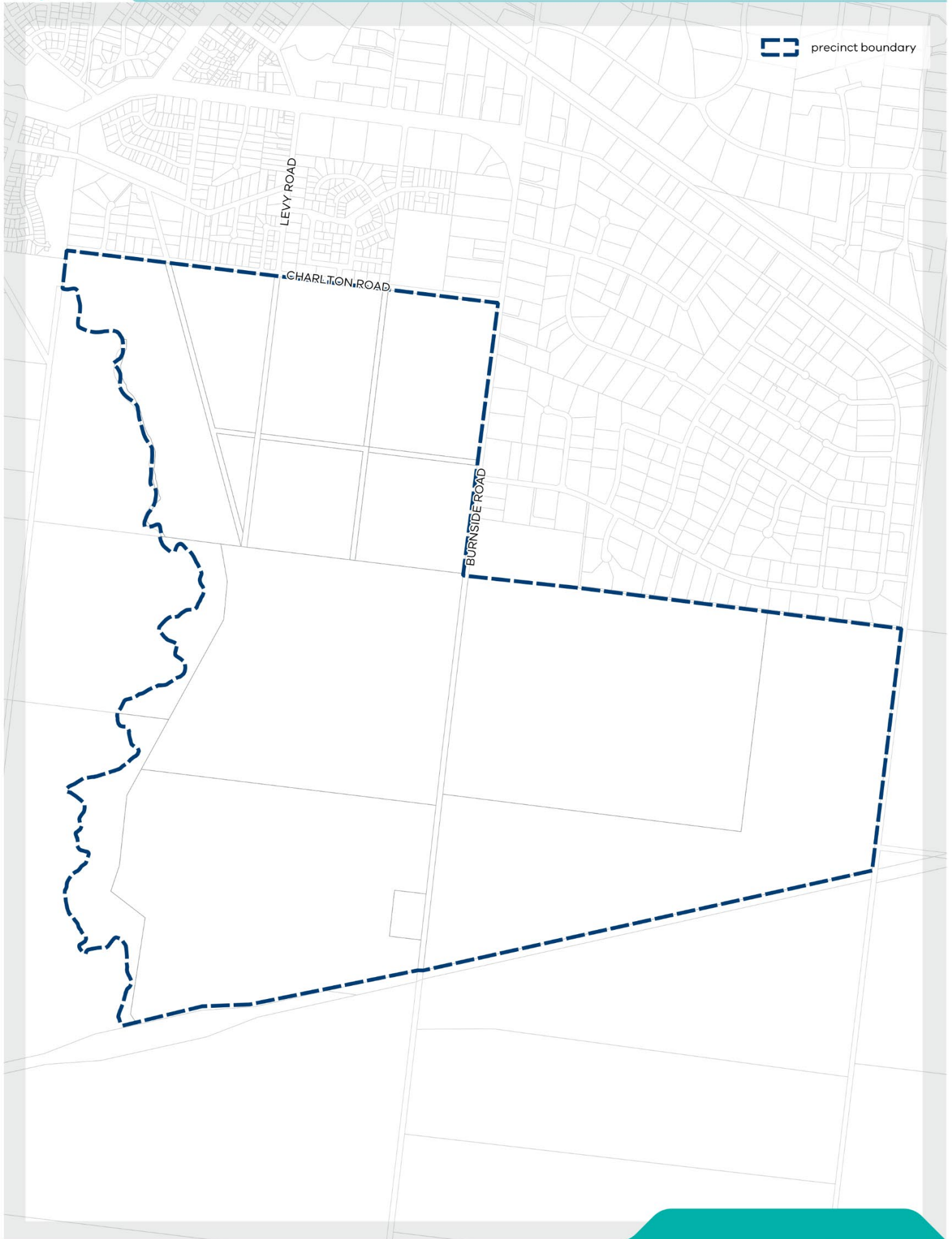
Summary - Development infrastructure levy		
Projects	Total cost of projects	Contribution per Net Developable Hectare (NDHa)
Transport	\$79,270,176	\$256,189
Community	\$43,009,500	\$139,000
Recreation	\$79,879,430	\$258,158
Drainage	\$99,264,832	\$320,809
Total	\$301,423,938	\$974,156

Summary - Breakdown of Development Infrastructure Levy		
Projects	Total cost of projects	Contribution per Net Developable Hectare (NDHa)
Land	\$76,611,730	\$247,597
Construction	\$224,812,208	\$726,559
Total	\$301,423,938	\$974,156

Summary - Community infrastructure levy		
	Estimated dwellings	Estimated total contribution
Capped at \$1450 per dwelling	4,685	\$6,792,707

Note: All costs are rounded to the nearest dollar.

 precinct boundary



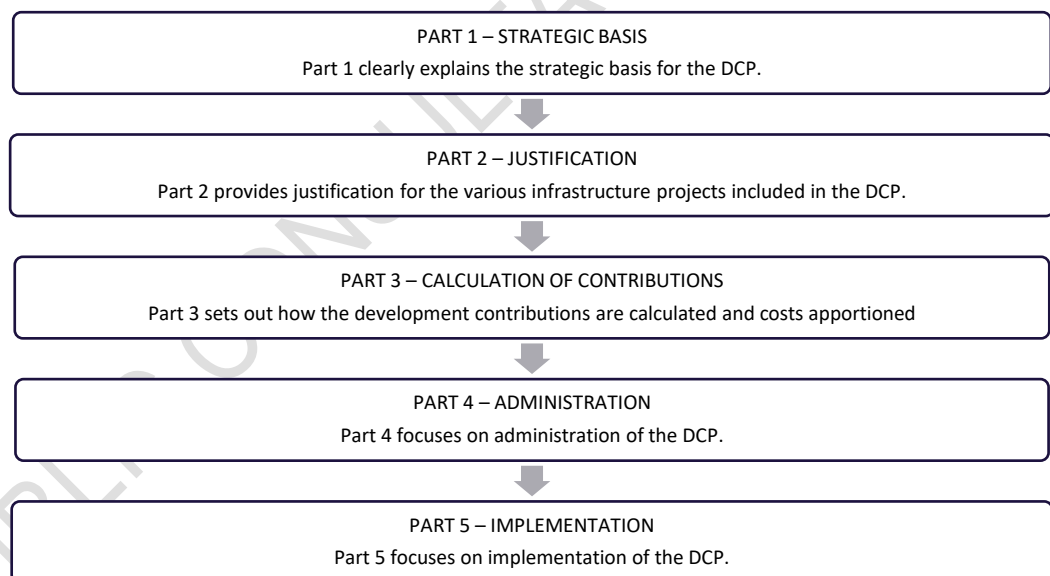
2. INTRODUCTION

The Bannockburn South East Development Contributions Plan (DCP) has been prepared by the Victorian Planning Authority (VPA) in partnership with Golden Plains Shire Council and with the assistance of government agencies, service authorities and major stakeholders.

The DCP:

- Outlines projects required to ensure that future residents, visitors and workers in the precinct can be provided with timely access to infrastructure and services necessary to support a quality and affordable lifestyle;
- Establishes a framework for development proponents to make a financial contribution towards the cost of identified infrastructure projects;
- Ensures the cost of providing new infrastructure and services is shared equitably between various development proponents and the wider community;
- Provides the details of the calculation of financial contributions that must be made by future developments towards the nominated projects;
- Provides developers, investors and the local community with certainty about development contribution requirements and how these will be administered.

The DCP document comprises five parts:



The strategic basis for the DCP is informed by:

- State and Local Planning Policy Framework as set out in the Golden Plains Planning Scheme;
- *Precinct Structure Planning Guidelines; New Communities in Victoria* (Victorian Planning Authority, 2021);
- *Infrastructure Design Manual* (Local Government Infrastructure Design Association);
- *Bannockburn South East Precinct Structure Plan* and supporting documents.

These documents set out a broad, long term vision for the sustainable development of the precinct and its surrounds.



2.1 Planning and Environment Act 1987

The DCP has been prepared in accordance with Part 3B of the *Planning and Environment Act 1987* (the Act) as well as other relevant legislation and has been developed in line with the State and Local Planning Policy Framework of the Golden Plains Planning Scheme. It is consistent with the Ministerial Direction on the Preparation and Content of Development Contributions Plans made under section 46M(1) of the Act and has regard to the Victorian Government's Development Contributions Plan Guidelines.

The DCP provides for the charging of a Development Infrastructure Levy (DIL) pursuant to section 46J(a) of the Act towards works, services and facilities. The DCP also sets out the collection of funds under the Community Infrastructure Levy (CIL) for the construction of community and sporting facilities.

The DCP forms part of the Golden Plains Planning Scheme pursuant to section 46I of the Act and is an incorporated document under the Schedule to Clause 72.04 of the Golden Plains Planning Scheme. The DCP is implemented into the Golden Plains Planning Scheme through Schedule 1 to the Development Contributions Plan Overlay (DCPO1) that applies to the 'main catchment area' illustrated on Plan 2.

2.2 Bannockburn South East Precinct Structure Plan

The Bannockburn South East Precinct Structure Plan (PSP) is located to the south east of the existing Bannockburn township and was identified as a priority growth corridor for Bannockburn in the Bannockburn Growth Plan (2021).

The PSP identifies approximately 524 hectares of land for urban development as illustrated on Plan 2. The PSP sets out the vision for how land should be developed, describes the objectives to be achieved by the future development and outlines projects required to support the future community. The need for the infrastructure set out in the DCP has been determined according to the anticipated development scenario as described in the PSP.

The DCP has a strong relationship to the PSP, as the PSP provides the rationale and justification for infrastructure items that have been included within the DCP. Accordingly, the DCP is an implementation-based planning tool, which identifies the infrastructure items required by the new community and apportions the cost of this infrastructure in an equitable manner across the plan area.

2.3 The area to which the Development Contributions Plan applies

In accordance with section 46K(1)(a) of the Act, the DCP applies to land illustrated on Plan 1 and Plan 2; this area is known as the main catchment area (MCA). The area is identified as DCPO1 in the Golden Plains Planning Scheme.

In identifying infrastructure items for delivery, consideration has been given to ensure they are not already wholly funded through another contribution mechanism, such as a mandatory infrastructure construction requirement, an existing local DCP, an agreement under Section 173 of the Act, or as a condition on an existing planning permit.

2.4 Infrastructure items included in the Development Contributions Plan

The need for infrastructure included in the DCP has been determined based on the development scenario as described in the PSP and its supporting documents.

Items can be included in a DCP if the proposed development of an area is likely to create the need for infrastructure by its future community. New development does not have to trigger the need for new items in its own right. Furthermore, an item can be included in a DCP regardless of whether it is within or outside the DCP area.

Before inclusion in the DCP, all items have been assessed to ensure they have a relationship or nexus to proposed development in the PSP. The cost apportionment methodology adopted in the DCP relies on the nexus principle. A new development is deemed to have a nexus with an item if it is expected to make use of that item.

The items that have been included in the DCP all have the following characteristics:

- Are essential to the health, safety and wellbeing of the community;
- Will be used by a broad cross-section of the community;
- Reflect the vision and strategic aspirations expressed in the PSP;
- Are not recurrent items;
- Are the basis for the future development of an integrated network;
- Provide for infrastructure delivery due to heavy fragmentation of land.

2.5 Items not included in the Development Contributions Plan (developer works)

The following items are not included in the DCP. They must be provided by developers as a matter of course and/or pursuant to agreements with servicing agencies in implementing the PSP:

- Connector streets and local streets;
- Intersection works and traffic management measures along arterial roads, connector streets and local streets (except those included in the DCP);
- Local bus stop infrastructure;
- Landscaping (including irrigation) of all existing and future connector roads, including central medians, and local streets;
- Local shared, pedestrian and bicycle paths along local streets, connector streets, utilities easements, waterways and within local parks including bridges, intersections, and barrier crossing points (except those included in the DCP);
- Bicycle parking;
- Appropriately scaled lighting along all roads, major shared and pedestrian paths, and traversing the open space network;
- Local street or path crossings of Bruce Creek and constructed waterways, unless included in the DCP or outlined as the responsibility of an agency in the PSP;

- Local parks, which are different from sports reserves, masterplans and any agreed associated works required by the PSP for local parks. The schedule to clause 53.01 will be used by the collecting agency to manage the public open space contributions associated with local parks.
- Any landscaping in local parks in addition to what is already provided for in the DCP;
- Infrastructure as required by utility services providers, including water, sewerage, electricity, gas and telecommunications;
- Interim works, such as fencing, unless included in the DCP or outlined as the responsibility of an agency in the PSP.

The items listed above are normal to the construction of a development and are not considered to warrant cost sharing arrangements beyond those set out in the DCP.

They may be further addressed and defined by an agreement under Section 173 of the Act and/or conditions in planning permits.

Upgrade of the existing adjoining road network to an urban standard will be implemented through subdivision permit conditions to the satisfaction of the responsible authority, except where specified as a DCP project.

2.6 Related infrastructure agreements

A number of additional infrastructure agreements may relate to the precinct area. These includes the Section 173 agreements of The Act that have been entered into and relevant capital works programs.

3. INFRASTRUCTURE PROJECT JUSTIFICATION

3.1 Project identification

The DCP uses a project identification system of project category and sequential number in its tables and plans.

The following types of projects are included in the DCP:

- Transport projects
 - RD – Road projects
 - IN – Intersection projects
 - BR – Bridge and culvert projects
- Community projects
 - CI – Community centre projects
 - SR – Sports reserve projects
 - IR – Indoor recreation projects
- Drainage projects
 - RBWL – Retarding basin projects
 - CW – Constructed waterway projects

3.2 Project timing

Each item in the DCP has an assumed indicative provision trigger specified in Tables 2–5. The timing of the provision and the items in the DCP are consistent with information available at the time the DCP was prepared.

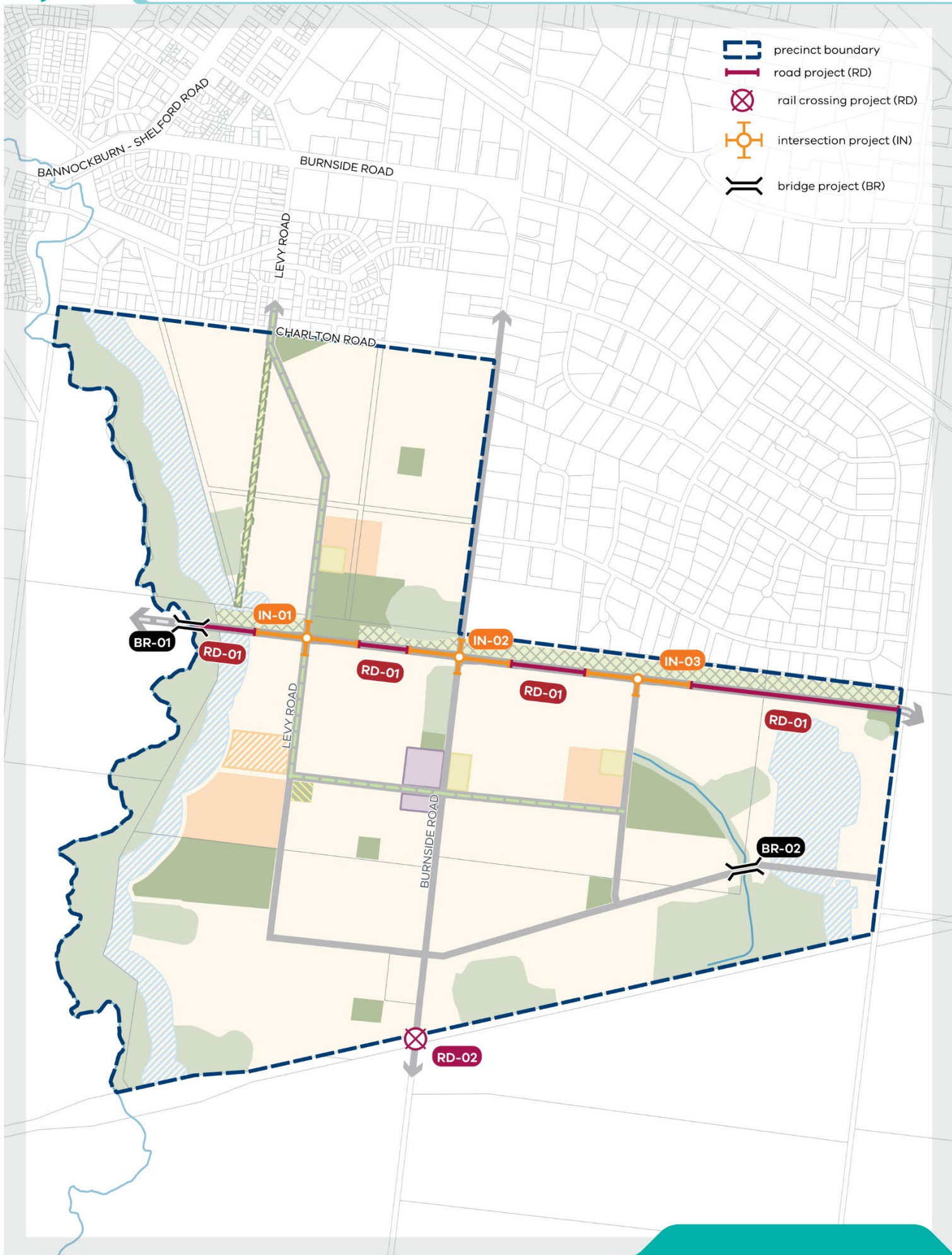
The Golden Plains Shire Council is the development agency as well as the collecting agency and will monitor and assess the required timing for individual items and have regard to its capital works program.

The collecting agency may consider alternatives to the priority delivery of works or land where:

- Infrastructure is to be constructed / provided by development proponents as works or land in kind, as agreed by the collecting agency.
- Network priorities require the delivery of works or land to facilitate broader road network connections.
- Community needs determine the delivery of works or land for community facilities, sports reserves and open space.

All items in the DCP will be provided as soon as is practicable and as soon as sufficient contributions are available, consistent with Section 6.1 and acknowledging the development agency's capacities to provide the balance of funds not recovered by the DCP.

Contributions are to be made by developers at the time of subdivision. If subdivision is not applicable, payments must be made prior to construction of buildings and works (refer to Section 6.1).



3.3 Transport projects

The PSP outlines an expanded urban structure intended to support the future residential growth of the Precinct, including an east-west road connection, connector streets, and local streets adjusted to meet the existing constraints of the area.

Transport projects are based on the transport network illustrated in Plan 3 and include a combination of:

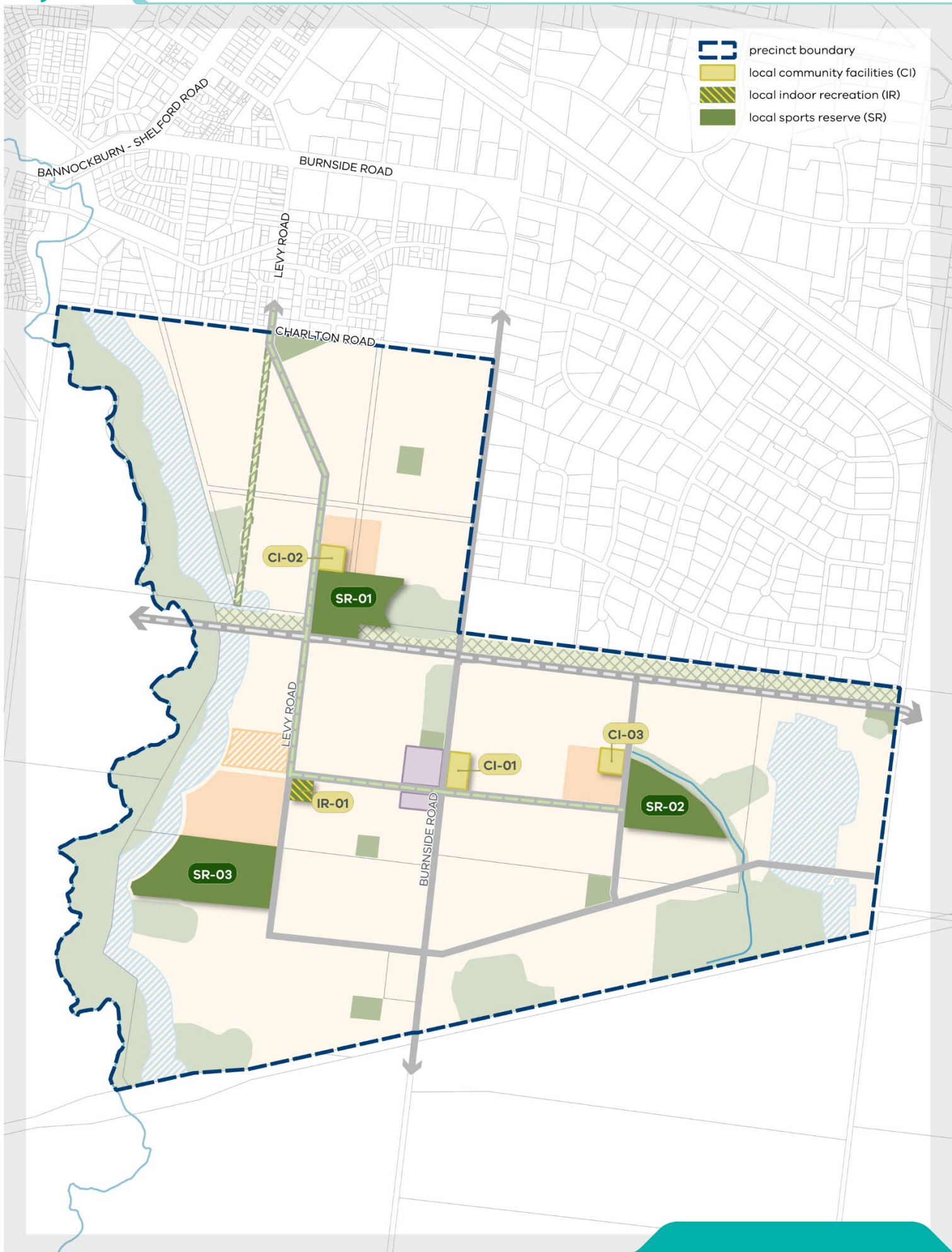
- Construction of controlled intersections with the existing road network and associated works; and,
- Roads, bridges and culverts
- Safety upgrades for the existing level crossing at Burnside Road
- Land for the above.

The above projects are shown on Plan 3 and described in Table 2.

Apportionment has been applied to the construction of the interim east-west link road bridge crossing Bruce Creek, item BR-01 at 50% to be shared with a future precinct or precincts west of Bruce Creek.

Table 2 Transport projects

DCP Project ID	Project Title Project Description	Indicative Provision Timing
	Road projects	
RD-01	East-West Link Road (Interim) Purchase of land for ultimate (4 lane) east-west link road	S-M
RD-01c	East-West Link Road (Interim) Construction of interim (2 lane) east-west link road	S-M
RD-02	Burnside Road level crossing upgrade Upgrades to Burnside Road rail level crossing	L
	Intersection projects	
IN-01	Levy Road / Future East-West Link Road Intersection Purchase of land for ultimate 4-way intersection (Levy Road/future east-west link road)	S
IN-01c	Levy Road / Future East-West Link Road Intersection Construction of interim 4-way intersection (Levy Road/future east-west link road)	S
IN-02	Burnside Road / Future East-West Link Road Intersection Purchase of land for ultimate 4-way intersection (Burnside Road/future east-west link road)	S
IN-02c	Burnside Road / Future East-West Link Road Intersection Construction of interim 4-way intersection (Burnside Road/future east-west link road)	S
IN-03	Future Connector / Future East-West Link Road Intersection Purchase of land for ultimate 3-way intersection (future connector/future east-west link road)	M
IN-03c	Future Connector / Future East-West Link Road Intersection Construction of interim 3-way intersection (future connector/future east-west link road)	M
	Bridge and culvert projects	
BR-01	East-West Link Road Bridge Purchase of land for ultimate (4 lane) east-west link road bridge on Bruce Creek	L
BR-01c	East-West Link Road Bridge (Interim) Construction of interim (2 lane) east-west link road bridge on Bruce Creek	L
BR-02	Connector culvert over constructed waterway Construction of constructed waterway culvert on connector road	M-L



3.4 Community projects

Community projects include a contribution towards land required for and construction of community facilities, active recreational reserves and indoor recreation:

Community projects have been identified based upon recommendations of the *Bannockburn South East Community Infrastructure Needs Assessment* (ASR, 2023).

In determining the final scope of DCP funded recreation projects within each sporting reserve, Council in its capacity as Development Agency will have regard to matters such as changing provision standards and models, the immediate needs of the community, current regulations and best practice and may seek to adjust and refine the scope of the projects to respond to these matters. The community projects funded by the DCP are shown on Plan 4 and described in Table 3 and Table 4.

Apportionment has been applied to the indoor recreation facility, project IR-01c:

- Apportionment has been determined based on the *Bannockburn South East Community Infrastructure Needs Assessment* (ASR, 2023).
- Benchmarking for community infrastructure determined an apportionment of 75% for the construction of indoor recreation courts.

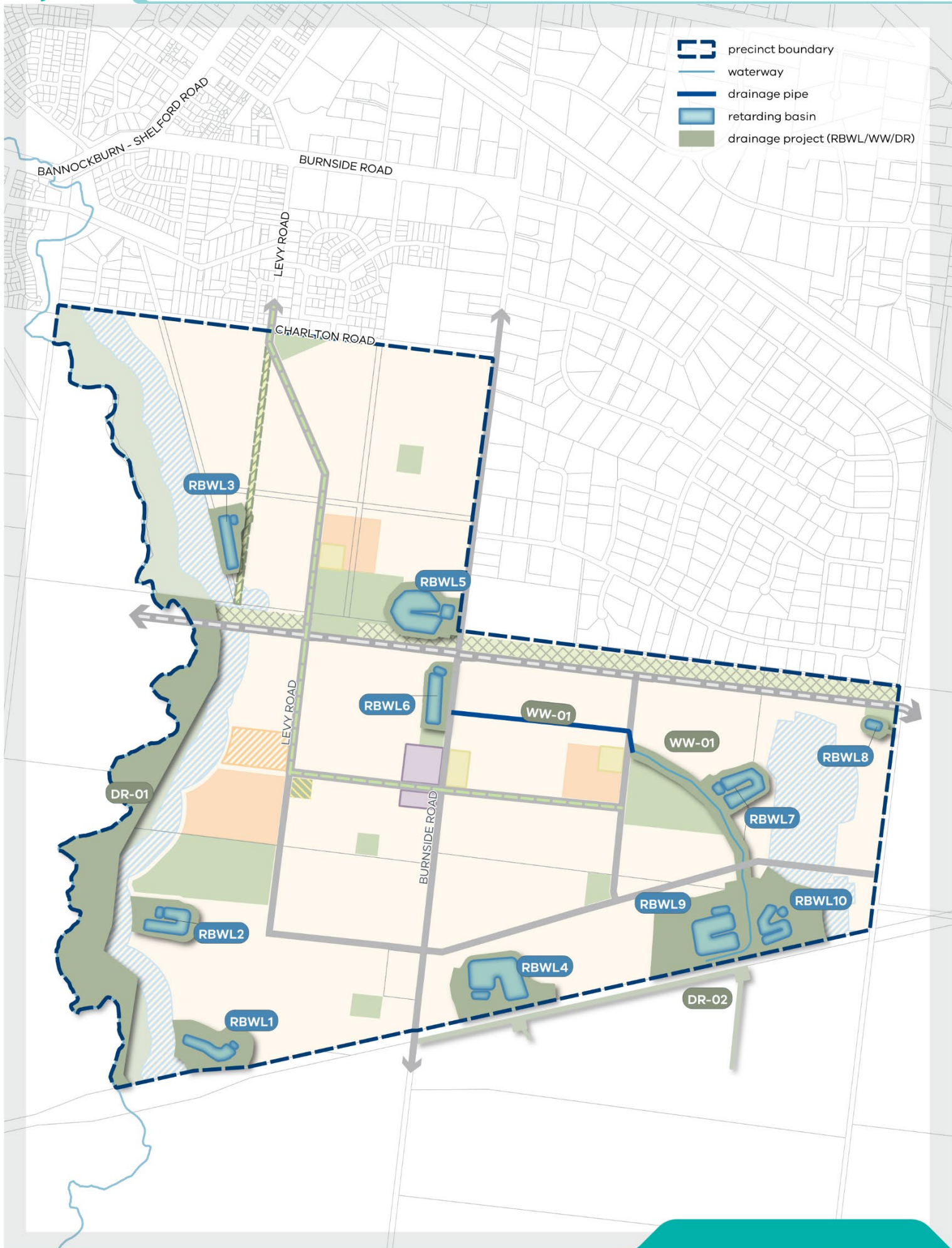
Table 3 Community projects – Development infrastructure levy (DIL)

DCP Project number	Project Title Project Description	Indicative Provision Timing
Community facility projects		
CI-01	Level 2 Community Facility Purchase of land for level 2 community facility	M
CI-01c	Level 2 Community Facility Construction of level 2 community facility	M
CI-02	Level 1 Community Facility Purchase of land for level 1 community facility	M
CI-02c	Level 1 Community Facility Construction of level 1 community facility	M
CI-03	Level 1 Community Facility Purchase of land for level 1 community facility	M
CI-03c	Level 1 Community Facility Construction of level 1 community facility	M

DCP Project number	Project Title Project Description	Indicative Provision Timing
IR-01	Indoor Recreation Centre (2 Court) Purchase of land for 2 court indoor recreation facility	M
Sports reserve projects		
SR-01	Sports Reserve (6ha - Partially within transmission easement) Purchase of land and construction of sports reserve	M
SR-02	Sports Reserve (6ha) Purchase of land and construction of sports reserve	M
SR-03	Sports Reserve (10ha) Purchase of land and construction of sports reserve	L

Table 4 Community projects - Community infrastructure levy (CIL)

DCP Project number	Project Title Project Description	Indicative Provision Timing
Sports reserve projects		
SR-01p	Construction of pavilion within sports reserve SR-01	M
SR-02p	Construction of pavilion within sports reserve SR-02	M
SR-03p	Construction of pavilions within sports reserve SR-03	L
IR-01c	Construction of Indoor Recreation Centre (2 Court)	M



3.5 Drainage projects

The DCP makes funding available for the construction of all necessary drainage infrastructure. The DCP only makes an allowance for the acquisition of land for stormwater drainage infrastructure where the land required would be otherwise unencumbered. Waterway corridors and land required for flood mitigation identified in the DCP are encumbered land and represent the minimum width when a suitable frontage road is provided.

The drainage infrastructure has been identified through hydraulic modelling undertaken as part of the Functional Design Report: *Bannockburn South East Precinct Structure Plan Stormwater Design* (Alluvium, TBD).

The stormwater drainage infrastructure is required to appropriately retard and treat stormwater flows from new urban development, in accordance with best practice principles and prior to discharge into rural areas at pre-development rates to the satisfaction of Corangamite Catchment Management Authority (CCMA).

The drainage projects include:

- Land and construction of stormwater drainage projects
- Land and construction of constructed waterway projects
- The drainage infrastructure projects funded by the DCP are shown on Plan 5 and described in Table 5.

Temporary and interim drainage works are not infrastructure projects in the DCP.

Table 5 Drainage projects

DCP Project number	Project Title Project Description	Indicative Provision Timing
RBWL1	Retarding Basin / Wetland Purchase of land for wetland/retarding basin	L
RBWL1c	Retarding Basin / Wetland Construction of wetland/retarding basin	L
RBWL2	Retarding Basin / Wetland Purchase of land for wetland/retarding basin	L
RBWL2c	Retarding Basin / Wetland Construction of wetland/retarding basin	L
RBWL3	Retarding Basin / Wetland Purchase of land for wetland/retarding basin	S
RBWL3c	Retarding Basin / Wetland Construction of wetland/retarding basin	S
RBWL4	Retarding Basin / Wetland Purchase of land for wetland/retarding basin	S-M
RBWL4c	Retarding Basin / Wetland Construction of wetland/retarding basin	S-M
RBWL5	Retarding Basin / Wetland Purchase of land for wetland/retarding basin	S
RBWL5c	Retarding Basin / Wetland Construction of wetland/retarding basin	S
RBWL6	Retarding Basin / Wetland Purchase of land for wetland/retarding basin	S-M
RBWL6c	Retarding Basin / Wetland Construction of wetland/retarding basin	S-M
RBWL7	Retarding Basin / Wetland Purchase of land for wetland/retarding basin	M
RBWL7c	Retarding Basin / Wetland Construction of wetland/retarding basin	M
RBWL8	Sediment Basin Purchase of land for sediment basin	S-M
RBWL8c	Sediment Basin Construction of sediment basin	S-M
RBWL9	Retarding Basin / Wetland Purchase of land for wetland/retarding basin	S-M
RBWL9c	Retarding Basin / Wetland Construction of wetland/retarding basin	S-M

DCP Project number	Project Title Project Description	Indicative Provision Timing
RBWL10	Retarding Basin / Wetland Purchase of land for wetland/retarding basin	M-L
RBWL10c	Retarding Basin / Wetland Construction of wetland/retarding basin	M-L
WW-01	Constructed Waterway Purchase of land for constructed waterway	S-M
WW-01c	Constructed Waterway Construction of constructed waterway	S-M
DR-01	Bruce Creek open space reserve Purchase of land for open space reserve and drainage	M-L
DR-02	Drainage channels Purchase of land for drainage channels south of precinct	M-L

4. SUMMARY LAND USE BUDGET

The land use budget in Table 6 provides a summary of the land required for transport, community facilities, education facilities, and open space and identifies the total amount of land available for development in the PSP.

The Net Developable Area (NDA) is established by deducting the land requirements for transport, community facilities, public and private education facilities, open space (sports reserves and local parks), drainage corridors, conservation areas and other encumbered land from the Gross Developable Area (GDA).

The GDA for Bannockburn South East PSP is 524 hectares while the NDA is 309.42 hectares. This equates to approximately 59% of the land within the Bannockburn South East PSP area being available for development.

TABLE NOTE: The summary land budget included in this table clearly sets out the NDA for the PSP. The NDA will not be amended to respond to minor changes to land budgets that may result from the subdivision process for any other reason than those stated above, unless the variation is agreed to by the responsible authority.

The land budget has been prepared to reflect current advice from council regarding land required for drainage assets as part of the preparation of the drainage scheme for the PSP area. The land required for drainage assets may be subject to minor refinement through the subdivision process.

Table 6 Summary land use budget

Description	Bannockburn South East		
	HECTARES	% OF TOTAL	% OF NDA
TOTAL PRECINCT AREA (ha)	524.00		
Transport			
Road - Widening/Intersection Flaring (DCP land)	7.21	1.38%	2.33%
Non-Arterial Road - Existing Road Reserve	3.05	0.58%	0.98%
Sub-total Transport	10.26	2.0%	3.32%
Community & Education			
Proposed Government School	15.40	2.94%	4.98%
Potential Non-Government School	3.00	0.57%	0.97%
Local Community Facility (DCP land)	2.60	0.50%	0.84%
Local Indoor Recreation (DCP land)	0.60	0.11%	0.19%
Sub-total Education	21.60	4.1%	7.0%
Open Space			
Uncredited Open Space			
Conservation Reserve	1.99	0.38%	0.64%
Waterway and Drainage Reserve	90.24	17.22%	29.16%
Utilities Easements	12.83	2.45%	4.15%
Sub-total Uncredited Open Space	105.06	20.05%	33.95%
Credited Open Space			
Local Sports Reserve (DCP land)	22.00	4.2%	7.11%
Local Network Park (via CI 52.01)	6.11	1.2%	1.97%
Sub-total Credited Open Space	28.11	5.4%	9.09%
Total All Open Space	133.17	25.4%	43.04%
Other			
Culturally and/or environmentally sensitive areas	49.55	9.46%	16.01%
Sub-total	49.55	9.46%	16.01%
TOTAL NET DEVELOPABLE AREA - (NDA) Ha	309.42	59.05%	
NET DEVELOPABLE AREA - RESIDENTIAL (NDAR) Ha	309.42	59.05%	

5. CALCULATION OF CONTRIBUTIONS

The following section sets out how the net developable area (NDA) is calculated and outlines the development projections anticipated in the precinct.

5.1 Net developable area

In the DCP, all development infrastructure contributions are payable on the net developable area of land on any given development site. Calculations of NDA for each individual property are outlined in the property-specific land budget included at Appendix A.

For the purposes of the DCP, the NDA is defined as the total amount of land within the precinct that is made available for development. It is the total precinct area minus community facilities, educational facilities, open space and encumbered land. NDA includes any land for lots, housing and employment buildings, all local streets (including some connector streets), and any small parks defined at subdivision stage that are in addition to those outlined in the PSP.

The NDA for the DCP is outlined in Table 6. The contributions 'per net developable hectare' must not and will not be amended to respond to minor changes to the land budget that may result from the subdivision process. In other words, the DCP is permanently linked to the calculation of the NDA set out in Appendix A.

The NDA may only change if the collecting agency agrees to a variation to the summary land use budget (Table 6) and the detailed property-specific land budget (Appendix A) and associated tables.

5.2 Land budget & demand units

The 'net developable hectare' (NDH) is the demand unit for the DCP.

'Residential' development is defined broadly to include forms of development that support a residential land use, including residential subdivision and development within the local activity centre.

'Residential' development also includes any non-residential uses within the residential area such as a place of worship, education centre, retirement village, nursing home, childcare centre, medical centre, convenience store or any other approved use.

The DCP contains a total of 309.42 net developable hectares.

5.3 Calculation of contributions charges

5.3.1 Calculation of costs

Each infrastructure project has been assigned a land and/or construction cost, as listed in Table 7 and Table 8. The costs are expressed in 2024/25 dollars and will be adjusted annually in accordance with the method specified in Section 2.3.

Drainage and community infrastructure costings have been determined through detailed design while transport costs utilise high benchmarks based on *Benchmark Infrastructure Report (Cardno)*

April 2019 and will be refined at a later date with detailed design and costing work to be completed before finalisation of the PSP and DCP package.

5.3.2 Temporary Works

Temporary works are not factored in as a cost in this DCP unless expressly listed in the DCP.

5.3.3 Estimate of land value

The area of land to be acquired for each DCP project on each property will be identified from the property specific land budget prepared for the PSP. A description of the precinct land area has been provided to a registered valuer who prepared a valuation to determine a 'broad-hectare' value for the entire precinct for that use. To ensure a fair compensation for each affected landowner, this value will then be used to calculate the cost of the land component for all relevant projects included in the DCP.

Per property broad hectare estimate of value

The per property broad hectare estimate of value prepared for each individual property will assume the unencumbered, highest and-best use as indicated by the PSP.

The estimates of value are prepared on a 'Before and After' basis where:

- The 'Before' assessment is based on the total developable area of each property and ignores the land and infrastructure items to be provided by the DCP. Any development that occurs subsequent to the approval of the DCP is ignored for the purpose of the valuation.
- The 'After' assessment comprises the remaining portion of each property after all land required by the DCP has been provided. Severance or enhancement, disturbance, special value etc. are ignored for the purpose of the 'after' valuation.

Site specific assessment

A site-specific assessment was also undertaken for parcels which are to be acquired by Council for the provision of 'Community Facilities,' 'Local Indoor Recreation' and 'Local Sports Reserve(s)'. These parcels can be marketed to the wider market as individually titled development sites and therefore have been individually valued.

5.3.4 Main catchment area

The main catchment area is the geographic area from which a given item of infrastructure will draw most of its use. The DCP includes one main catchment area, which is the same as the precinct area and illustrated in Plan 1 and Plan 2. It is important to note that the number of net developable hectares (that is the demand units) in the main catchment area is based on the land budgets in Table 6 and Appendix A.

5.3.5 Non-government schools

The development of land for a non-government school is exempt from the requirement to pay a development infrastructure levy and a community infrastructure levy under the DCP.

5.3.6 Cost apportionment

The DCP apportions a charge in respect to each infrastructure project to new development according to its projected share of use of identified infrastructure items.

The cost apportionment is expressed as a percentage in Table 7 and Table 8. Projects that are 100% apportioned to the DCP area are wholly required for the future development of the DCP area. Projects that are less than 100% apportioned to the DCP area are shared with other areas outside the precinct and other funding sources.

5.3.7 Social and Affordable Housing

The Collecting Agency may on an individual basis consider any request for an exemption or discount of the Development Infrastructure Levy for the development of social and affordable housing.

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5.3.8 Calculations of Costs - DIL

Table 7 Calculation of costs – Development Infrastructure Levy (DIL)

DCP Project No.	Project	Infrastructure Category	Land Area Ha	Estimated Project Cost: Land	Estimated Project Cost: Construction	Total Estimated Project Cost: Land & Construction	% Apportioned to DCP (Internal Use)	Total cost recovered by DCP	Residential - Contribution per NDHa
	Road Projects								
RD-01	East-West Link Road (Interim) Purchase of land for ultimate (4 lane) east-west link road	Development	2.87	\$2,008,667	\$-	\$2,008,667	100%	\$2,008,667	\$6,492
RD-01c	East-West Link Road (Interim) Construction of interim (2 lane) east-west link road	Development	0.00	\$-	\$9,925,843	\$9,925,843	100%	\$9,925,843	\$32,079
RD-02	Burnside Road level crossing upgrade Upgrades to Burnside Road rail level crossing	Development	0.00	\$-	\$2,000,000	\$2,000,000	100%	\$2,000,000	\$6,464
	Sub-total road projects		2.87	\$2,008,667	\$11,925,843	\$13,934,510		\$13,934,510	\$45,034
	Intersection Projects								
IN-01	Levy Road / Future East-West Link Road Intersection Purchase of land for ultimate 4-way intersection (Levy Road/future east-west link road)	Development	1.52	\$1,066,225	\$-	\$1,066,225	100%	\$1,066,225	\$3,446
IN-01c	Levy Road / Future East-West Link Road Intersection Construction of interim 4-way intersection (Levy Road/future east-west link road)	Development	0.00	\$-	\$7,248,609	\$7,248,609	100%	\$7,248,609	\$23,426

DCP Project No.	Project	Infrastructure Category	Land Area Ha	Estimated Project Cost: Land	Estimated Project Cost: Construction	Total Estimated Project Cost: Land & Construction	% Apportioned to DCP (Internal Use)	Total cost recovered by DCP	Residential - Contribution per NDHa
IN-02	Burnside Road / Future East-West Link Road Intersection Purchase of land for ultimate 4-way intersection (Burnside Road/future east-west link road)	Development	1.45	\$1,017,263	\$-	\$1,017,263	100%	\$1,017,263	\$3,288
IN-02c	Burnside Road / Future East-West Link Road Intersection Construction of interim 4-way intersection (Burnside Road/future east-west link road)	Development	0.00	\$-	\$7,248,609	\$7,248,609	100%	\$7,248,609	\$23,426
IN-03	Future Connector / Future East-West Link Road Intersection Purchase of land for ultimate 3-way intersection (future connector/future east-west link road)	Development	1.36	\$955,154	\$-	\$955,154	100%	\$955,154	\$3,087
IN-03c	Future Connector / Future East-West Link Road Intersection Construction of interim 3-way intersection (future connector/future east-west link road)	Development	0.00	\$-	\$7,248,609	\$7,248,609	100%	\$7,248,609	\$23,426
	Sub-total intersection projects		4.34	\$3,038,642	\$21,745,827	\$24,784,468		\$24,784,468	\$80,100
	Bridge Projects								
BR-01	East-West Link Road Bridge (Interim) Purchase of land for ultimate (4 lane) east-west link road bridge on Bruce Creek	Development	0.00	\$-	\$-	\$-	50%	\$-	\$-

DCP Project No.	Project	Infrastructure Category	Land Area Ha	Estimated Project Cost: Land	Estimated Project Cost: Construction	Total Estimated Project Cost: Land & Construction	% Apportioned to DCP (Internal Use)	Total cost recovered by DCP	Residential - Contribution per NDHa
BR-01c	East-West Link Road Bridge (Interim) Construction of interim (2 lane) east-west link road bridge on Bruce Creek	Development	0.00	\$-	\$79,984,050	\$79,984,050	50%	\$39,992,025	\$129,248
BR-02	Connector culvert over constructed waterway Construction of constructed waterway culvert on connector road	Development	0.00	\$-	\$559,172	\$559,172	100%	\$559,172	\$1,807
	Sub-total Bridge projects		0.00	\$-	\$80,543,222	\$80,543,222		\$40,551,197	\$131,055
	Community facilities								
CI-01	Level 2 Community Facility Purchase of land for level 2 community facility	Development	1.00	\$1,800,000	\$-	\$1,800,000	100%	\$1,800,000	\$5,817
CI-01c	Level 2 Community Facility Construction of level 2 community facility	Development	0.00	\$-	\$15,050,000	\$15,050,000	100%	\$15,050,000	\$48,639
CI-02	Level 1 Community Facility Purchase of land for level 1 community facility	Development	0.80	\$1,720,000	\$-	\$1,720,000	100%	\$1,720,000	\$5,559
CI-02c	Level 1 Community Facility Construction of level 1 community facility	Development	0.00	\$-	\$10,861,000	\$10,861,000	100%	\$10,861,000	\$35,101
CI-03	Level 1 Community Facility Purchase of land for level 1 community facility	Development	0.80	\$1,720,000	\$-	\$1,720,000	100%	\$1,720,000	\$5,559
CI-03c	Level 1 Community Facility Construction of level 1 community facility	Development	0.00	\$-	\$10,861,000	\$10,861,000	100%	\$10,861,000	\$35,101
IR-01	Indoor Recreation Centre (2 Court) Purchase of land for 2 court indoor recreation facility	Development	0.60	\$1,330,000	\$-	\$1,330,000	75%	\$997,500	\$3,224

DCP Project No.	Project	Infrastructure Category	Land Area Ha	Estimated Project Cost: Land	Estimated Project Cost: Construction	Total Estimated Project Cost: Land & Construction	% Apportioned to DCP (Internal Use)	Total cost recovered by DCP	Residential - Contribution per NDHa
	Sub-total community facilities		3.20	\$1,800,000	\$-	\$1,800,000	100%	\$1,800,000	\$5,817
	Active recreation reserves								
SR-01	Sports Reserve (6ha - Partially within transmission easement) Purchase of land and construction of sports reserve	Development	6.00	\$10,690,000	\$12,243,430	\$22,933,430	100%	\$22,933,430	\$74,117
SR-02	Sports Reserve (6ha) Purchase of land and construction of sports reserve	Development	6.00	\$8,760,000	\$14,445,000	\$23,205,000	100%	\$23,205,000	\$74,995
SR-03	Sports Reserve (10ha) Purchase of land and construction of sports reserve	Development	10.00	\$13,000,000	\$20,741,000	\$33,741,000	100%	\$33,741,000	\$109,046
	Sub-total active recreation development infrastructure projects		22.00	\$32,450,000.00	\$47,429,430.00	\$79,879,430.00	-	\$79,879,430.00	\$258,158.20
	Drainage								
RBWL1	Retarding Basin / Wetland Purchase of land for wetland/retarding basin	Development	4.31	\$3,014,040	\$-	\$3,014,040	100%	\$3,014,040	\$9,741
RBWL1c	Retarding Basin / Wetland Construction of wetland/retarding basin	Development	0.00	\$-	\$7,341,413	\$7,341,413	100%	\$7,341,413	\$23,726
RBWL2	Retarding Basin / Wetland Purchase of land for wetland/retarding basin	Development	3.21	\$2,247,939	\$-	\$2,247,939	100%	\$2,247,939	\$7,265
RBWL2c	Retarding Basin / Wetland Construction of wetland/retarding basin	Development	0.00	\$-	\$5,489,739	\$5,489,739	100%	\$5,489,739	\$17,742
RBWL3	Retarding Basin / Wetland Purchase of land for wetland/retarding basin	Development	2.34	\$1,095,798	\$-	\$1,095,798	100%	\$1,095,798	\$3,541

DCP Project No.	Project	Infrastructure Category	Land Area Ha	Estimated Project Cost: Land	Estimated Project Cost: Construction	Total Estimated Project Cost: Land & Construction	% Apportioned to DCP (Internal Use)	Total cost recovered by DCP	Residential - Contribution per NDHa
RBWL3c	Retarding Basin / Wetland Construction of wetland/retarding basin	Development	0.00	\$-	\$5,528,032	\$5,528,032	100%	\$5,528,032	\$17,866
RBWL4	Retarding Basin / Wetland Purchase of land for wetland/retarding basin	Development	6.46	\$4,521,663	\$-	\$4,521,663	100%	\$4,521,663	\$14,613
RBWL4c	Retarding Basin / Wetland Construction of wetland/retarding basin	Development	0.00	\$-	\$7,439,531	\$7,439,531	100%	\$7,439,531	\$24,043
RBWL5	Retarding Basin / Wetland Purchase of land for wetland/retarding basin	Development	4.57	\$2,894,735	\$-	\$2,894,735	100%	\$2,894,735	\$9,355
RBWL5c	Retarding Basin / Wetland Construction of wetland/retarding basin	Development	0.00	\$-	\$9,929,092	\$9,929,092	100%	\$9,929,092	\$32,089
RBWL6	Retarding Basin / Wetland Purchase of land for wetland/retarding basin	Development	2.35	\$1,646,037	\$-	\$1,646,037	100%	\$1,646,037	\$5,320
RBWL6c	Retarding Basin / Wetland Construction of wetland/retarding basin	Development	0.00	\$-	\$3,713,322	\$3,713,322	100%	\$3,713,322	\$12,001
RBWL7	Retarding Basin / Wetland Purchase of land for wetland/retarding basin	Development	2.83	\$1,981,459	\$-	\$1,981,459	100%	\$1,981,459	\$6,404
RBWL7c	Retarding Basin / Wetland Construction of wetland/retarding basin	Development	0.00	\$-	\$5,523,367	\$5,523,367	100%	\$5,523,367	\$17,851
RBWL8	Sediment Basin Purchase of land for sediment basin	Development	0.64	\$446,190	\$-	\$446,190	100%	\$446,190	\$1,442
RBWL8c	Sediment Basin Construction of sediment basin	Development	0.00	\$-	\$898,669	\$898,669	100%	\$898,669	\$2,904
RBWL9	Retarding Basin / Wetland Purchase of land for wetland/retarding basin	Development	9.57	\$6,699,311	\$-	\$6,699,311	100%	\$6,699,311	\$21,651
RBWL9c	Retarding Basin / Wetland Construction of wetland/retarding basin	Development	0.00	\$-	\$7,368,517	\$7,368,517	100%	\$7,368,517	\$23,814

DCP Project No.	Project	Infrastructure Category	Land Area Ha	Estimated Project Cost: Land	Estimated Project Cost: Construction	Total Estimated Project Cost: Land & Construction	% Apportioned to DCP (Internal Use)	Total cost recovered by DCP	Residential - Contribution per NDHa
RBWL10	Retarding Basin / Wetland Purchase of land for wetland/retarding basin	Development	6.69	\$4,683,122	\$-	\$4,683,122	100%	\$4,683,122	\$15,135
RBWL10c	Retarding Basin / Wetland Construction of wetland/retarding basin	Development	0.00	\$-	\$7,368,517	\$7,368,517	100%	\$7,368,517	\$23,814
WW-01	Constructed Waterway Purchase of land for constructed waterway	Development	3.55	\$2,483,176	\$-	\$2,483,176	100%	\$2,483,176	\$8,025
WW-01c	Constructed Waterway Construction of constructed waterway	Development	0.00	\$-	\$5,787,713	\$5,787,713	100%	\$5,787,713	\$18,705
DR-01	Bruce Creek open space reserve Purchase of land for open space reserve and drainage	Development	23.65	\$1,070,000	\$-	\$1,070,000	100%	\$1,070,000	\$3,458
DR-02	Drainage channels Purchase of land for drainage channels south of precinct	Development	2.67	\$93,450	\$-	\$93,450	100%	\$93,450	\$302
	Sub-total drainage development infrastructure projects		72.83	\$32,876,920.36	\$66,387,912.00	\$99,264,832.36		\$99,264,832.36	\$320,808.88
	Summary								
	Total cost all projects							\$301,423,938	
	Total Development Infrastructure Levy per NDA								\$974,156

5.3.9 Calculation of Costs – CIL

Table 8 Calculation of costs – Community Infrastructure Levy (CIL)

DCP Project No.	Project	Infrastructure Category	Land Area Ha	Estimated Project Cost: Land	Estimated Project Cost: Construction	Total Estimated Project Cost: Land & Construction	% Apportioned to DCP (Internal Use)	Total cost attributed to DCP
SR-01p	Construction of pavilion within sports reserve SR-01	Community	0.00	\$-	\$ 4,333,000	\$4,333,000	100%	\$4,333,000
SR-02p	Construction of pavilion within sports reserve SR-02	Community	0.00	\$-	\$ 4,333,000	\$4,333,000	100%	\$4,333,000
SR-03p	Construction of pavilions within sports reserve SR-03	Community	0.00	\$-	\$ 5,037,000	\$5,037,000	100%	\$5,037,000
IR-01c	Construction of Indoor Recreation Centre (2 Court)	Community	0.00	\$-	\$ 14,750,000.00	\$ 14,750,000.00	75%	\$11,062,500.00
	Sub-total active recreation (community infrastructure levy)		0.00	\$-	\$28,453,000.00	\$28,453,000.00		\$24,765,500
	Summary							
	Total Community Infrastructure Levy per Dwelling							\$ 1,450
	Total Community Infrastructure Levy Estimated Raised Bannockburn South East DCP							\$6,792,707

6. ADMINISTRATION

This section sets out how the DCP will be administered and covers:

- the timing of payment
- Provision of works
- Provision of land in kind
- How funds generated by the DCP will be managed in terms of reporting, indexation and review periods.

The development infrastructure levy applies to subdivision and/or development of land.

The community infrastructure levy applies to the construction of dwellings.

Golden Plains Shire Council will be both the collecting agency and the development agency for the purposes of the DCP.

6.1 Payment of contributions and payment timing

6.1.1 Development infrastructure levy (DIL)

For subdivision of land

A development infrastructure levy must be paid to the collecting agency for the land within the following specified time, namely after certification of the relevant plan of subdivision but not more than 21 days prior to the issue of a Statement of Compliance in respect of that plan or included in an implementation agreement under Section 173 of the Act.

Where the subdivision is to be developed in stages, the infrastructure levy for the stage to be developed only may be paid to the collecting agency within 21 days prior to the issue of a Statement of Compliance in respect of that stage provided that a Schedule of Development Contributions is submitted with each stage of the plan of subdivision. This schedule must show the amount of the development contributions payable for each stage and value of the contributions in respect of prior stages to the satisfaction of the collecting agency or included in an implementation agreement under Section 173 of the Act.

If the collecting agency agrees to works and/or provision of land in lieu of the payment of the infrastructure levy, the landowner must enter into an agreement under Section 173 of the Act in respect of the proposed works and/or provision of land in kind to specific requirements.

For development of land where no subdivision is proposed

Provided an infrastructure levy has not already been paid on subject land, a levy must be paid to the collecting agency in accordance with the provisions of the approved DCP for each demand unit (net developable hectare) proposed to be developed prior to the commencement of any development (i.e. development includes buildings, car park, access ways, landscaping and ancillary components). The collecting agency may require that development infrastructure levy contributions be made at either the planning permit or building permit stage.

If the collecting agency agrees to works and/or provision of land in lieu of the payment of the infrastructure levy, the landowner must enter into an agreement under Section 173 of the Act or other arrangement acceptable to the collecting agency proposed in respect of the proposed works and/or land to be provided in kind.

Where no planning permit is required

The following requirement applies where no planning permit is required. The land may only be used and developed subject to the following requirements being met:

- Unless some other arrangement has been agreed to by collecting agency in a Section 173 agreement, prior to the commencement of any development, a development infrastructure levy must be paid to the collecting agency in accordance with the provisions of the DCP for the land.

If the collecting agency agrees to works and/or provision of land in lieu of the payment of the infrastructure levy, the landowner must enter into an agreement under Section 173 of the Act in respect of the proposed works or provision of land, which is proposed to be provided in kind.

6.1.2 Works-in-kind

The collecting agency may permit development proponents to undertake works in lieu of cash payments, providing that:

- The works constitute projects funded by the DCP
- The collecting agency agrees that the timing of the works would be consistent with priorities in the DCP
- The development proponent complies with appropriate tendering, documentation, supervision and related provisions as required by the responsible authority
- Works must be provided to a standard that generally accords with the DCP, unless an alternative is agreed by the collecting agency and the development agency
- Detailed design must be approved by the collecting agency and the development agency and must generally accord with the layout and standards outlined in the PSP and DCP unless an alternative is agreed by the collecting agency and the development agency
- The construction of works must be completed to the satisfaction of the collecting agency and the development agency
- There should be no negative financial impact on the DCP to the satisfaction of the collecting agency.

In particular, the works will only be accepted in lieu of a financial contribution required by the DCP to the extent that they constitute part or all of the design of the infrastructure item and reduce the cost to complete that design, to the satisfaction of the collecting agency. Temporary works will not be accepted as works in kind.

Where the collecting agency agrees that works are to be provided by a development proponent in lieu of cash contribution (subject to the arrangements specified above):

- The credit for the works provided shall equal the total cost of the works as identified in the DCP, considering the impact of indexation
- The value of works provided in accordance with the principle outlined above will be offset against the development contributions liable to be paid by the development proponent
- No further DCP financial contributions will be required until the agreed value of any credits are used.

6.1.3 Credit for over-provision

Where the collecting agency agrees that a development proponent can deliver an infrastructure item (either works and/or land), the situation may arise where the developer makes a contribution with a value that exceeds that required by the DCP.

The details of credits and reimbursements for construction shall equal the final cost of the works identified in the DCP, considering the impact of indexation. The value of credits and reimbursements for the transfer of land will need to be at the values that are outlined in the DCP, subject to revaluation and indexation of the land as per Section 6.2.

6.1.4 Non-government schools

Where land is subdivided or developed for the purpose of a non-government school and the use of that land is subsequently for a purpose other than a non-government school, the owner of that land must pay to the collecting agency development contributions in accordance with the provision of the DCP. The development infrastructure levy must be paid within 28 days of the date of the commencement of the construction of any buildings or works for that alternative use.

6.1.5 Funds administration

The administration of the contributions made under the DCP will be transparent and development contributions charges will be held until required for provision of the items in that class. Details of funds received and expenditures will be held by the collecting agency in accordance with the provisions of the *Local Government Act 2020* and the Act.

The administration of contributions made under the DCP will be transparent and demonstrate the:

- Amount and timing of funds collected;
- Source of the funds collected;
- Amount and timing of expenditure on specific projects;
- Project on which the expenditure was made;
- Account balances for individual project classes;
- Details of works in kind arrangements for project provision;
- Pooling or quarantining of funds to deliver specific projects, where applicable.

The collecting agency will provide for regular monitoring, reporting and review of the monies received and expended in accordance with the DCP.

The collecting agency will establish interest bearing accounts and all monies held in these accounts will be used solely for the provision of infrastructure as itemised in the DCP, as required under section 46QA of the Act.

6.2 Construction and land value costs indexation

Capital costs of all infrastructure items, including land, are in 2024/2025 dollars and will be adjusted by the collecting agency annually for inflation.

In relation to the costs associated with infrastructure items other than land, the cost must be adjusted according to the following method:

- **Intersection projects** – indexed in line with the Australian Bureau of Statistics Producer Prices Indexes, Road and Bridge Construction Index, Victoria;
- **All other infrastructure items** – indexed in line with the Australian Bureau of Statistics Producer Price Indexes, Non-Residential Building Construction Index, Victoria.

Estimates of land value will be revised annually by a registered valuer based on a broad hectare methodology; this exercise may be required for each respective land use category within the DCP. Revisions may occur more frequently if market conditions warrant.

The collecting agency will publish the amended contributions on the collecting agency's website within 14 days of the adjustments being made.

6.3 Review period

This DCP commenced on the date when it was first incorporated into the Golden Plains Planning Scheme. This DCP will end when development within the DCP area is complete or when the DCP is removed from the Planning Scheme.

The DCP is expected to be revised and updated every five years (or more frequently if required). This will require an amendment to the Golden Plains Planning Scheme to replace this document with an alternative, revised document. Any review will need to have regard to any arrangements (e.g. Section 173 agreements under the Act) for the implementation of the DCP.

6.4 Adjustment to the scope of projects

The infrastructure projects in the DCP have been costed to a sufficient level of detail; however, all the projects will require a detailed design process prior to construction.

As part of detailed design, Council or a development proponent with the consent of Council may amend or modify some aspects of projects, so long as they are still generally in accordance with the PSP and any direction regarding the scope outlined in the DCP.

A development proponent may also propose material changes to the use and development of land from that contemplated in the PSP, leading to an increased requirement for infrastructure. In these cases, there should be no negative impact on the DCP by requirement for the developer to bear the additional costs associated with the provision of the infrastructure item over and above the standard required by the DCP.

Where Council or another agency seeks to change the scope of a DCP infrastructure item to meet changing standards imposed by adopted policy or a public regulatory agency, such changes of standards and the resulting cost changes should normally be made through a change to the DCP at the time of a regular review of the DCP.

Where, after the DCP has been approved, Council or other agency proposes changes to the scope of a DCP infrastructure item for reasons other than changes in standards imposed by policy or regulation the net cost increases resulting from the change should normally be met by the agency requesting the change.

6.5 Collecting agency (agency responsible for collecting infrastructure levy)

Council is the collecting agency pursuant to section 46K(1)(fa) of the Act which means that it is the public authority to which all levies are payable. As the collecting agency, Council is responsible for the administration of the DCP and its enforcement pursuant to section 46QC of the Act.

6.6 Development agency (agency responsible for works)

Council is the development agency and is responsible for the provision of the designated infrastructure projects which are funded under the DCP and the timing of all works.

PUBLIC CONSULTATION DRAFT

7. IMPLEMENTATION STRATEGY

This section provides further details regarding how the collecting agency intends to implement the DCP. This section clearly identifies the rationale for the implementation strategy and details the various measures that have been adopted to reduce the risk posed by the DCP to all parties.

7.1 Rationale for the implementation strategy

This implementation strategy has been included to provide certainty to both the collecting agency and development proponents. The implementation strategy recognises the complexities associated with infrastructure provision and funding and seeks to minimise risk to the collecting agency, development agency, development proponent and future community.

This implementation strategy has been formulated by:

- Assessing the PSP
- Having regard to the development context
- Assessing the need for finance requirements including upfront financing and pooling of funds
- Agreeing the land value and indexing it appropriately (where possible)
- Identifying preferred implementation mechanisms to achieve the above outcomes and reducing the risk associated with the DCP to ensure that it will be delivered as intended.

7.2 Implementation mechanism

Under section 46P of the Act, the collecting agency may accept (with the consent of the development agency where the collecting agency is not also the development agency) the provision of land, works, services or facilities by the applicant in part or full satisfaction of the amount of levy payment. This can be by agreement with the collecting agency before or after the application for the permit is made or before the development is carried out.

To coordinate the provision of infrastructure, Schedule 1 to the Urban Growth Zone in the Golden Plains Planning Scheme for the PSP requires an application for subdivision to be accompanied by an infrastructure plan to the satisfaction of the responsible authority.

The Public Infrastructure Plan needs to show the location, type, staging and timing of infrastructure on the land as identified in the PSP or reasonably required because of the subdivision of the land and address the following:

- Stormwater drainage works
- Road works internal or external to the land consistent with any relevant traffic report or assessment
- The reserving or encumbrance of land for infrastructure, including for community facilities, sports reserves and open space
- Any infrastructure works which an applicant proposes to provide in lieu of development contributions in accordance with the DCP
- The effects of the provision of infrastructure on the land or any other land

- Any other relevant matter related to the provision of infrastructure reasonably required by the responsible authority.

Through the approval of these agreements, Council (acting as the collecting agency) will consider if and what infrastructure should be provided as works in kind under the DCP in accordance with section 46P of the Act. The agreement must include a list of the DCP infrastructure projects that the collecting agency has agreed in writing to allow to be provided as works and/or land in lieu.

PUBLIC CONSULTATION DRAFT

APPENDICES

PUBLIC CONSULTATION DRAFT

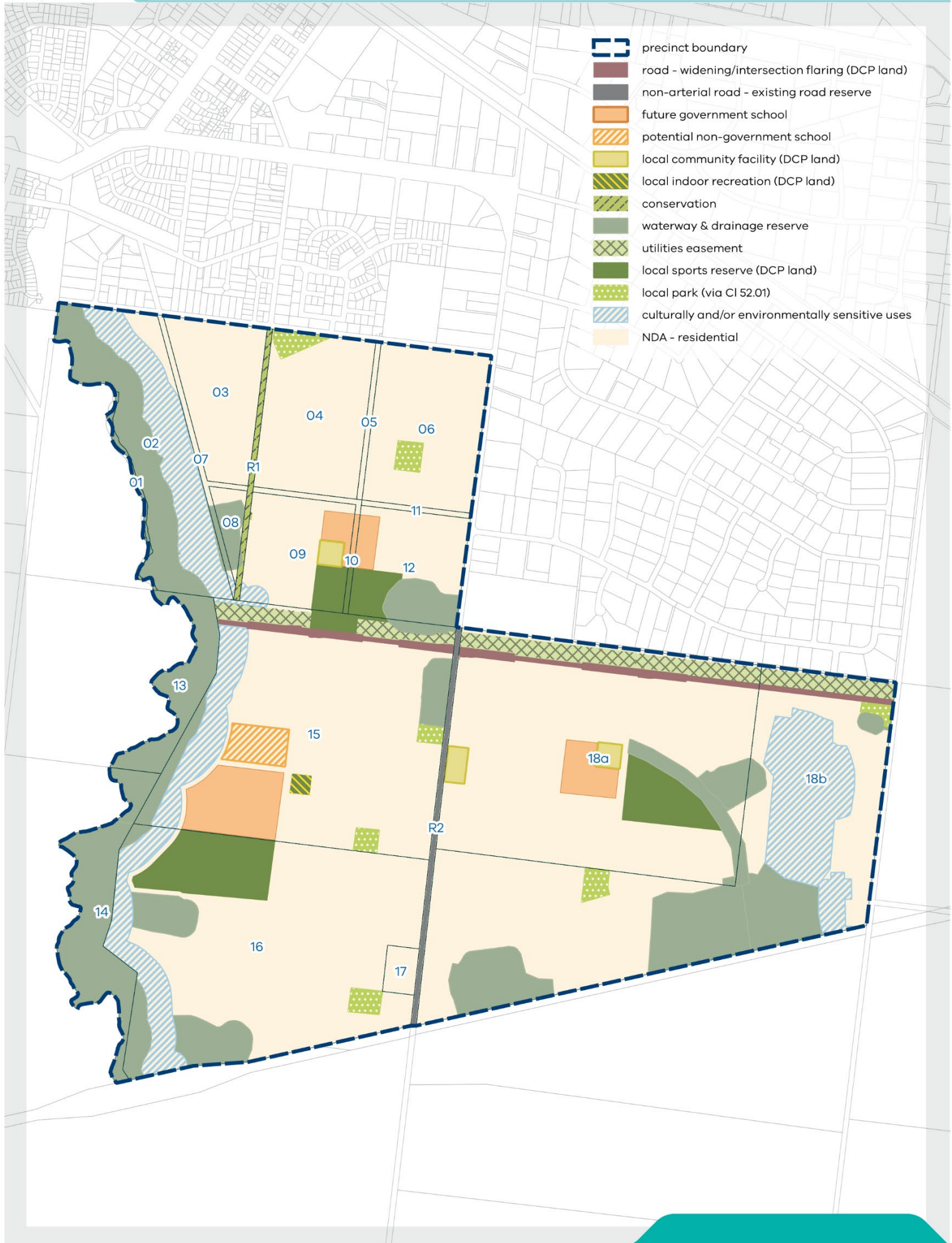
8. APPENDIX A – PROPERTY SPECIFIC LAND BUDGET

Detailed information on the developable area for each property is included in the property-specific land budget with each PSP.

Parcel ID	TOTAL AREA (HECTARES)	TRANSPORT	COMMUNITY/EDUCATION				UNCREDITED OPEN SPACE			OPEN SPACE		OTHER	Total Net Developable Area (Hectares)	Net Developable Area % of Property	Total Contribution Land (Hectares)
		Road – Widening/Intersection Flaring (DCP land)	Proposed Government School	Potential Non-Government School	DCP Community Facilities	Local Indoor Recreation (DCP land)	Conservation Reserve	Waterway and Drainage Reserve	Utilities Easements	Local Sports Reserve (DCP land)	Local Network Park (via CI 52.01)	Culturally and/or environmentally sensitive areas			
1	0.85	-	-	-	-	-	-	0.85	-	-	-	-	0.00	0.00%	0.85
2	30.26	-	-	-	-	-	-	14.23	-	-	-	14.07	1.96	6.48%	28.30
3	15.82	-	-	-	-	-	-	-	-	-	-	-	15.82	100.00%	0.00
4	22.53	-	-	-	-	-	-	-	-	-	1.24	-	21.30	94.51%	1.24
5	1.18	-	-	-	-	-	-	-	-	-	-	-	1.18	100.00%	0.00
6	23.96	-	-	-	-	-	-	-	-	-	1.00	-	22.96	95.83%	1.00
7	2.42	-	-	-	-	-	-	0.49	-	-	-	0.13	1.80	74.39%	0.62
8	2.54	-	-	-	-	-	-	1.71	-	-	-	0.01	0.82	32.30%	1.72
9	15.54	-	1.53	-	0.80	-	0.02	-	-	1.95	-	0.59	10.65	68.54%	4.89

10	1.63	-	0.41	-	-	-	-	-	-	0.34	-	-	0.88	53.93%	0.75
11	0.82	-	-	-	-	-	-	-	-	-	-	-	0.82	100.00%	0.00
12	16.37	-	1.56	-	-	-	-	3.72	-	2.47	-	-	8.62	52.67%	7.75
13	8.48	-	-	-	-	-	-	8.48	-	-	-	-	0.00	0.00%	8.48
14	15.17	-	-	-	-	-	-	15.17	-	-	-	-	0.00	0.00%	15.17
15	81.92	2.79	8.40	3.00	-	0.60	-	5.48	3.53	1.25	1.31	7.55	48.00	58.60%	30.39
16	84.84	-	-	-	-	-	-	10.27	-	10.00	1.00	8.91	54.64	64.41%	30.19
17	2.03	-	-	-	-	-	-	-	-	-	-	-	2.03	100.00%	0.00
18a	91.76	3.27	3.50	-	1.80	-	-	5.26	6.30	6.00	-	-	65.63	71.52%	19.84
18b	100.79	1.15	-	-	-	-	-	24.48	3.00	-	1.55	18.29	52.32	51.91%	45.47
SUB TOTAL¹	518.89	7.21	15.40	3.00	2.60	0.60	0.02	90.15	12.83	22.00	6.11	49.55	309.42	59.63%	196.64

¹ Sub-total excludes road reserves.



9. APPENDIX B – PROJECT COST ESTIMATES & CONCEPT DESIGNS

Community infrastructure costings have been determined through draft detailed design, which are included in Appendix B.

Transport costs utilise high benchmarks based on *Benchmark Infrastructure and Costs Guide* (VPA, 2019) and will be refined at a later date with detailed design and costing work to be completed alongside Public Consultation of the PSP and DCP package.

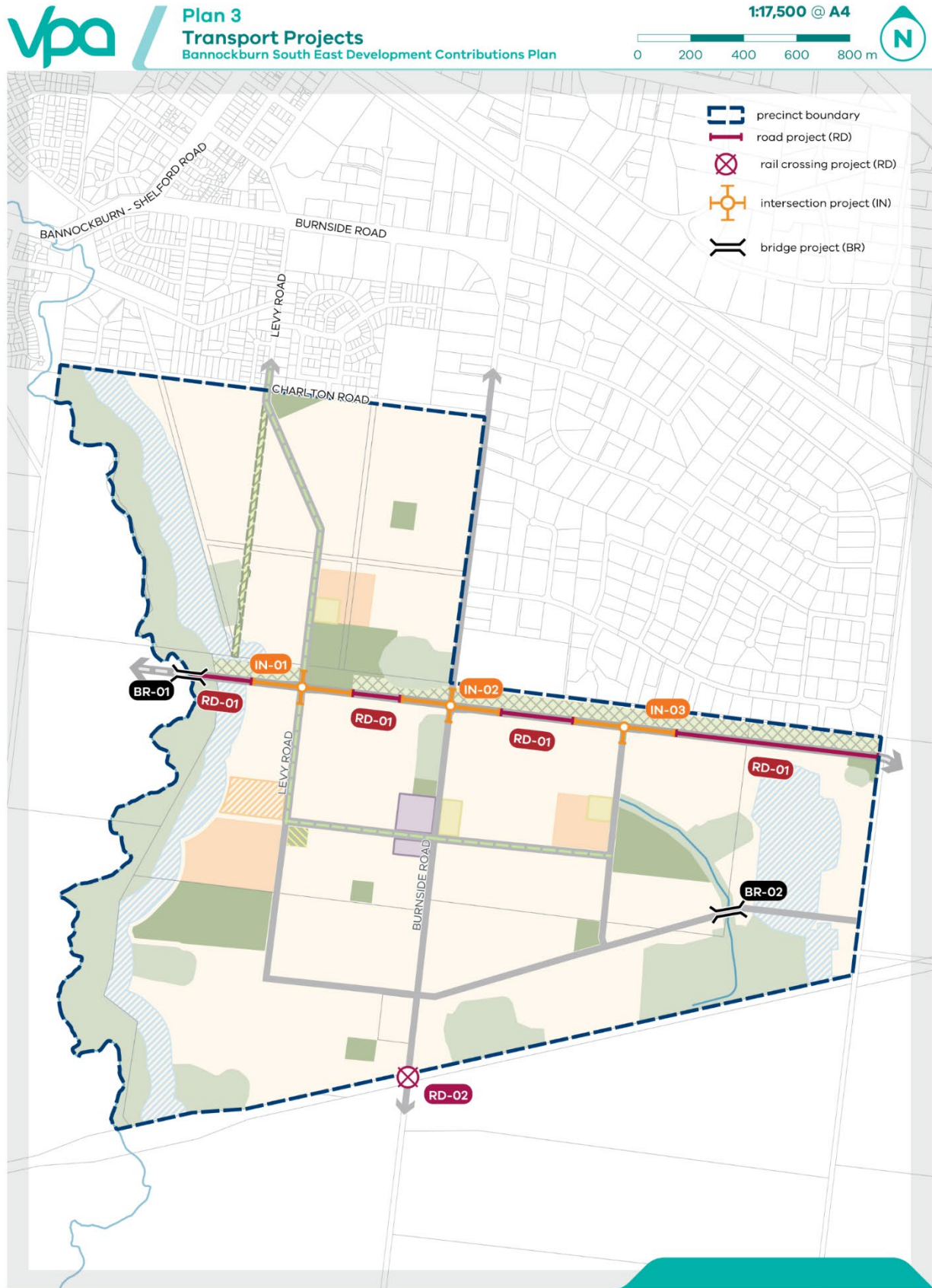
See here: https://vpa.vic.gov.au/work_program/infrastructure-contributions-plans/benchmark-costings/

Drainage infrastructure costings have been determined through concept designs, which are included in Appendix B. These will be further developed into functional designs before finalisation of the PSP and DCP.

For DR-01 and Dr-02 which relates to compensation related to the application of Public Acquisition Overlay on parts of 449 Burnside Road and Harvey Road, Bannockburn refer to Memorandum – Bannockburn South East Precinct Structure Plan for 449 Burnside Road and Harvey Road, Bannockburn (Charter Keck Cramer, March 2025).

All projects will be subject to detail design prior to delivery.

9.1 Transport Projects



9.1.1 RD-01, IN-01, IN-02, IN-03, BR-02

Transport costs utilise high benchmarks based on *Benchmark Infrastructure and Costs Guide* (VPA, 2019) and will be refined at a later date with detailed design and costing work to be completed before the finalisation of the PSP and DCP package.

See here: https://vpa.vic.gov.au/work_program/infrastructure-contributions-plans/benchmark-costings/

9.1.2 RD-02 Burnside Road level crossing upgrade

The extent of the upgrade cannot be confirmed until a Railway Risk Assessment is undertaken, which is a requirement before a permit is issued for subdivision.

VPA has included \$2 million in the Development Infrastructure Levy to enable upgrades, which are likely to include boom gates. This is based on high-level estimates from Victorian Infrastructure Delivery Authority based on similar projects with VLine.

9.1.3 BR-01 East-West Link Road Bridge (Interim)

50% of the total cost of the interim bridge (2-lane bridge) is apportioned to the main catchment area (i.e. the precinct).

The DCP adopted \$79,984,050 for the total cost of the interim bridge. This is based on:

- Bridge – Base Cost \$66,653,375
- Cut & Fill Allowance \$6,665,338 (10% applied to the base cost)
- Sodic Soils Allowance \$3,332,669 (5% applied to the base cost)
- Miscellaneous Allowance \$3,332,669 (5% applied to the base cost)

This Cost is:

- Provided for exhibition purposes.
- Deliberately conservative, including allowances for site conditions (sodic soils and cut/fill) plus a “Miscellaneous” allowance for potential unknowns that may arise during the detailed investigation and design process.
- Subject to amendment as consultant designs and cost estimates are prepared and finalised.
- Based on the cost of VPA Benchmark Item 20 – Secondary Arterial Road Bridge (width 15 metres). See [Appendix 2 – Bridges and Culverts Part 2](https://vpa-web.s3.amazonaws.com/wp-content/uploads/2019/10/Appendix-2-Bridges-Culverts-Part-2.pdf) (<https://vpa-web.s3.amazonaws.com/wp-content/uploads/2019/10/Appendix-2-Bridges-Culverts-Part-2.pdf>).

9.2 Community Projects

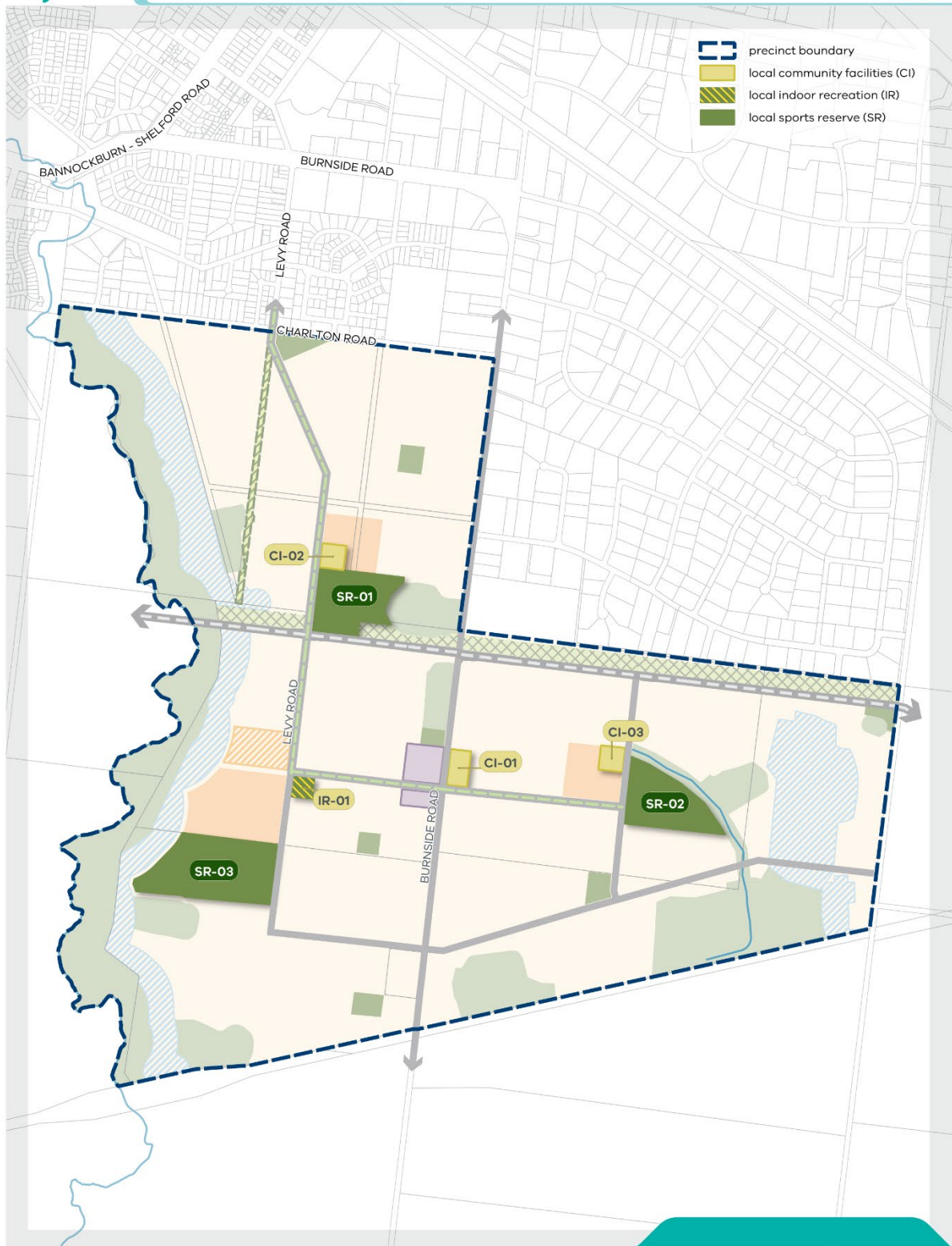
The costs for community infrastructure projects are based on:

- *Bannockburn South East Precinct Community Infrastructure Design* (Taylors, 2025)
- *Bannockburn South East Precinct Community Infrastructure Design Cost Plan* (Melbourne Quantity Surveyors, March 2025)

For the DCP, the following items are excluded in the costs for community projects:

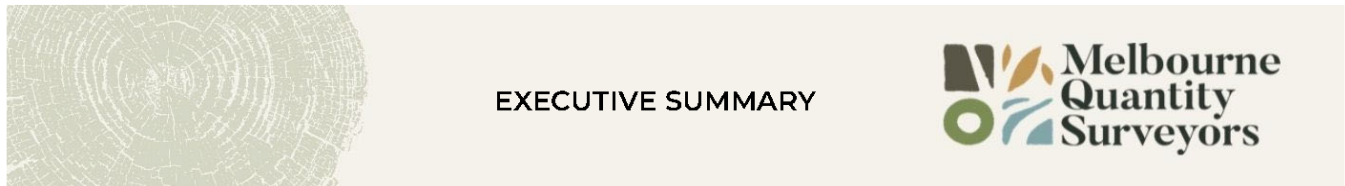
- GST
- Furniture, fittings, and IT
- Irrigation for turf playing fields.

Therefore, the costs in the DCP for community infrastructure are lower than the Cost Plan by Melbourne Quantity Surveyors.



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9.2.1 Community Infrastructure Cost Plan Summary



Bannockburn South East Precinct Community Infrastructure Design Bannockburn VIC

Cost Plan A - Draft
Revision B
Masterplan

7 March 2025

BUILDING AREAS	AREA (m2)
Fully Enclosed Covered Areas (FECA)	m ²
Unenclosed Covered Areas (UCA)	m ²
Gross Floor Areas (GFA) (FECA + UCA)	m ²

INTRODUCTION

The Cost Plan is based on Masterplan documents from Taylors Development Strategists.

DOCUMENTS

This Cost Plan is based on the following documents provided by Taylors Development Strategists.

Architectural drawings dated 25/02/2025

TOTAL CONSTRUCTION COST ESTIMATE

The current anticipated Total End Cost is:

Sports Reserve 1	\$21,437,900
Sports Reserve 2	\$23,417,900
Sports Reserve 3	\$33,057,200
Indoor Recreation Centre	\$18,345,800
Community Facility 1	\$18,718,700
Community Facility 2	\$13,509,100
Community Facility 3	\$13,507,670
Total End Cost	\$141,994,270

Note:

The Cost Plan is based on preliminary information and therefore should be regarded as indicative only of the possible order of cost.

The cost of various components of the Cost Plan could vary significantly depending on the final design, materials selection and quality of the proposed building works.

We recommend that a detailed Cost Plan be prepared at Schematic Design stage to verify the anticipated total cost.

Refer to the attached Cost Plan A - Draft for details.



EXECUTIVE SUMMARY



Bannockburn South East Precinct Community Infrastructure Design Bannockburn VIC

Cost Plan A - Draft
Revision B
Masterplan

7 March 2025

BUILDING AREAS	AREA (m ²)
Fully Enclosed Covered Areas (FECA)	m ²
Unenclosed Covered Areas (UCA)	m ²
Gross Floor Areas (GFA) (FECA + UCA)	m ²

INCLUSIONS

The Cost Plan includes allowances for the following:

- Preliminaries
- Overheads and Profit
- Building works
- External works
- External Services
- Demolition
- Hard Landscaping
- Soft Landscaping
- GST
- Design contingencies
- Construction contingencies
- Design Consultants' fees
- Site and services infrastructure upgrades
- Automation, IT, AV and communications equipment
- Supply authority and headworks charges
- FF&E including loose furniture, window dressings & equipment etc
- Cost escalation up to completion of construction March, 2029
- Project management fees
- Building Permit, Council and sundry fees
- Competitive Tendering
- Locality allowance

EXCLUSIONS

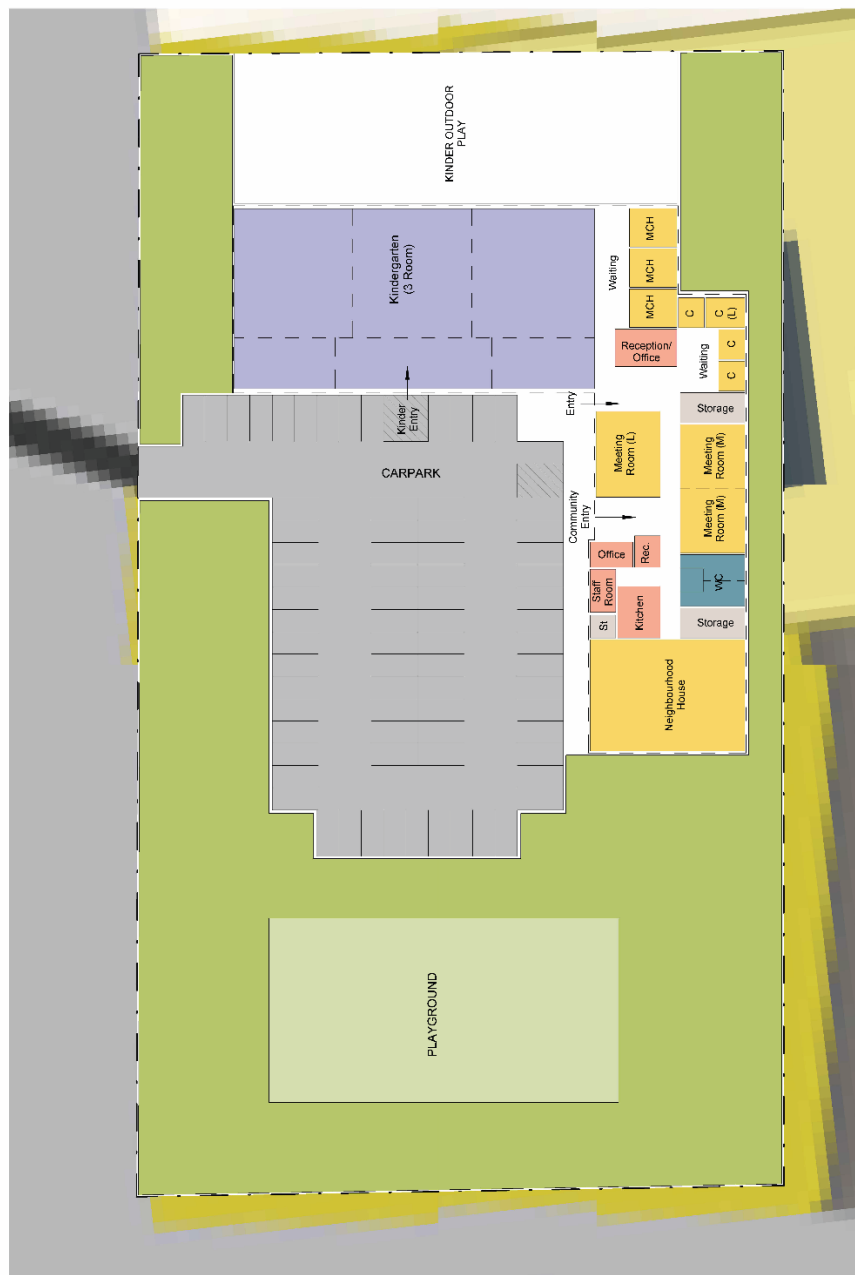
The Cost Plan excludes the following:

- Cost escalation after March, 2029
- Staging costs
- Procurement method costs
- Environmentally sustainable design initiatives
- Disbursements
- Management support costs
- Decanting, relocation and temporary accommodation
- Rainwater harvesting
- Solar PV System
- Asbestos removal
- Rock excavation
- Site decontamination
- Adverse ground conditions
- Out of hours works

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9.2.2 CI-01 Level 2 Community facility



CL-01	Community Facility	Level/L2	1 ha
Interior	Room	Area (sqm)	960
	Kinder (3 Rooms / 132 Places)		150
	MCH (3 rooms)		150
	Consulting Suites - Standard (3)		30
	Consulting Suites - Large (1)		40
	Interviews (4 M / 4 F / 1 DON)		40
	Reception		15
	Staff		15
	Office (1 staff)		15
	Kitchen (commercial)		30
	Storage 1		30
	Community Meeting Large (1)		75
Exterior	Community Meeting Medium (2)		100
	Storage 2		40
	Neighborhood House		225
	Circulation / Ancillary Space (10%)		167.5
	Total		1842.5
Exterior	Qty	Type	Area (sqm)
	Carpark	75 spaces	1800
	Playground		800
	Kinder/garden Outdoor Play		900
	Landscaping		4657.5
Total			8157.5
Total Site Area (Exterior + Interior)			10900

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TAYLORS
Urban Development | Infrastructure
200 West 20th Avenue, Suite 1111, Denver, CO 80202
Tel: 303.733.0000 | Fax: 303.733.0001 | www.taylorshq.com

JOB NO. 25084
DATE 25/02/25
DRAWN: GNO
CHECKED: KMN

COMMUNITY INFRASTRUCTURE DESIGN
BANNOCKBURN SOUTHEAST PSP

A-205

REVISION: 2



COMMUNITY FACILITY 1



7 March 2025

Bannockburn South East Precinct Community Infrastructure Design Bannockburn VIC

Cost Plan A - Draft
Revision B
Masterplan

BUILDING AREAS	AREA (m ²)
Fully Enclosed Covered Areas (FECA)	1843 m ²
Unenclosed Covered Areas (UCA)	m ²
Gross Floor Areas (GFA) (FECA + UCA)	1843 m ²

COST PLAN SUMMARY			
CONSTRUCTION AREA SUMMARY			
	Quantity	\$/m ²	Total
Fully Enclosed Covered Area (FECA)	1843 m²		
Kinder (3 Rooms / 132 Places)	900 m ²	\$3,900/m ²	3,510,000
MCH (3 rooms)	150 m ²	\$4,100/m ²	615,000
Consulting Suites - Standard (3)	30 m ²	\$4,300/m ²	129,000
Consulting Suites - Large (1)	15 m ²	\$4,300/m ²	65,000
Amenities (4 M / 4 F / 1 DDA)	40 m ²	\$5,500/m ²	220,000
Reception	10 m ²	\$4,800/m ²	48,000
Staff Room	15 m ²	\$4,200/m ²	63,000
Office (1 staff)	15 m ²	\$4,100/m ²	62,000
Kitchen (commercial)	30 m ²	\$6,800/m ²	204,000
Storage 1	30 m ²	\$3,700/m ²	111,000
Community Meeting Large (1)	75 m ²	\$3,900/m ²	293,000
Community Meeting Medium (2)	100 m ²	\$3,900/m ²	390,000
Storage 2	40 m ²	\$3,700/m ²	148,000
Neighbourhood House	225 m ²	\$3,900/m ²	878,000
Circulation / Ancillary Space (10%)	168 m ²	\$3,900/m ²	654,000
Unenclosed Covered Area (UCA)	m²		
Unenclosed Covered Area	m ²		0
External Areas	8158 m²		
Carpark (75 spaces)	1800 m ²	\$250/m ²	450,000
Playground	800 m ²	\$750/m ²	600,000
Kindergarten Outdoor Play	900 m ²	\$750/m ²	675,000
Landscaping	4658 m ²	\$40/m ²	187,000
External Works and Services			
External Works	10.00%		931,000
External Services	5.00%		466,000
Site and services infrastructure upgrades	2.50%		256,000
Gross Floor Area (GFA = FECA + UCA)	1843 m²		10,955,000

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COMMUNITY FACILITY 1



7 March 2025

Bannockburn South East Precinct Community Infrastructure Design Bannockburn VIC

Cost Plan A - Draft
Revision B
Masterplan

BUILDING AREAS	AREA (m ²)
Fully Enclosed Covered Areas (FECA)	1843 m ²
Unenclosed Covered Areas (UCA)	m ²
Gross Floor Areas (GFA) (FECA + UCA)	1843 m ²

	Quantity	\$/m ²	Total
COST PLAN SUMMARY			
CONSTRUCTION COST SUMMARY			
Total Building Cost	1843 m ²	\$4011/m ²	7,390,000
External Works and Services	1843 m ²	\$1935/m ²	3,565,000
NET CONSTRUCTION COST (NCC) (ex GST) (Mar, 2025)		\$5945.73/m²GFA	10,955,000
CONTINGENCIES AND ALLOWANCES			
Environmentally sustainable design initiatives	5.00%		excluded
Locality allowance	0.50%		55,000
Additional costs for staging of the works			excluded
Additional costs for procurement method			excluded
Design contingency	10.00%		1,096,000
Construction contingency	10.00%		1,096,000
TOTAL CONSTRUCTION COST (TCC) (ex GST) (Mar, 2025)		\$7165.26/m²GFA	13,202,000
FEES, FFE, IT AND OTHER CLIENT ITEMS			
Building Permit, Council and sundry fees	1.00%		132,000
Design Consultants' fees	8.00%		1,056,000
Project Management fees	4.00%		528,000
FF&E including furniture, window dressings & equipment etc	2.50%		330,000
Automation, IT, AV and communications equipment	0.50%		66,000
Supply authority and headworks charges	1.00%		132,000
Disbursements			excluded
Management support costs			excluded
Decanting, relocation and temporary accommodation			excluded
TOTAL PROJECT COST (TPC) (ex GST) (Mar, 2025)		\$8383.18/m²GFA	15,446,000
ESCALATION AND GST			
Cost Escalation			
Escalation rate	3.00%	Market conditions	0.00%
Up To	Date	Months	%/Year
Tender	Mar, 27	24	3.50%
Completion	Mar, 29	24	3.50%
Goods and services tax			10.00%
NET CONSTRUCTION COST (NCC) (Inc GST) (Mar, 2025)		\$10159.40/m²GFA	18,718,700
TOTAL END COST (TEC) (Mar, 2029)	1843 m²		18,718,700

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9.2.3 CI-02 Level 1 Community facility



CL-02	Community Facility	Level 1	Area
Interior	Room	Area (sqm)	
	Kitchen (3 Rooms / 132 Places)	900	
	Community Meeting - 2 small (or 1 Large)	100	
	Consulting Suites - Standard (2)	20	
	Advisories (3 x 7.5' x 10.0')	35	
	Office Reception (1 Small)	15	
	Kitchen (commercial - small)	20	
	Stair Room	15	
	Storage	10	
	Circulation / Ancillary Space (10%)	111.5	
	Total	1226.5	
Exterior	Qty	Type	Area (sqm)
	Compost	60 pieces	1400
	Playground		800
	Kindergarten Outdoor Play		900
	Landscaping		3633.5
	Total	6773.5	
Total Site Area (Exterior + Interior)			8000



COMMUNITY FACILITY 2



7 March 2025

Bannockburn South East Precinct Community Infrastructure Design Bannockburn VIC

Cost Plan A - Draft
Revision B
Masterplan

BUILDING AREAS	AREA (m ²)
Fully Enclosed Covered Areas (FECA)	1227 m ²
Unenclosed Covered Areas (UCA)	m ²
Gross Floor Areas (GFA) (FECA + UCA)	1227 m ²

	Quantity	\$/m ²	Total
COST PLAN SUMMARY			
CONSTRUCTION AREA SUMMARY			
Fully Enclosed Covered Area (FECA)	1227 m²		
Kinder (3 Rooms / 132 Places)	900 m ²	\$3,900/m ²	3,510,000
Community Meeting - 2 Small (or 1 large)	100 m ²	\$4,100/m ²	410,000
Consulting Suites - Standard (2)	20 m ²	\$4,300/m ²	86,000
Amenities (4 M / 4 F / 1 DDA)	35 m ²	\$5,500/m ²	193,000
Office/Reception (1 Staff)	15 m ²	\$4,800/m ²	72,000
Kitchen (commercial - small)	20 m ²	\$6,800/m ²	136,000
Staff Room	15 m ²	\$4,200/m ²	63,000
Storage 1	10 m ²	\$3,700/m ²	37,000
Circulation / Ancillary Space (10%)	112 m ²	\$3,900/m ²	435,000
Unenclosed Covered Area (UCA)	m²		
Unenclosed Covered Area	m ²		0
External Areas	6734 m²		
Carpark (75 spaces)	1400 m ²	\$250/m ²	350,000
Playground	800 m ²	\$750/m ²	600,000
Kindergarten Outdoor Play	900 m ²	\$750/m ²	675,000
Landscaping	3634 m ²	\$40/m ²	146,000
External Works and Services			
External Works	10.00%		672,000
External Services	5.00%		336,000
Site and services infrastructure upgrades	2.50%		185,000
Gross Floor Area (GFA = FECA + UCA)	1227 m²		7,906,000

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COMMUNITY FACILITY 2



7 March 2025

Bannockburn South East Precinct Community Infrastructure Design Bannockburn VIC

Cost Plan A - Draft
Revision B
Masterplan

BUILDING AREAS		AREA (m ²)
Fully Enclosed Covered Areas (FECA)		1227 m ²
Unenclosed Covered Areas (UCA)		m ²
Gross Floor Areas (GFA) (FECA + UCA)		1227 m ²
Quantity	\$/m ²	Total

COST PLAN SUMMARY

CONSTRUCTION COST SUMMARY

Total Building Cost	1227 m ²	\$4029/m ²	4,942,000
External Works and Services	1227 m ²	\$2417/m ²	2,964,000
NET CONSTRUCTION COST (NCC) (ex GST) (Mar, 2025)		\$6445.98/m²GFA	7,906,000

CONTINGENCIES AND ALLOWANCES

	Environmentally sustainable design initiatives	5.00%	excluded
	Locality allowance	0.50%	40,000
	Additional costs for staging of the works		excluded
	Additional costs for procurement method		excluded
	Design contingency	10.00%	791,000
	Construction contingency	10.00%	791,000
	TOTAL CONSTRUCTION COST (TCC) (ex GST) (Mar, 2025)	\$7768.45/m² GFA	9,528,000

FEES, FFE, IT AND OTHER CLIENT ITEMS

	Building Permit, Council and sundry fees	1.00%	95,000
	Design Consultants' fees	8.00%	762,000
	Project Management fees	4.00%	381,000
	FF&E including furniture, window dressings & equipment etc	2.50%	238,000
	Automation, IT, AV and communications equipment	0.50%	48,000
	Supply authority and headworks charges	1.00%	95,000
	Disbursements		excluded
	Management support costs		excluded
	Decanting, relocation and temporary accommodation		excluded
	TOTAL PROJECT COST (TPC) (ex GST) (Mar, 2025)		
		\$9088.46/m² GFA	11,147,000

ESCALATION AND GST

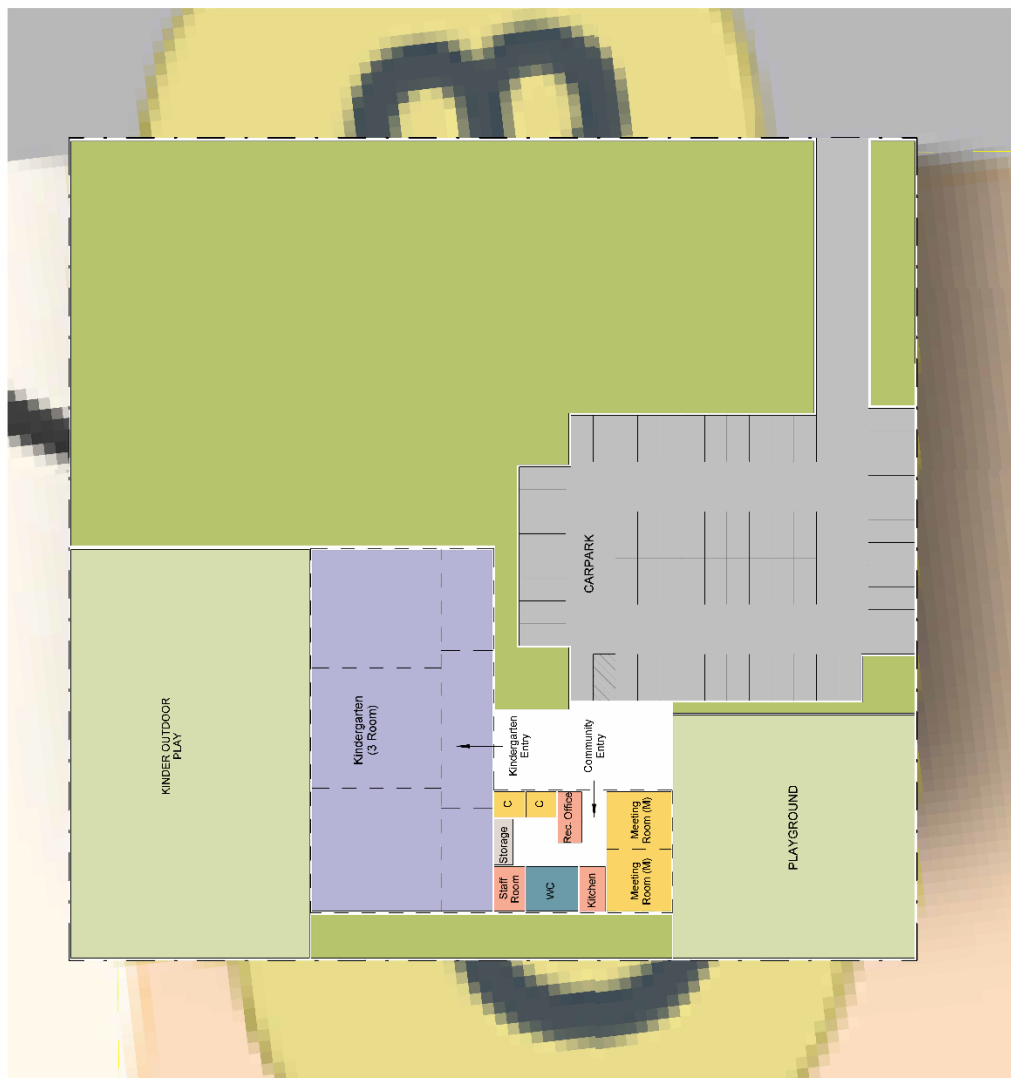
Cost Escalation					
Escalation rate	3.00%	Market conditions		0.00%	
Up To	Date	Months	%/Year	Weighting	
Tender	Mar, 27	24	3.50%	100%	7.00%
Completion	Mar, 29	24	3.50%	70%	4.90%
Goods and services tax					10.00%
NET CONSTRUCTION COST (NCC) (Inc GST) (Mar, 2025)		\$11014.35/m²GFA		13,509,100	

TOTAL END COST (TEC) (Mar, 2029)	1227 m²	13,509,100
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9.2.4 CI-03 Level 1 Community facility



CL03	Community Facility	Level 1	2/1a		
Interior	Room		Area (sqm)		
	Kindergarten (3 Rooms - 132 Places)		900		
	Community Meeting - 2 small (or 1 Large)		100		
	Consulting Suites - Standard (2)		20		
	Amenities (3 W / 3 TOA)		35		
	Office Reception (1 Staff)		15		
	Kitchen (Commercial - small)		20		
	Staff Room		15		
	Storage		10		
	Circulator / Ancillary Space (10%)		111.5		
	Total		1226.5		
Exterior		Qty	Type	Area (sqm)	
	Carpark	60	Spaces	1440	
	Playground			800	
	Kindergarten Outdoor Play			900	
	Landscaping			3633.5	
	Total			6773.5	
Total Site Area (Exterior + Interior)					8000



COMMUNITY FACILITY 3



7 March 2025

Bannockburn South East Precinct Community Infrastructure Design Bannockburn VIC

Cost Plan A - Draft
Revision B
Masterplan

BUILDING AREAS	AREA (m ²)
Fully Enclosed Covered Areas (FECA)	1227 m ²
Unenclosed Covered Areas (UCA)	m ²
Gross Floor Areas (GFA) (FECA + UCA)	1227 m ²

	Quantity	\$/m ²	Total
COST PLAN SUMMARY			
CONSTRUCTION AREA SUMMARY			
Fully Enclosed Covered Area (FECA)	1227 m²		
Kinder (3 Rooms / 132 Places)	900 m ²	\$3,900/m ²	3,510,000
Community Meeting - 2 Small (or 1 large)	100 m ²	\$4,100/m ²	410,000
Consulting Suites - Standard (2)	20 m ²	\$4,300/m ²	86,000
Amenities (4 M / 4 F / 1 DDA)	35 m ²	\$5,500/m ²	192,500
Office/Reception (1 Staff)	15 m ²	\$4,800/m ²	72,000
Kitchen (commercial - small)	20 m ²	\$6,800/m ²	136,000
Staff Room	15 m ²	\$4,200/m ²	63,000
Storage 1	10 m ²	\$3,700/m ²	37,000
Circulation / Ancillary Space (10%)	112 m ²	\$3,900/m ²	434,850
Unenclosed Covered Area (UCA)	m²		
Unenclosed Covered Area	m ²		0
External Areas	6734 m²		
Carpark (75 spaces)	1400 m ²	\$250/m ²	350,000
Playground	800 m ²	\$750/m ²	600,000
Kindergarten Outdoor Play	900 m ²	\$750/m ²	675,000
Landscaping	3634 m ²	\$40/m ²	145,340
External Works and Services			
External Works	10.00%		672,000
External Services	5.00%		336,000
Site and services infrastructure upgrades	2.50%		185,000
Gross Floor Area (GFA = FECA + UCA)	1227 m²		7,904,690

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COMMUNITY FACILITY 3



7 March 2025

Bannockburn South East Precinct Community Infrastructure Design Bannockburn VIC

Cost Plan A - Draft
Revision B
Masterplan

BUILDING AREAS	AREA (m ²)
Fully Enclosed Covered Areas (FECA)	1227 m ²
Unenclosed Covered Areas (UCA)	m ²
Gross Floor Areas (GFA) (FECA + UCA)	1227 m ²

	Quantity	\$/m ²	Total
COST PLAN SUMMARY			
CONSTRUCTION COST SUMMARY			
Total Building Cost	1227 m ²	\$4029/m ²	4,941,350
External Works and Services	1227 m ²	\$2416/m ²	2,963,340
NET CONSTRUCTION COST (NCC) (ex GST) (Mar, 2025)		\$6444.92/m²GFA	7,904,700

CONTINGENCIES AND ALLOWANCES			
Environmentally sustainable design initiatives	5.00%		excluded
Locality allowance	0.50%		40,000
Additional costs for staging of the works			excluded
Additional costs for procurement method			excluded
Design contingency	10.00%		791,000
Construction contingency	10.00%		791,000
TOTAL CONSTRUCTION COST (TCC) (ex GST) (Mar, 2025)		\$7767.39/m²GFA	9,526,700

FEES, FFE, IT AND OTHER CLIENT ITEMS			
Building Permit, Council and sundry fees	1.00%		95,000
Design Consultants' fees	8.00%		762,000
Project Management fees	4.00%		381,000
FF&E including furniture, window dressings & equipment etc	2.50%		238,000
Automation, IT, AV and communications equipment	0.50%		48,000
Supply authority and headworks charges	1.00%		95,000
Disbursements			excluded
Management support costs			excluded
Decanting, relocation and temporary accommodation			excluded
TOTAL PROJECT COST (TPC) (ex GST) (Mar, 2025)		\$9087.40/m²GFA	11,145,700

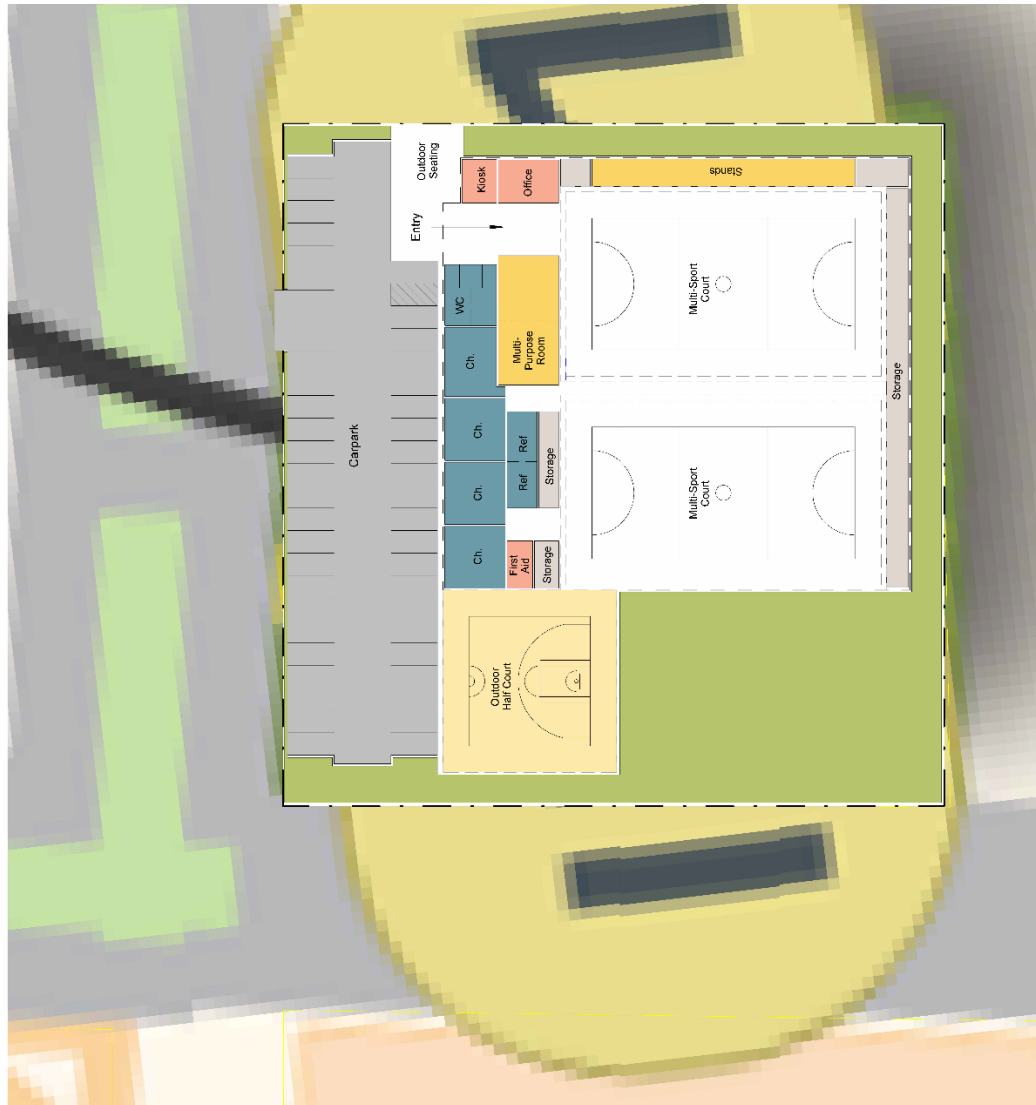
ESCALATION AND GST			
Cost Escalation			
Escalation rate	3.00%	Market conditions	0.00%
Up To	Date	Months	%/Year
Tender	Mar, 27	24	3.50%
Completion	Mar, 29	24	3.50%
Goods and services tax			10.00%
NET CONSTRUCTION COST (NCC) (Inc GST) (Mar, 2025)		\$11013.18/m²GFA	13,507,670

TOTAL END COST (TEC) (Mar, 2029)	1227 m²	13,507,670
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9.2.5 IR-01 Indoor Recreation Centre (2 court)



IR-01	Indoor Recreation Centre	.6 ha	
Interior	Room	Area (sqm)	
	Multi Purpose Courts (2)	1700	
	Stands	100	
	Change Rooms (4)	200	
	Umpire Room (2)	40	
	First Aid	15	
	Amenities (4M / 4F / 1 DDA)	40	
	Office (3 staff)	30	
	Kiosk / Kitchen (small)	20	
	Storage	120	
	Multi Purpose Room / Club Room (dividable)	100	
	Circulation / Ancillary Space (10%)	67	
	Total	2432	
	Exterior	Qty	Type
Carpark		45 spaces	1170
Half Court (multipurpose)			425
Landscaping			1973
	Total	3568	
Total Site Area (Exterior + Interior)			6000



INDOOR RECREATION CENTRE



7 March 2025

Bannockburn South East Precinct Community Infrastructure Design Bannockburn VIC

Cost Plan A - Draft
Revision B
Masterplan

BUILDING AREAS	AREA (m ²)
Fully Enclosed Covered Areas (FECA)	2432 m ²
Unenclosed Covered Areas (UCA)	m ²
Gross Floor Areas (GFA) (FECA + UCA)	2432 m ²

	Quantity	\$/m ²	Total
COST PLAN SUMMARY			
CONSTRUCTION AREA SUMMARY			
Fully Enclosed Covered Area (FECA)	2432 m²		
Multi Purpose Courts (2)	1700 m ²	\$3,300/m ²	5,610,000
Stands	100 m ²	\$3,550/m ²	355,000
Change Rooms (4)	200 m ²	\$4,200/m ²	840,000
Umpires Rooms (2)	40 m ²	\$4,200/m ²	168,000
First Aid	15 m ²	\$4,100/m ²	62,000
Amenities (4M / 4F / 1 DDA)	40 m ²	\$6,500/m ²	260,000
Office (3 Staff)	30 m ²	\$3,750/m ²	113,000
Kiosk/Kitchen (small)	20 m ²	\$6,500/m ²	130,000
Storage 1	120 m ²	\$3,700/m ²	444,000
Multipurpose Room / Club Room (dividable)	100 m ²	\$3,900/m ²	390,000
Circulation / Ancillary Space (10%)	67 m ²	\$3,350/m ²	225,000
Unenclosed Covered Area (UCA)	m²		
Unenclosed Covered Area	m ²		0
External Areas	3568 m²		
Carpark	1170 m ²	\$250/m ²	293,000
Half Court (multipurpose)	425 m ²	\$350/m ²	149,000
Landscaping	1973 m ²	\$40/m ²	79,000
External Works and Services			
External Works	10.00%		912,000
External Services	5.00%		456,000
Site and services infrastructure upgrades	2.50%		251,000
Gross Floor Area (GFA = FECA + UCA)	2432 m²		10,737,000

Melbourne Quantity Surveyors Pty Ltd
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INDOOR RECREATION CENTRE



7 March 2025

Bannockburn South East Precinct Community Infrastructure Design Bannockburn VIC

Cost Plan A - Draft
Revision B
Masterplan

BUILDING AREAS		AREA (m ²)
Fully Enclosed Covered Areas (FECA)		2432 m ²
Unenclosed Covered Areas (UCA)		m ²
Gross Floor Areas (GFA) (FECA + UCA)		2432 m ²
Quantity	\$/m ²	Total

COST PLAN SUMMARY

CONSTRUCTION COST SUMMARY

Total Building Cost	2432 m ²	\$3535/m ²	8,597,000
External Works and Services	2432 m ²	\$880/m ²	2,140,000
NET CONSTRUCTION COST (NCC) (ex GST) (Mar, 2025)		\$4414.88/m²GFA	10,737,000

CONTINGENCIES AND ALLOWANCES

	Environmentally sustainable design initiatives	5.00%	excluded	
	Locality allowance	0.50%	54,000	
	Additional costs for staging of the works		excluded	
	Additional costs for procurement method		excluded	
	Design contingency	10.00%	1,074,000	
	Construction contingency	10.00%	1,074,000	
	TOTAL CONSTRUCTION COST (TCC) (ex GST) (Mar, 2025)		\$5320.31/m² GFA	12,939,000

FEES, FFE, IT AND OTHER CLIENT ITEMS

Building Permit, Council and sundry fees	1.00%	129,000	
Design Consultants' fees	8.00%	1,035,000	
Project Management fees	4.00%	518,000	
FF&E including furniture, window dressings & equipment etc	2.50%	323,000	
Automation, IT, AV and communications equipment	0.50%	65,000	
Supply authority and headworks charges	1.00%	129,000	
Disbursements		excluded	
Management support costs		excluded	
Decanting, relocation and temporary accommodation		excluded	
TOTAL PROJECT COST (TPC) (ex GST) (Mar, 2025)		\$6224.51/m²GFA	15,138,000

ESCALATION AND GST

Cost Escalation				
Escalation rate	3.00%	Market conditions	0.00%	
Up To	Date	Months	%/Year	Weighting
Tender	Mar, 27	24	3.50%	100%
Completion	Mar, 29	24	3.50%	70%
Goods and services tax				10.00%
				1,667,800
NET CONSTRUCTION COST (NCC) (Inc GST) (Mar, 2025)		\$7543.50/m²GFA	18,345,800	

TOTAL END COST (TEC) (Mar, 2029)	2432 m²	18,345,800
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2457-1b

2.6 SR-01 Sports Reserve (6ha – partially within transmission easement)

SP-01	Sports Reserve	6 ha	
Pavilion	Room	Area (sqm)	
	Change Rooms (6) incl amenities	440	
	Umpire Rooms (3) incl amenities	90	
	Storage	60	
	Office	30	
	Canteen/Kitchen (incl Dry Store)	50	
	Cold Store	10	
	Public Toilets (4 UNISEX; 1 DDA)	20	
	First Aid	15	
	Bar / Severy	25	
	Club Room	200	
	Circulation (10%)	94	
	Total	1034	
Reserve	Qty	Type	Area (sqm)
	1	Oval (AFL / Cricket / Soccer - Large)	22000
	1	Soccer Field	8500
			0
		Carpark	2880
		Covered Spectator Area	80
		Pedestrian Path Networks / Hardstand	1000
		Internal Access Roads	1350
		Landscaping (including 1.5-Ha easement)	31856
	Total	67666	
Total Site Area (Pavilion + Reserve)			68700
Ancillary Items	Qty	Type	
	1	Cricket Pitch (turf)	
	1	Practice Nets (2x lanes)	
	2	Goals (AFL)	2 xpts
	6	Lighting	
	15	Signage	
	1000 m	Site Boundary fencing	
	1	Driveway crossing	
	1	Utility Service connection	
	1	Drainage	1 TBC
	5	Interchange shelters	
	10	Furniture	
	2	Safety Netting	
	30500 m2	Irrigation for Turf Surface	
2	Score Board		





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Urban Designers | Planners
10/100 Phillip Street, Melbourne VIC 3000
03 9593 1000 | www.taylorors.com.au

SCALE: 1 : 2000 @ A3
0 20 40 80



DATE: 23/02/25
DRAWN: KIN

COMMUNITY INFRASTRUCTURE DESIGN
BANNOCKBURN SOUTHEAST PSP

PRELIMINARY/ SPATIAL LAYOUT
SITE PLAN -SR-01

A-201
REVISION
2

SPORTS RESERVE 1



7 March 2025

Bannockburn South East Precinct Community Infrastructure Design Bannockburn VIC

Cost Plan A - Draft
Revision B
Masterplan

BUILDING AREAS	AREA (m ²)
Fully Enclosed Covered Areas (FECA)	1034 m ²
Unenclosed Covered Areas (UCA)	m ²
Gross Floor Areas (GFA) (FECA + UCA)	1034 m ²

Quantity	\$/m ²	Total
COST PLAN SUMMARY		
CONSTRUCTION AREA SUMMARY		
Fully Enclosed Covered Area (FECA)	1034 m²	
Change Rooms (6) including amenities	440 m ²	\$4,200/m ² 1,848,000
Umpire Rooms (6) including amenities	90 m ²	\$4,400/m ² 396,000
Storage	60 m ²	\$3,350/m ² 201,000
Office	30 m ²	\$3,750/m ² 113,000
Canteen/Kitchen (including Dry Store)	50 m ²	\$6,500/m ² 325,000
Cold Store	10 m ²	\$4,300/m ² 43,000
Public Toilets (4 unisex; 1 DDA)	20 m ²	\$6,500/m ² 130,000
First Aid	15 m ²	\$4,100/m ² 62,000
Bar/Servery	25 m ²	\$6,000/m ² 150,000
Club Room	200 m ²	\$3,750/m ² 750,000
Circulation / Ancillary Space (10%)	94 m ²	\$3,350/m ² 315,000
Unenclosed Covered Area (UCA)	m²	
Unenclosed Covered Area	m ²	0
External Areas	67666 m²	
Oval (AFL/Cricket/Soccer - Large)	22000 m ²	\$80/m ² 1,760,000
Soccer Field	8500 m ²	\$95/m ² 808,000
Carpark	2880 m ²	\$250/m ² 720,000
Covered Spectator Area	80 m ²	\$1,500/m ² 120,000
Pedestrian Path Networks/Hardstand	1000 m ²	\$110/m ² 110,000
Internal Access Roads	1350 m ²	\$180/m ² 243,000
Landscaping	31856 m ²	\$40/m ² 1,275,000
Ancillary Items		
Cricket Pitch (turf)	1 No	\$25,000 25,000
Practice Nets (2 lanes)	1 No	\$50,000 50,000
Goals (AFL)	2 No	\$15,000 30,000
Lighting	6 No	\$25,000 150,000
Signage	15 No	\$1,000 15,000
Site Boundary Fencing	1000 m	\$100 100,000
Driveway Crossing	1 No	\$10,000 10,000
Utility Service Connection	1 No	\$40,000 40,000
Drainage	1 No	\$50,000 50,000
Interchange Shelters	5 No	\$15,000 75,000
Furniture	10 No	\$5,000 50,000
Safety Netting	2 No	\$20,000 40,000
Irrigation for Turf Surface	30500 m ²	\$20 610,000
Score Board	2 No	\$20,000 40,000

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SPORTS RESERVE 1



7 March 2025

Bannockburn South East Precinct Community Infrastructure Design Bannockburn VIC

Cost Plan A - Draft
Revision B
Masterplan

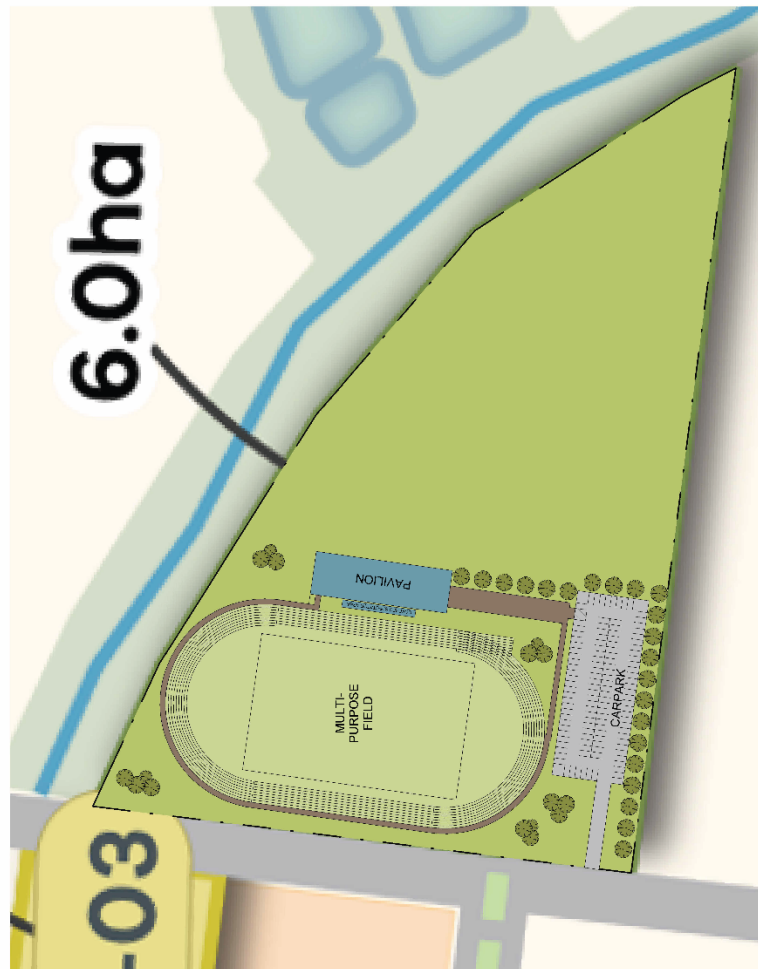
BUILDING AREAS	AREA (m ²)
Fully Enclosed Covered Areas (FECA)	1034 m ²
Unenclosed Covered Areas (UCA)	m ²
Gross Floor Areas (GFA) (FECA + UCA)	1034 m ²

	Quantity	\$/m ²	Total
COST PLAN SUMMARY			
External Works and Services			
External Works	10.00%		1,066,000
External Services	5.00%		533,000
Site and services infrastructure upgrades	2.50%		293,000
Gross Floor Area (GFA = FECA + UCA)	1034 m²		12,546,000
CONSTRUCTION COST SUMMARY			
Total Building Cost	1034 m ²	\$4191/m ²	4,333,000
External Works and Services	1034 m ²	\$7943/m ²	8,213,000
NET CONSTRUCTION COST (NCC) (ex GST) (Mar, 2025)		\$12133.46/m²GFA	12,546,000
CONTINGENCIES AND ALLOWANCES			
Environmentally sustainable design initiatives	5.00%		excluded
Locality allowance	0.50%		63,000
Additional costs for staging of the works			excluded
Additional costs for procurement method			excluded
Design contingency	10.00%		1,255,000
Construction contingency	10.00%		1,255,000
TOTAL CONSTRUCTION COST (TCC) (ex GST) (Mar, 2025)		\$14621.86/m²GFA	15,119,000
FEES, FFE, IT AND OTHER CLIENT ITEMS			
Building Permit, Council and sundry fees	1.00%		151,000
Design Consultants' fees	8.00%		1,210,000
Project Management fees	4.00%		605,000
FF&E including furniture, window dressings & equipment etc	2.50%		378,000
Automation, IT, AV and communications equipment	0.50%		76,000
Supply authority and headworks charges	1.00%		151,000
Disbursements			excluded
Management support costs			excluded
Decanting, relocation and temporary accommodation			excluded
TOTAL PROJECT COST (TPC) (ex GST) (Mar, 2025)		\$17108.32/m²GFA	17,690,000
ESCALATION AND GST			
Cost Escalation			
Escalation rate	3.00%	Market conditions	0.00%
Up To	Date	Months	%/Year
Tender	Mar, 27	24	3.50%
Completion	Mar, 29	24	3.50%
			Weighting
			100%
			70%
Goods and services tax			10.00%
			1,948,900
NET CONSTRUCTION COST (NCC) (Inc GST) (Mar, 2025)		\$20732.98/m²GFA	21,437,900
TOTAL END COST (TEC) (Mar, 2029)	1034 m²		21,437,900

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Cost Plan Summary - Page 5 of 17
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2.7 SR-02 Sports Reserve (6ha)



SR-02	Sports Reserve	6 ha																																									
Pavilion	<table><tr><th>Room</th><th>Area (sqm)</th></tr><tr><td>Change Rooms (6) incl amenities</td><td>440</td></tr><tr><td>Umpire Rooms (3) incl amenities</td><td>90</td></tr><tr><td>Storage</td><td>60</td></tr><tr><td>Office</td><td>30</td></tr><tr><td>Canteen/Kitchen (incl Dry Store)</td><td>50</td></tr><tr><td>Cold Store</td><td>10</td></tr><tr><td>Public Toilets (4 UNISEX, 1 DDA)</td><td>20</td></tr><tr><td>First Aid</td><td>15</td></tr><tr><td>Bar/ Sundry</td><td>25</td></tr><tr><td>Club Room</td><td>200</td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr><tr><td>Circulation (10%)</td><td>94</td></tr><tr><td>Total</td><td>1034</td></tr></table>	Room	Area (sqm)	Change Rooms (6) incl amenities	440	Umpire Rooms (3) incl amenities	90	Storage	60	Office	30	Canteen/Kitchen (incl Dry Store)	50	Cold Store	10	Public Toilets (4 UNISEX, 1 DDA)	20	First Aid	15	Bar/ Sundry	25	Club Room	200					Circulation (10%)	94	Total	1034												
	Room	Area (sqm)																																									
	Change Rooms (6) incl amenities	440																																									
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	Club Room	200																																									
	Circulation (10%)	94																																									
Total	1034																																										
Reserve	<table><tr><th>Qty</th><th>Type</th><th>Area (sqm)</th></tr><tr><td>Athletics Track</td><td>1</td><td>4300</td></tr><tr><td>Athletics internal (multisport)</td><td>1</td><td>10200</td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td>Carpark</td><td>120 spaces</td><td>2880</td></tr><tr><td>Covered Spectator Area</td><td></td><td>80</td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td>Pedestrian Path Networks / Hardstand</td><td></td><td>1000</td></tr><tr><td>Internal Access Roads</td><td></td><td>1350</td></tr><tr><td>Landscaping</td><td></td><td>39156</td></tr><tr><td>Total</td><td></td><td>59666</td></tr></table>	Qty	Type	Area (sqm)	Athletics Track	1	4300	Athletics internal (multisport)	1	10200										Carpark	120 spaces	2880	Covered Spectator Area		80							Pedestrian Path Networks / Hardstand		1000	Internal Access Roads		1350	Landscaping		39156	Total		59666
	Qty	Type	Area (sqm)																																								
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	Landscaping		39156																																								
	Total		59666																																								
Total Site Area (Pavilion + Reserve)		60000																																									
Ancillary Items	<table><tr><th>Qty</th><th>Type</th></tr><tr><td>Cricket Pitch (turf)</td><td>0</td></tr><tr><td>Practice Nets</td><td>0</td></tr><tr><td>Goals (AFL)</td><td>0 sets</td></tr><tr><td>Lighting</td><td>4</td></tr><tr><td>Signage</td><td>15</td></tr><tr><td>Site Boundary fencing</td><td>1100 m</td></tr><tr><td>Driveway crossing</td><td>1</td></tr><tr><td>Utility Service connection</td><td>1</td></tr><tr><td>Drainage</td><td>1 TBC</td></tr><tr><td>Interchange shelters</td><td>5</td></tr><tr><td>Furniture</td><td>10</td></tr><tr><td>Safety Netting</td><td>0</td></tr><tr><td>Irrigation for Turf Surface</td><td>0 m2</td></tr><tr><td>Score Board</td><td>2</td></tr></table>	Qty	Type	Cricket Pitch (turf)	0	Practice Nets	0	Goals (AFL)	0 sets	Lighting	4	Signage	15	Site Boundary fencing	1100 m	Driveway crossing	1	Utility Service connection	1	Drainage	1 TBC	Interchange shelters	5	Furniture	10	Safety Netting	0	Irrigation for Turf Surface	0 m2	Score Board	2												
	Qty	Type																																									
	Cricket Pitch (turf)	0																																									
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	Site Boundary fencing	1100 m																																									
	Driveway crossing	1																																									
	Utility Service connection	1																																									
	Drainage	1 TBC																																									
	Interchange shelters	5																																									
	Furniture	10																																									
	Safety Netting	0																																									
	Irrigation for Turf Surface	0 m2																																									
Score Board	2																																										





SPORTS RESERVE 2



7 March 2025

Bannockburn South East Precinct Community Infrastructure Design Bannockburn VIC

Cost Plan A - Draft
Revision B
Masterplan

BUILDING AREAS	AREA (m ²)
Fully Enclosed Covered Areas (FECA)	1034 m ²
Unenclosed Covered Areas (UCA)	m ²
Gross Floor Areas (GFA) (FECA + UCA)	1034 m ²

	Quantity	\$/m ²	Total
COST PLAN SUMMARY			
CONSTRUCTION AREA SUMMARY			
Fully Enclosed Covered Area (FECA)	1034 m²		
Change Rooms (6) including amenities	440 m ²	\$4,200/m ²	1,848,000
Umpire Rooms (6) including amenities	90 m ²	\$4,400/m ²	396,000
Storage	60 m ²	\$3,350/m ²	201,000
Office	30 m ²	\$3,750/m ²	113,000
Canteen/Kitchen (including Dry Store)	50 m ²	\$6,500/m ²	325,000
Cold Store	10 m ²	\$4,300/m ²	43,000
Public Toilets (4 unisex; 1 DDA)	20 m ²	\$6,500/m ²	130,000
First Aid	15 m ²	\$4,100/m ²	62,000
Bar/Servery	25 m ²	\$6,000/m ²	150,000
Club Room	200 m ²	\$3,750/m ²	750,000
Circulation / Ancillary Space (10%)	94 m ²	\$3,350/m ²	315,000
Unenclosed Covered Area (UCA)	m²		
Unenclosed Covered Area	m ²		0
External Areas	58966 m²		
Athletics Track	4300 m ²	\$350/m ²	1,505,000
Athletics Internal (multisport)	10200 m ²	\$250/m ²	2,550,000
Carpark	2880 m ²	\$250/m ²	720,000
Covered Spectator Area	80 m ²	\$1,500/m ²	120,000
Pedestrian Path Networks/Hardstand	1000 m ²	\$110/m ²	110,000
Internal Access Roads	1350 m ²	\$180/m ²	243,000
Landscaping	39156 m ²	\$40/m ²	1,567,000
Ancillary Items			
Cricket Pitch (turf)	No	\$25,000	0
Practice Nets (2 lanes)	No	\$50,000	0
Goals (AFL)	No	\$15,000	0
Lighting	4 No	\$25,000	100,000
Signage	15 No	\$1,000	15,000
Site Boundary Fencing	1100 m	\$100	110,000
Driveway Crossing	1 No	\$10,000	10,000
Utility Service Connection	1 No	\$40,000	40,000
Drainage	1 No	\$50,000	50,000
Interchange Shelters	5 No	\$15,000	75,000
Furniture	10 No	\$5,000	50,000
Safety Netting	No	\$20,000	0
Irrigation for Turf Surface	m ²	\$20	0
Score Board	2 No	\$20,000	40,000

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SPORTS RESERVE 2



7 March 2025

Bannockburn South East Precinct Community Infrastructure Design Bannockburn VIC

Cost Plan A - Draft
Revision B
Masterplan

BUILDING AREAS	AREA (m2)
Fully Enclosed Covered Areas (FECA)	1034 m ²
Unenclosed Covered Areas (UCA)	m ²
Gross Floor Areas (GFA) (FECA + UCA)	1034 m ²

Quantity	\$/m2	Total
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COST PLAN SUMMARY

External Works and Services		
External Works	10.00%	1,164,000
External Services	5.00%	582,000
Site and services infrastructure upgrades	2.50%	321,000
Gross Floor Area (GFA = FECA + UCA)	1034 m²	13,705,000

CONSTRUCTION COST SUMMARY

Total Building Cost	1034 m ²	\$4191/m ²	4,333,000
External Works and Services	1034 m ²	\$9064/m ²	9,372,000

NET CONSTRUCTION COST (NCC) (ex GST) (Mar, 2025)	\$13254.35/m²GFA	13,705,000
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CONTINGENCIES AND ALLOWANCES

Environmentally sustainable design initiatives	5.00%	excluded
Locality allowance	0.50%	69,000
Additional costs for staging of the works		excluded
Additional costs for procurement method		excluded
Design contingency	10.00%	1,371,000
Construction contingency	10.00%	1,371,000

TOTAL CONSTRUCTION COST (TCC) (ex GST) (Mar, 2025)	\$15972.92/m²GFA	16,516,000
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FEES, FFE, IT AND OTHER CLIENT ITEMS

Building Permit, Council and sundry fees	1.00%	165,000
Design Consultants' fees	8.00%	1,321,000
Project Management fees	4.00%	661,000
FF&E including furniture, window dressings & equipment etc	2.50%	413,000
Automation, IT, AV and communications equipment	0.50%	83,000
Supply authority and headworks charges	1.00%	165,000
Disbursements		excluded
Management support costs		excluded
Decanting, relocation and temporary accommodation		excluded

TOTAL PROJECT COST (TPC) (ex GST) (Mar, 2025)	\$18688.59/m²GFA	19,324,000
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ESCALATION AND GST

Cost Escalation				
Escalation rate	3.00%	Market conditions	0.00%	
Up To	Date	Months	%/Year	Weighting
Tender	Mar, 27	24	3.50%	100%
Completion	Mar, 29	24	3.50%	70%
Goods and services tax			10.00%	

NET CONSTRUCTION COST (NCC) (Inc GST) (Mar, 2025)	\$22647.87/m²GFA	23,417,900
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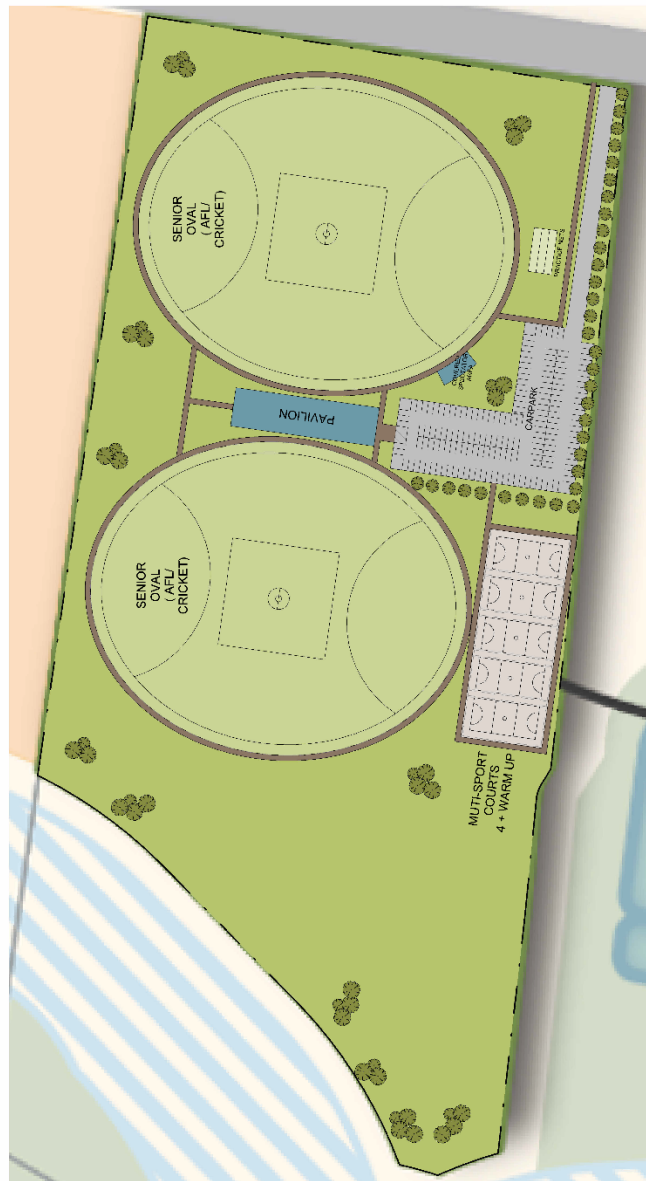
TOTAL END COST (TEC) (Mar, 2029)	1034 m²	23,417,900
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2457-1b

2.8 SR-03 Sports Reserve (10ha)

SR-63	Sports Reserve	10 ha
Pavilion	Room	Area (sqm)
	Change Rooms (8) incl amenities	580
	Uniprise Rooms (4) incl amenities	104
	Storage	60
	Office	60
	Canteen/Kitchen (incl Dry Store)	50
	Cold Store	10
	Public Toilets (4 UNISEX; 1 DDA)	20
	First Aid	15
	Bar / Survey	25
	Club Room	200
	Circulation (10%)	110
Total		1204
Reserve	Qty	Area (sqm)
	Overall (AFL / Cricket - Large)	2
	Soccer Field	0
	Netball / Tennis (multisport)	5
		8500
	Carpark	175 spaces
	Covered Spectator Area	4200
		120
	Pedestrian Path Networks / Hardstand	1500
	Internal Access Roads	1350
	Landscaping	43126
Total		98796
Total Site Area (Pavilion + Reserve)		
100000		
Ancillary Items	Qty	Type
	Cricket Pitch (turf)	2
	Practice Nets (3x lines)	1
	Goals (AFL)	4 sets
	Lighting	10
	Signage	24
	Site Boundary fencing	1400 m
	Driveway crossing	1
	Utility Service connection	1
	Drainage	1 TBC
	Interchange shelters	8
	Furniture	20
	Safety Netting	4
	Irrigation for Turf Surface	40000 m2
	Score Board	4

[illegible]

TAYLORS
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JOB NO: 25084
 DATE: 25/02/25
 DRAWN: GNO
 CHECKED: KMN

SCALE: 1 : 2000 @ A3

**COMMUNITY INFRASTRUCTURE DESIGN
BANNOCKBURN SOUTHEAST PSP**

PRELIMINARY/ SPATIAL LAYOUT
SITE PLAN -SR-03

A-203
REVISION
2



SPORTS RESERVE 3



7 March 2025

Bannockburn South East Precinct Community Infrastructure Design Bannockburn VIC

Cost Plan A - Draft
Revision B
Masterplan

BUILDING AREAS	AREA (m ²)
Fully Enclosed Covered Areas (FECA)	1204 m ²
Unenclosed Covered Areas (UCA)	m ²
Gross Floor Areas (GFA) (FECA + UCA)	1204 m ²

	Quantity	\$/m ²	Total
COST PLAN SUMMARY			
CONSTRUCTION AREA SUMMARY			
Fully Enclosed Covered Area (FECA)	1204 m²		
Change Rooms (8) including amenities	580 m ²	\$4,200/m ²	2,436,000
Umpire Rooms (8) including amenities	104 m ²	\$4,400/m ²	458,000
Storage	60 m ²	\$3,350/m ²	201,000
Office	30 m ²	\$3,750/m ²	113,000
Canteen/Kitchen (including Dry Store)	50 m ²	\$6,500/m ²	325,000
Cold Store	10 m ²	\$4,300/m ²	43,000
Public Toilets (4 unisex; 1 DDA)	20 m ²	\$6,500/m ²	130,000
First Aid	15 m ²	\$4,100/m ²	62,000
Bar/Servery	25 m ²	\$6,000/m ²	150,000
Club Room	200 m ²	\$3,750/m ²	750,000
Circulation / Ancillary Space (10%)	110 m ²	\$3,350/m ²	369,000
Unenclosed Covered Area (UCA)	m²		
Unenclosed Covered Area	m ²		0
External Areas	98796 m²		
Oval (AFL/Cricket/Soccer - Large)	40000 m ²	\$80/m ²	3,200,000
Soccer Field	m ²	\$95/m ²	0
Netball/Tennis (multisport)	8500 m ²	\$350/m ²	2,975,000
Carpark	4200 m ²	\$250/m ²	1,050,000
Covered Spectator Area	120 m ²	\$1,500/m ²	180,000
Pedestrian Path Networks/Hardstand	1500 m ²	\$110/m ²	165,000
Internal Access Roads	1350 m ²	\$180/m ²	243,000
Landscaping	43126 m ²	\$40/m ²	1,726,000
Ancillary Items			
Cricket Pitch (turf)	2 No	\$25,000	50,000
Practice Nets (3 lanes)	1 No	\$50,000	50,000
Goals (AFL)	4 No	\$15,000	60,000
Lighting	10 No	\$25,000	250,000
Signage	24 No	\$1,000	24,000
Site Boundary Fencing	1400 m	\$100	140,000
Driveway Crossing	1 No	\$10,000	10,000
Utility Service Connection	1 No	\$40,000	40,000
Drainage	1 No	\$50,000	50,000
Interchange Shelters	8 No	\$15,000	120,000
Furniture	20 No	\$5,000	100,000
Safety Netting	4 No	\$20,000	80,000
Irrigation for Turf Surface	40000 m ²	\$20	800,000
Score Board	4 No	\$20,000	80,000

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SPORTS RESERVE 3



7 March 2025

Bannockburn South East Precinct Community Infrastructure Design Bannockburn VIC

Cost Plan A - Draft
Revision B
Masterplan

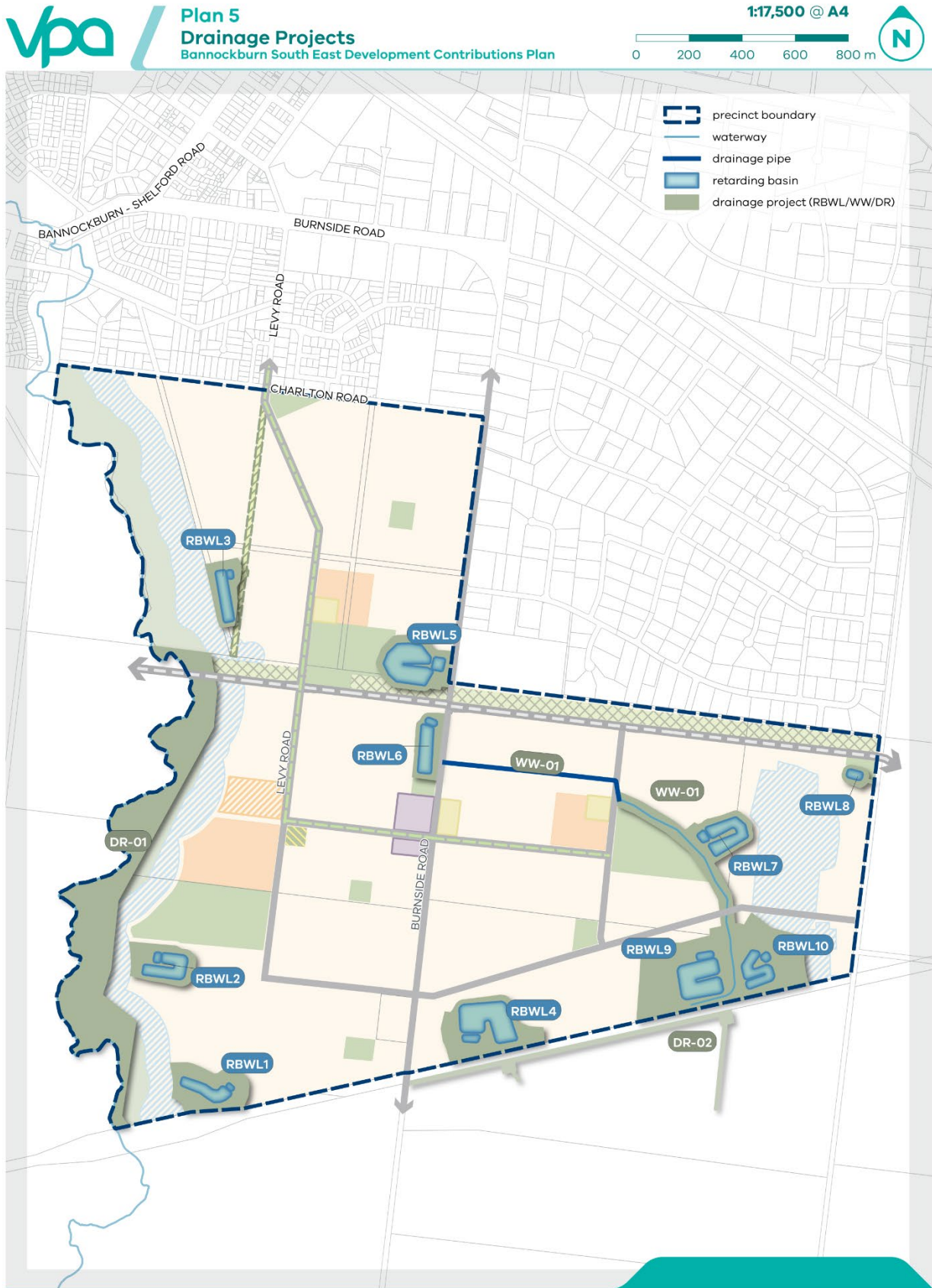
BUILDING AREAS	AREA (m ²)
Fully Enclosed Covered Areas (FECA)	1204 m ²
Unenclosed Covered Areas (UCA)	m ²
Gross Floor Areas (GFA) (FECA + UCA)	1204 m ²

	Quantity	\$/m ²	Total
COST PLAN SUMMARY			
External Works and Services			
External Works	10.00%		1,643,000
External Services	5.00%		822,000
Site and services infrastructure upgrades	2.50%		452,000
Gross Floor Area (GFA = FECA + UCA)	1204 m²		19,347,000
CONSTRUCTION COST SUMMARY			
Total Building Cost	1204 m ²	\$4184/m ²	5,037,000
External Works and Services	1204 m ²	\$11885/m ²	14,310,000
NET CONSTRUCTION COST (NCC) (ex GST) (Mar, 2025)		\$16068.94/m²GFA	19,347,000
CONTINGENCIES AND ALLOWANCES			
Environmentally sustainable design initiatives	5.00%		excluded
Locality allowance	0.50%		97,000
Additional costs for staging of the works			excluded
Additional costs for procurement method			excluded
Design contingency	10.00%		1,935,000
Construction contingency	10.00%		1,935,000
TOTAL CONSTRUCTION COST (TCC) (ex GST) (Mar, 2025)		\$19363.79/m²GFA	23,314,000
FEES, FFE, IT AND OTHER CLIENT ITEMS			
Building Permit, Council and sundry fees	1.00%		233,000
Design Consultants' fees	8.00%		1,865,000
Project Management fees	4.00%		933,000
FF&E including furniture, window dressings & equipment etc	2.50%		583,000
Automation, IT, AV and communications equipment	0.50%		117,000
Supply authority and headworks charges	1.00%		233,000
Disbursements			excluded
Management support costs			excluded
Decanting, relocation and temporary accommodation			excluded
TOTAL PROJECT COST (TPC) (ex GST) (Mar, 2025)		\$22656.15/m²GFA	27,278,000
ESCALATION AND GST			
Cost Escalation			
Escalation rate	3.00%	Market conditions	0.00%
Up To	Date	Months	%/Year
Tender	Mar, 27	24	3.50%
Completion	Mar, 29	24	3.50%
Goods and services tax			10.00%
NET CONSTRUCTION COST (NCC) (Inc GST) (Mar, 2025)		\$27456.15/m²GFA	33,057,200
TOTAL END COST (TEC) (Mar, 2029)	1204 m²		33,057,200

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Cost Plan Summary - Page 9 of 17
2457-1b

9.3 Drainage Projects



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For further details, see:

- Bannockburn South East Precinct Structure Plan – Stormwater Drainage Design Concept Design Report (Alluvium, March 2025)
-

9.3.1 Drainage costs summary and per project

Bannockburn South East PSP - CONCEPT DESIGN COSTS

Summary of asset costs

Cost estimates are associated with the concept design drawings (March 2025 report)

Item	Description	WLRB1	WLRB2	WLRB3	WLRB4	WLRB5	WLRB6	WLRB7	SBRB8	WL9&10/RB9	Waterway 1	ALL ASSETS
1	SITEWORKS AND EARTHWORKS	\$3,007,679.2	\$1,832,986.0	\$1,977,211.2	\$2,086,571.3	\$3,927,989.3	\$1,029,450.2	\$1,902,786.4	\$ 78,210.5	\$ 4,111,496.2	\$2,006,685.6	\$21,961,065.9
2	DRAINAGE	\$ 468,699.0	\$ 627,085.2	\$ 547,496.2	\$ 514,765.5	\$ 681,947.9	\$ 468,239.5	\$ 478,415.8	\$ 201,338.3	\$ 730,057.8	\$ 792,721.1	\$ 5,510,766.3
3	ROCK WORKS	\$ 39,100.0	\$ 39,100.0	\$ 39,100.0	\$ 71,100.0	\$ 16,600.0	\$ 16,600.0	\$ 16,600.0	\$ 5,100.0	\$ 86,700.0	\$ 109,080.0	\$ 439,080.0
4	CLAY LINER	\$ 173,740.2	\$ 237,208.6	\$ 177,073.2	\$ 499,808.6	\$ 480,133.8	\$ 202,646.4	\$ 278,194.4	\$ 38,036.6	\$ 649,147.2	\$ -	\$ 2,735,989.0
5	TOPSOIL	\$ 89,365.7	\$ 63,683.7	\$ 64,004.2	\$ 184,719.2	\$ 118,970.0	\$ 49,350.5	\$ 74,842.4	\$ 13,472.3	\$ 493,288.0	\$ 115,500.0	\$ 1,267,195.7
6	AQUATIC PLANTING	\$ 472,032.3	\$ 338,825.9	\$ 342,892.6	\$ 933,925.1	\$ 602,367.0	\$ 266,141.5	\$ 395,129.8	\$ 72,902.2	\$ 2,529,854.0	\$ 384,430.0	\$ 6,338,500.1
7	PUMPING	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
8	LANDSCAPE	\$ 231,298.2	\$ 194,699.8	\$ 209,559.7	\$ 251,872.8	\$ 258,668.6	\$ 199,507.4	\$ 208,475.2	\$ 87,354.2	\$ 396,902.6	\$ 116,062.5	\$ 2,154,401.0
9	MISCELLANEOUS	\$ 70,900.0	\$ 70,900.0	\$ 70,900.0	\$ 70,900.0	\$ 70,900.0	\$ 70,900.0	\$ 70,900.0	\$ 60,900.0	\$ 141,800.0	\$ 64,800.0	\$ 763,800.0
10	OTHER	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
	SUB-TOTAL WORKS	\$4,552,814.5	\$3,404,489.2	\$3,428,237.0	\$4,613,662.4	\$6,157,576.5	\$2,302,835.5	\$3,425,343.9	\$ 557,314.0	\$ 9,139,245.8	\$3,589,279.2	\$41,170,798.0
11	DELIVERY (inc. 35% contingency)	\$2,788,598.9	\$2,085,249.6	\$2,099,795.2	\$2,825,868.2	\$3,771,515.6	\$1,410,486.7	\$2,098,023.1	\$ 557,314.0	\$ 5,597,788.1	\$2,198,433.5	\$25,433,073.0
12	TOTAL ESTIMATED COST	\$ 7,341,413	\$ 5,489,739	\$ 5,528,032	\$ 7,439,531	\$ 9,929,092	\$ 3,713,322	\$ 5,523,367	\$ 898,669	\$ 14,737,034	\$ 5,787,713	\$66,387,911.8
	Catchment area (ha)	20.96	43.01	23.87	78.96	87.80	26.45	48.06	12.09	105.08		
	\$/catchment ha	\$ 350,258.27	\$ 127,638.66	\$ 231,589.12	\$ 94,218.98	\$ 113,087.61	\$ 140,390.25	\$ 114,926.49	\$ 74,331.58	\$ 140,245.85		
										Ultimately this asset receives flow from a much larger catchment		

Much higher costs due to steeper topography

9.3.2 WLRB1

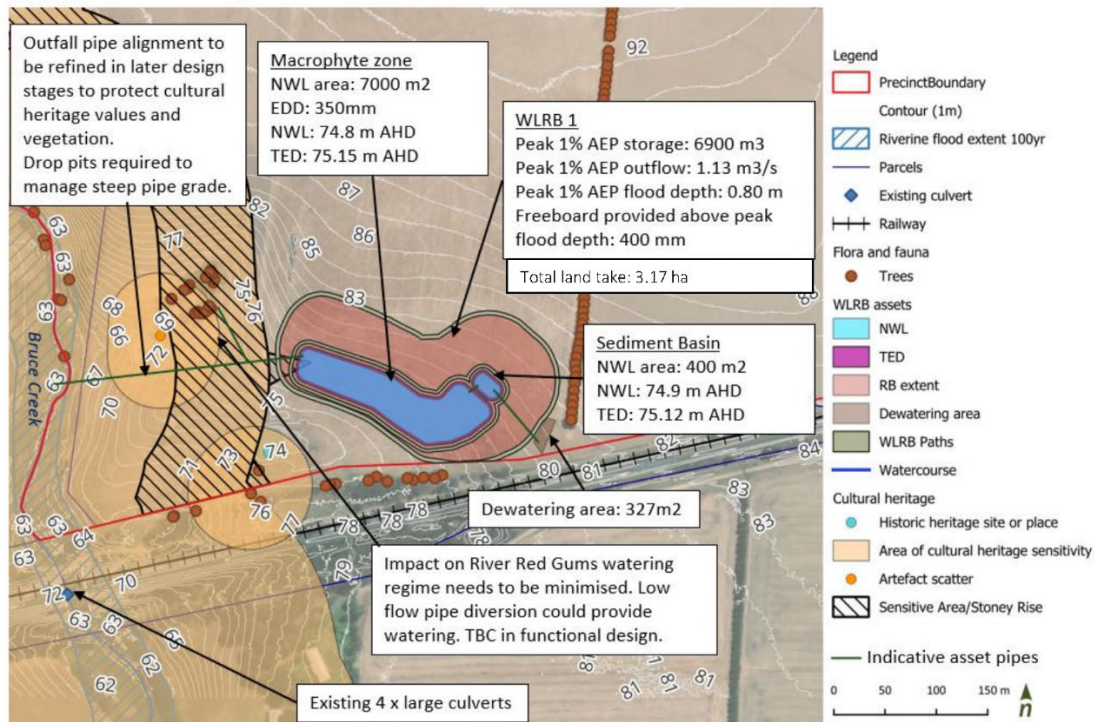


Figure 30. WLRB 1 Concept Design

Wetland RB 1 - Cost Estimate

Item	Description	Quantity	Unit	Rate \$	Amount \$	Comments
WORKS						
1	SITEWORKS AND EARTHWORKS				\$ 3,007,679.17	
1.1	Site preparation	1	Item	\$ 10,000.00	\$ 10,000.00	
1.2	Stripping of topsoil and stockpiling	28525	m2	\$ 1.30	\$ 37,082.50	Assumed average depth of 200mm
1.3	Excavation: Bulk excavation of soil to specified levels including cut, haulage, stockpiling.	86567	m3	\$ 34.20	\$ 2,960,596.67	Excavated material assumed to be disposed of off-site. Includes over-excavation to allow for clay liner in wetland and sediment basin (topsoil layer already removed). Considerable excavation due to location in hill.
2	DRAINAGE				\$ 468,699.00	
2.1	BOX CULVERTS					
2.1.1	Box culvert units (Description)		No.	\$ -	\$ -	
2.1.2	Link slabs		No.	\$ -	\$ -	
2.1.3	Foundation slab		m2	\$ -	\$ -	
2.1.4	Other (Description)		Item	\$ -	\$ -	
2.2	DRAINAGE PIPES					
2.2.1	Drainage - pipes: Supply and install catchment stormwater main incl. excavation, crushed rock bedding and back fill.	475	LM	\$ 451.00	\$ 214,225.00	Stormwater main within the catchments and coming into RB. Note this has not been designed throughout the catchment yet. A nominal average pipe size of 800mm diam. has been adopted at this stage.
2.2.2	Drainage - pits: Allowance to supply and install concrete headwall to suit pipe into sediment basin	1	No.	\$ 4,500.00	\$ 4,500.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.3	Drainage - pits: Allowance to supply and install sediment basin to wetland transfer pit including step irons and pipe grill lid arrangement	1	No.	\$ 7,500.00	\$ 7,500.00	Pit not sized at at concept level. Nominal pit allowed for.
2.2.4	Drainage - pipes: Supply and install RC transfer pipe (SB to VML inlet pool) incl excavation, crushed rock bedding and back fill	13	LM	\$ 450.00	\$ 5,850.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.5	Drainage - pits: Supply and install concrete headwall to suit Inlet pipe from sediment pond	1	No.	\$ 3,500.00	\$ 3,500.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.6	Drainage - pipes: Supply and install 300mm dia RC balance pipes incl excavation, crushed rock bedding and back fill	125	LM	\$ 237.00	\$ 29,625.00	
2.2.7	Drainage - pits: Supply and install submerged offtake pits (600mm x 600mm x 600mm) for balance pipes	2	No.	\$ 3,000.00	\$ 6,000.00	
2.2.8	Drainage - pits: Supply and install submerged offtake pit (900mm x 900mm x 900mm) for wetland outlet	1	No.	\$ 5,000.00	\$ 5,000.00	
2.2.9	Drainage - pipes: Supply and install 525mm diam RC pipe (submerged offtake to EDD control pit) incl excavation, crushed rock bedding and back fill	10	LM	\$ 400.00	\$ 4,000.00	
2.2.10	Drainage - pits: Supply and install twin chamber EDD control outlet pit/retarding basin outlet with side-winder penstock, step irons and pipe grill lid	1	No.	\$ 15,000.00	\$ 15,000.00	
2.2.11	Drainage - pipes: Supply and install 525 mm dia pipe (from wetland control structure pit to RB outlet pit) incl excavation, crushed rock bedding and back fill	7.5	LM	\$ 400.00	\$ 3,000.00	
2.2.12	Drainage - pits: Supply and install RB outfall pit	1	No.	\$ 10,000.00	\$ 10,000.00	
2.2.13	Drainage - pipes: Supply and install retarding basin outfall pipe incl excavation, crushed rock bedding and back fill	225	LM	\$ 450.00	\$ 101,250.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.14	Drainage - pits: Allowance for drop pits for RB outfall pipeline	3	No.	\$ 10,000.00	\$ 30,000.00	
2.2.15	Drainage - pits: Supply and install concrete headwall to suit RB outfall pipe	1	No.	\$ 3,000.00	\$ 3,000.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.16	Drainage - pits: Supply and install water level gauge wetland outlet submerged pit	1	No.	\$ 1,000.00	\$ 1,000.00	
2.2.17	Drainage - pits: Allowance for pits located every 80m along stormwater main	6	No.	\$ 2,400.00	\$ 14,250.00	
2.3	CONCRETE WORKS					
2.3.1	Supply and install reinforced N32 grade concrete, 150 mm deep, extending 300mm vertically up batter, to form sediment basin base	22	m3	\$ 350.00	\$ 7,749.00	
2.3.2	Concrete weir/sill: Allowance to supply and install reinforced N32 grade concrete to form sediment basin to wetland spillway weir/sill to Melbourne Water standard specification 7251/8/108	1	Item	\$ 3,250.00	\$ 3,250.00	
3	ROCK WORKS				\$ 39,100.00	
3.1	Sediment Pond: Supply and install 4m wide sediment basin maintenance access ramp, including sub base preparation. 200mm depth - bottom layer is 100mm depth of 0-100mm FCR, top layer is 100mm of 0-40 NDCR (6% cement stabilised below NML).	8	m3	\$ 200.00	\$ 1,600.00	
3.2	Allowance for supply and install well graded D50=400mm rock to form sediment basin to wetland spillway	1	Unit	\$ 10,000.00	\$ 10,000.00	
3.3	Geofabric: Allowance for supply and install geofabric (Bidim A44 or equivalent) for all rockwork	1	Unit	\$ 3,000.00	\$ 3,000.00	4m wide roll, include allowance for overlap
3.4	Supply and install rockwork to RB outfall	1	Item	\$ 1,500.00	\$ 1,500.00	
3.5	Supply and installation of rockwork at sediment basin and wetland inlet pipes	2	Item	\$ 1,500.00	\$ 3,000.00	
3.6	Allowance for supply and install rockwork for RB high flow spillway (above 1% AEP peak flow)	1	Unit	\$ 20,000.00	\$ 20,000.00	
4	CLAY LINER				\$ 173,740.20	
4.1	Sediment Basin: Placement of 300 mm compacted clay liners for sediment basin (allow to source off site)	585	m2	\$ 20.20	\$ 11,817.00	Up to TED
4.2	Wetland: Placement of 300 mm compacted clay liners for wetland (allow to source off site)	8,016	m2	\$ 20.20	\$ 161,923.20	Up to TED
5	TOPSOIL				\$ 89,365.65	
5.1	Sediment basin: Re spread 200 mm topsoil for planting areas	380	m2	\$ 3.30	\$ 1,254.00	Assumed site topsoil is used, with 20% allowance for imported topsoil
5.2	Wetland: Re spread 200 mm topsoil for planting areas	7,311	m2	\$ 3.30	\$ 24,124.65	Assumed site topsoil is used, with 20% allowance for imported topsoil. Includes ephemeral area for wetland/SB as these are connected
5.3	Retarding basin: Re spread 200 mm topsoil for planting areas	19,390	m2	\$ 3.30	\$ 63,987.00	Assumed site topsoil is used, with 20% allowance for imported topsoil. Internal path area removed from total area
6	AQUATIC PLANTING				\$ 472,032.25	
6.1	Supply and install aquatic plants	7,691	m2	\$ 14.50	\$ 111,512.25	For both sediment basin and wetland
6.2	Supply and install terrestrial planting	19,390	m2	\$ 16.80	\$ 325,752.00	RB planting (above path in RB)
6.3	VML/SB: Supply and install heavy jute mat (800gsm) pre-slit at density 6/m2 in wetland and sediment basin, including overlap of matting (300mm longitudinally/direction of flow), 150mm vertically	1,477	m2	\$ 10.00	\$ 14,768.00	NML to TED area for wetland and SB. Allowance for overlap.
6.4	Supply, install and maintain plant protection netting for a selected species in the aquatic zones.	1	No.	\$ 20,000.00	\$ 20,000.00	
7	PUMPING				\$ -	
7.1	Supply and installation of rising main		LM	\$ 200.00	\$ -	
7.2	Supply and installation of pumping station		Item	\$ 170,000.00	\$ -	

7.3	Provision of electricity supply to pump station switchboard from nominated point of supply, supply and installation of electrical switchboard, connection of power and associated fees.		Item	\$ 2,500.00	\$ -	
8	LANDSCAPE				\$ 231,298.20	
8.1	Landscaping: Supply and install 4m wide RB perimeter concrete access path	2880	m2	\$ 61.90	\$ 178,272.00	
8.2	Landscaping: Supply and install 3m wide wetland/SB perimeter gravel access path within RB (thickness 150mm)	1602	m2	\$ 33.10	\$ 53,026.20	
9	MISCELLANEOUS				\$ 70,900.00	
9.1	Civil Works Defects Maintenance incl pits, pipes and rockwork – 1 year	12	Month	\$ 2,500.00	\$ 30,000.00	
9.2	3 months Plant Establishment maintenance period of all soft landscape works including watering of plants and trees during establishment, weed control of all planted areas.	3	Month	\$ 2,000.00	\$ 6,000.00	
9.3	24 month Plant Maintenance period of all soft landscape works including watering of plants and trees during establishment, weed control of all planted areas as per specification.	24	Month	\$ 750.00	\$ 18,000.00	
9.4	Allowance for timber bollards	2	No	\$ 200.00	\$ 400.00	
9.5	Allowance for seats	2	No	\$ 2,500.00	\$ 5,000.00	
9.6	WL/SB: Install habitat logs approx. 4.0m long (no securing required) to wetland area.	2	No.	\$ 5,000.00	\$ 10,000.00	
9.7	Fencing: Supply and install timber post and rail fencing around sediment basin pipe inlet headwall	1	No.	\$ 1,500.00	\$ 1,500.00	
10	OTHER				\$ -	
10.1			Item		\$ -	
	SUB-TOTAL WORKS				\$ 4,562,814.47	
11	DELIVERY					
11.1	Council Fees	3.25	%		\$ 147,966.47	
11.2	VicRoads Fees	1	%		\$ 45,528.14	
11.3	Traffic Management	5	%		\$ 227,640.72	
11.4	Environmental Management	0.5	%		\$ 22,764.07	
11.5	Survey/Design	5	%		\$ 227,640.72	
11.6	Supervision & Project Management	9	%		\$ 409,753.30	
11.7	Site Establishment	2.5	%		\$ 113,820.36	
11.8	Contingency	35	%		\$ 1,593,485.06	
	SUB-TOTAL DELIVERY				\$ 2,788,598.86	
12	TOTAL ESTIMATED COST				\$ 7,341,413.33	

9.3.3 WLRB2

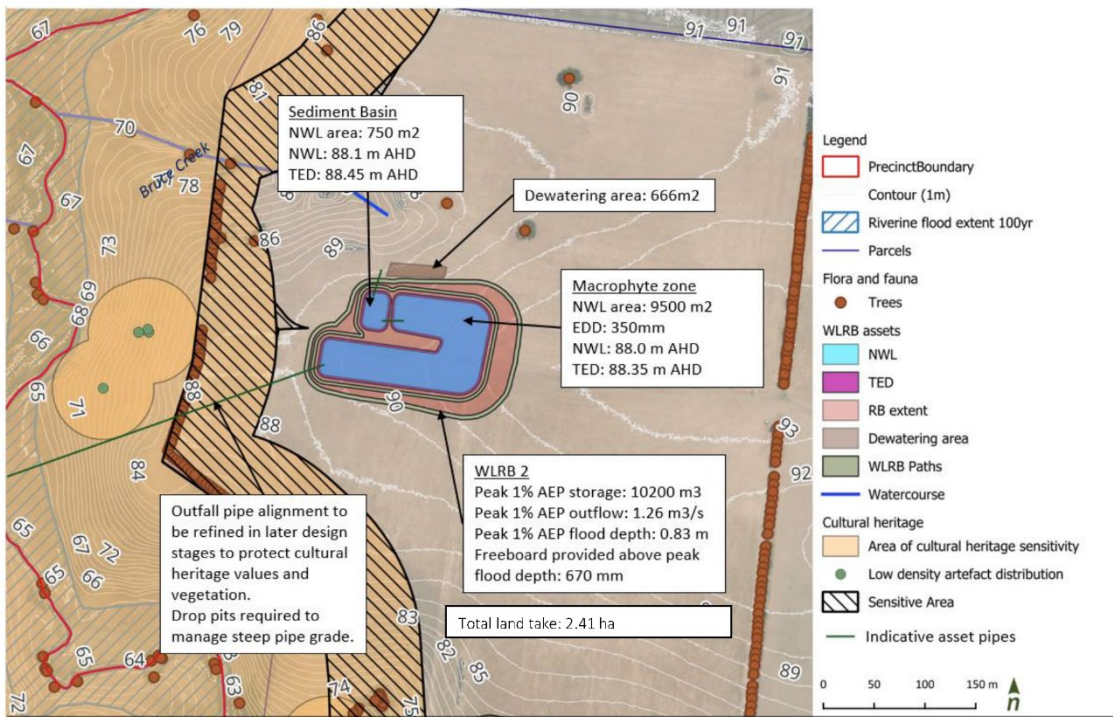


Figure 31. WLRB 2 Concept Design

Wetland RB 2 - Cost Estimate

Item	Description	Quantity	Unit	Rate \$	Amount \$	Comments
WORKS						
1	SITEWORKS AND EARTHWORKS				\$ 1,832,985.98	
1.1	Site preparation	1	Item	\$ 10,000.00	\$ 10,000.00	
1.2	Stripping of topsoil and stockpiling	21163	m2	\$ 1.30	\$ 27,511.90	Assumed average depth of 200mm
1.3	Excavation: Bulk excavation of soil to specified levels including cut, haulage, stockpiling.	52499	m3	\$ 34.20	\$ 1,795,474.08	Excavated material assumed to be disposed of off-site. Includes over-excavation to allow for clay liner in wetland and sediment basin (topsoil layer already removed).
2	DRAINAGE				\$ 627,085.20	
2.1	BOX CULVERTS					
2.1.1	Box culvert units (Description)		No.	\$ -	\$ -	
2.1.2	Link slabs		No.	\$ -	\$ -	
2.1.3	Foundation slab		m2	\$ -	\$ -	
2.1.4	Other (Description)		Item	\$ -	\$ -	
2.2	DRAINAGE PIPES					
2.2.1	Drainage - pipes: Supply and install catchment stormwater main incl. excavation, crushed rock bedding and back fill.	715	LM	\$ 451.00	\$ 322,465.00	Stormwater main within the catchments and coming into RB. Note this has not been designed throughout the catchment yet. A nominal average pipe size of 900mm diam. has been adopted at this stage.
2.2.2	Drainage - pits: Allowance to supply and install concrete headwall to suit pipe into sediment basin	1	No.	\$ 4,500.00	\$ 4,500.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.3	Drainage - pits: Allowance to supply and install sediment basin to wetland transfer pit including step irons and pipe grill lid arrangement	1	No.	\$ 7,500.00	\$ 7,500.00	Pit not sized at at concept level. Nominal pit allowed for.
2.2.4	Drainage - pipes: Supply and install RC transfer pipe (SB to WL inlet pool) incl excavation, crushed rock bedding and back fill	13	LM	\$ 450.00	\$ 5,850.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.5	Drainage - pits: Supply and install concrete headwall to suit Inlet pipe from sediment pond	1	No.	\$ 3,500.00	\$ 3,500.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.6	Drainage - pipes: Supply and install 300mm dia RC balance pipes incl excavation, crushed rock bedding and back fill	68	LM	\$ 237.00	\$ 16,116.00	
2.2.7	Drainage - pits: Supply and install submerged offtake pits (600mm x 600mm x 600mm) for balance pipes	2	No.	\$ 3,000.00	\$ 6,000.00	
2.2.8	Drainage - pits: Supply and install submerged offtake pit (900mm x 900mm x 900mm) for wetland outlet	1	No.	\$ 5,000.00	\$ 5,000.00	
2.2.9	Drainage - pipes: Supply and install 525mm diam RC pipe (submerged offtake to EDD control pit) incl excavation, crushed rock bedding and back fill	10	LM	\$ 400.00	\$ 4,000.00	
2.2.10	Drainage - pits: Supply and install twin chamber EDD control outlet pit/retarding basin outlet with side-winder penstock, step irons and pipe grill lid	1	No.	\$ 15,000.00	\$ 15,000.00	
2.2.11	Drainage - pipes: Supply and install 525mm dia pipe (from wetland control structure pit to RB outlet pit) incl excavation, crushed rock bedding and back fill	7.5	LM	\$ 400.00	\$ 3,000.00	
2.2.12	Drainage - pits: Supply and install RB outfall pit	1	No.	\$ 10,000.00	\$ 10,000.00	
2.2.13	Drainage - pipes: Supply and install retarding basin outfall pipe incl excavation, crushed rock bedding and back fill	335	LM	\$ 450.00	\$ 150,750.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.14	Drainage - pits: Allowance for drop pits for RB outfall pipeline	3	No.	\$ 10,000.00	\$ 30,000.00	
2.2.15	Drainage - pits: Supply and install concrete headwall to suit RB outfall pipe	1	No.	\$ 3,000.00	\$ 3,000.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.16	Drainage - pits: Supply and install water level gauge wetland outlet submerged pit	1	No.	\$ 1,000.00	\$ 1,000.00	
2.2.17	Drainage - pits: Allowance for pits located every 80m along stormwater main	9	No.	\$ 2,400.00	\$ 21,450.00	
2.3	CONCRETE WORKS					
2.3.1	Supply and install reinforced N32 grade concrete, 150 mm deep, extending 300mm vertically up batter, to form sediment basin base	42	m3	\$ 350.00	\$ 14,704.20	
2.3.2	Concrete weir/sill: Allowance to supply and install reinforced N32 grade concrete to form sediment basin to wetland spillway weir/sill to Melbourne Water standard specification 7251/8/10B	1	Item	\$ 3,250.00	\$ 3,250.00	
3	ROCK WORKS				\$ 39,100.00	
3.1	Sediment Pond: Supply and install 4m wide sediment basin maintenance access ramp, including sub base preparation. 200mm depth - bottom layer is 100mm dept of 0-100mm FCR, top layer is 100mm of 0-40 NDCR (6% cement stabilised below NWL).	8	m3	\$ 200.00	\$ 1,600.00	
3.2	Allowance for supply and install well graded D50=400mm rock to form sediment basin to wetland spillway	1	Unit	\$ 10,000.00	\$ 10,000.00	
3.3	Geofabric: Allowance for supply and install geofabric (Bidim A44 or equivalent) for all rockwork	1	Unit	\$ 3,000.00	\$ 3,000.00	4m wide roll, includes allowance for overlap
3.4	Supply and install rockwork to RB outfall	1	Item	\$ 1,500.00	\$ 1,500.00	
3.5	Supply and installation of rockwork at sediment basin and wetland inlet pipes	2	Item	\$ 1,500.00	\$ 3,000.00	
3.6	Allowance for supply and install rockwork for RB high flow spillway (above 1% AEF peak flow)	1	Unit	\$ 20,000.00	\$ 20,000.00	
4	CLAY LINER				\$ 237,208.60	
4.1	Sediment Basin: Placement of 300 mm compacted clay liners for sediment basin (allow to source off site)	1,012	m2	\$ 20.20	\$ 20,442.40	Up to TED
4.2	Wetland: Placement of 300 mm compacted clay liners for wetland (allow to source off site)	10,731	m2	\$ 20.20	\$ 216,766.20	Up to TED
5	TOPSOIL				\$ 63,683.73	
5.1	Sediment basin: Re spread 200 mm topsoil for planting areas	623	m2	\$ 3.30	\$ 2,055.90	Assumed site topsoil is used, with 20% allowance for imported topsoil
5.2	Wetland: Re spread 200 mm topsoil for planting areas	9,777	m2	\$ 3.30	\$ 32,264.43	Assumed site topsoil is used, with 20% allowance for imported topsoil. Includes ephemeral area for wetland/SB as these are connected
5.3	Retarding basin: Re spread 200 mm topsoil for planting areas	8,898	m2	\$ 3.30	\$ 29,363.40	Assumed site topsoil is used, with 20% allowance for imported topsoil. Internal path area removed from total area
6	AQUATIC PLANTING				\$ 338,825.85	
6.1	Supply and install aquatic plants	10,400	m2	\$ 14.50	\$ 150,801.45	For both sediment basin and wetland
6.2	Supply and install terrestrial planting	8,898	m2	\$ 16.80	\$ 149,486.40	RB planting (above path in RB)
6.3	WL/SB: Supply and install heavy jute mat (800gsm) pre-slit at density 6/m2 in wetland and sediment basin, including overlap of matting (300mm longitudinally/direction of flow), 150mm vertically	1,854	m2	\$ 10.00	\$ 18,538.00	NWL to TED area for wetland and SB. Allowance for overlap.
6.4	Supply, install and maintain plant protection netting for a selected species in the aquatic zones.	1	No.	\$ 20,000.00	\$ 20,000.00	
7	PUMPING				\$ -	
7.1	Supply and installation of rising main		LM	\$ 200.00	\$ -	
7.2	Supply and installation of pumping station		Item	\$ 170,000.00	\$ -	
7.3	Provision of electricity supply to pump station switchboard from nominated point of supply, supply and installation of electrical switchboard, connection of power and associated fees		Item	\$ 2,500.00	\$ -	
8	LANDSCAPE				\$ 194,699.80	
8.1	Landscaping: Supply and install 4m wide RB perimeter concrete access path	2308	m2	\$ 61.90	\$ 142,865.20	
8.2	Landscaping: Supply and install 3m wide wetland/SB perimeter gravel access path within RB (thickness 150mm)	1566	m2	\$ 33.10	\$ 51,834.60	
9	MISCELLANEOUS				\$ 70,900.00	
9.1	Civil Works Defects Maintenance incl pits, pipes and rockwork - 1 year	12	Month	\$ 2,500.00	\$ 30,000.00	

9.2	3 months Plant Establishment maintenance period of all soft landscape works including watering of plants and trees during establishment, weed control of all planted areas.	3	Month	\$ 2,000.00	\$ 6,000.00	
9.3	24 month Plant Maintenance period of all soft landscape works including watering of plants and trees during establishment, weed control of all planted areas as per specification.	24	Month	\$ 750.00	\$ 18,000.00	
9.4	Allowance for timber bollards	2	No	\$ 200.00	\$ 400.00	
9.5	Allowance for seats	2	No	\$ 2,500.00	\$ 5,000.00	
9.6	WL/SB: Install habitat logs approx. 4.0m long (no securing required) to wetland area.	2	No.	\$ 5,000.00	\$ 10,000.00	
9.7	Fencing: Supply and install timber post and rail fencing around sediment basin pipe inlet headwall	1	No.	\$ 1,500.00	\$ 1,500.00	
10	OTHER				\$ -	
10.1			Item		\$ -	
SUB-TOTAL WORKS					\$ 3,404,489.16	
11	DELIVERY					
11.1	Council Fees	3.25	%		\$ 110,645.90	
11.2	VicRoads Fees	1	%		\$ 34,044.89	
11.3	Traffic Management	5	%		\$ 170,224.46	
11.4	Environmental Management	0.5	%		\$ 17,022.45	
11.5	Survey/Design	5	%		\$ 170,224.46	
11.6	Supervision & Project Management	9	%		\$ 306,404.02	
11.7	Site Establishment	2.5	%		\$ 85,112.23	
11.8	Contingency	35	%		\$ 1,191,571.20	
SUB-TOTAL DELIVERY					\$ 2,085,249.61	
12	TOTAL ESTIMATED COST				\$ 5,489,738.76	

PUBLIC CONSULTATION DRAFT

9.3.4 WLRB3

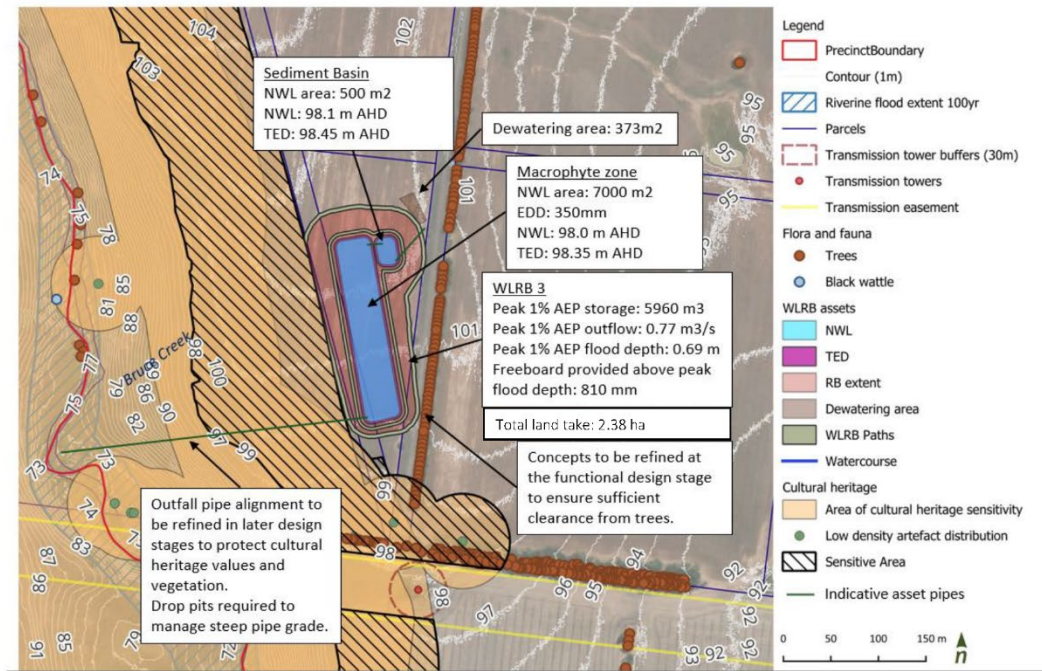


Figure 32. WLRB 3 Concept Design

Wetland RB 3 - Cost Estimate

Item	Description	Quantity	Unit	Rate \$	Amount \$	Comments
WORKS						
1	SITEWORKS AND EARTHWORKS				\$ 1,977,211.18	
1.1	Site preparation	1	Item	\$ 10,000.00	\$ 10,000.00	
1.2	Stripping of topsoil and stockpiling	20917	m2	\$ 1.30	\$ 27,192.10	Assumed average depth of 200mm
1.3	Excavation: Bulk excavation of soil to specified levels including cut, haulage, stockpiling	56726	m3	\$ 34.20	\$ 1,940,019.08	Excavated material assumed to be disposed of off-site. Includes over-excavation to allow for clay liner in wetland and sediment basin (topsoil layer already removed).
2	DRAINAGE				\$ 547,496.20	
2.1	BOX CULVERTS					
2.1.1	Box culvert units (Description)		No.	\$ -	\$ -	
2.1.2	Link slabs		No.	\$ -	\$ -	
2.1.3	Foundation slab		m2	\$ -	\$ -	
2.1.4	Other (Description)		Item	\$ -	\$ -	
2.2	DRAINAGE PIPES					
2.2.1	Drainage - pipes: Supply and install catchment stormwater main incl. excavation, crushed rock bedding and back fill	575	LM	\$ 451.00	\$ 259,325.00	Stormwater main within the catchments and coming into RB. Note this has not been designed throughout the catchment yet. A nominal average pipe size of 900mm diam. has been adopted at this stage.
2.2.2	Drainage - pits: Allowance to supply and install concrete headwall to suit pipe into sediment basin	1	No.	\$ 4,500.00	\$ 4,500.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.3	Drainage - pits: Allowance to supply and install sediment basin to wetland and transfer pit including step irons and pipe grill lid arrangement	1	No.	\$ 7,500.00	\$ 7,500.00	Pit not sized at concept level. Nominal pit allowed for.
2.2.4	Drainage - pipes: Supply and install RC transfer pipe (SB to VML inlet pool) incl excavation, crushed rock bedding and back fill	10	LM	\$ 450.00	\$ 4,500.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.5	Drainage - pits: Supply and install concrete headwall to suit inlet pipe from sediment pond	1	No.	\$ 3,500.00	\$ 3,500.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.6	Drainage - pipes: Supply and install 300mm dia RC balance pipes incl excavation, crushed rock bedding and back fill	125	LM	\$ 237.00	\$ 29,625.00	
2.2.7	Drainage - pits: Supply and install submerged offtake pits (600mm x 600mm x 600mm) for balance pipes	2	No.	\$ 3,000.00	\$ 6,000.00	
2.2.8	Drainage - pits: Supply and install submerged offtake pit (900mm x 900mm x 900mm) for wetland outlet	1	No.	\$ 5,000.00	\$ 5,000.00	
2.2.9	Drainage - pipes: Supply and install 525mm diam RC pipe (submerged offtake to EDD control pit) incl excavation, crushed rock bedding and back fill	10	LM	\$ 400.00	\$ 4,000.00	
2.2.10	Drainage - pits: Supply and install twin chamber EDD control outlet pit/retarding basin outlet with side-winder penstock, step irons and pipe grill lid	1	No.	\$ 15,000.00	\$ 15,000.00	
2.2.11	Drainage - pipes: Supply and install 525 mm dia pipe (from wetland control structure pit to RB outlet pit) incl excavation, crushed rock bedding and back fill	7.5	LM	\$ 400.00	\$ 3,000.00	
2.2.12	Drainage - pits: Supply and install RB outfall pit	1	No.	\$ 10,000.00	\$ 10,000.00	
2.2.13	Drainage - pipes: Supply and install retarding basin outfall pipe incl excavation, crushed rock bedding and back fill	290	LM	\$ 450.00	\$ 130,500.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.14	Drainage - pits: Allowance for drop pits for RB outfall pipeline	3	No.	\$ 10,000.00	\$ 30,000.00	
2.2.15	Drainage - pits: Supply and install concrete headwall to suit RB outfall pipe	1	No.	\$ 3,000.00	\$ 3,000.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.16	Drainage - pits: Supply and install water level gauge wetland outlet submerged pit	1	No.	\$ 1,000.00	\$ 1,000.00	
2.2.17	Drainage - pits: Allowance for pits located every 80m along stormwater main	7	No.	\$ 2,400.00	\$ 17,250.00	
2.3	CONCRETE WORKS					
2.3.1	Supply and install reinforced N32 grade concrete, 150 mm deep, extending 300mm vertically up batter, to form sediment basin base	30	m3	\$ 350.00	\$ 10,548.20	
2.3.2	Concrete wall: Allowance to supply and install reinforced N32 grade concrete to form sediment basin to wetland spillway weir/rail to Melbourne Water standard specification 7251/81/08	1	Item	\$ 3,250.00	\$ 3,250.00	
3	ROCK WORKS				\$ 39,100.00	
3.1	Sediment Pond: Supply and install 4m wide sediment basin maintenance access ramp, including sub base preparation, 200mm depth - bottom layer is 100mm depth of 0-100mm FCR, top layer is 100mm of 0-40 NDCR (6% cement stabilised below NWL)	8	m3	\$ 200.00	\$ 1,600.00	
3.2	Allowance for supply and install well graded D50+400mm rock to form sediment basin to wetland spillway	1	Unit	\$ 10,000.00	\$ 10,000.00	
3.3	Geotextile: Allowance for supply and install geotextile (Bidim A44 or equivalent) for all rockwork	1	Unit	\$ 3,000.00	\$ 3,000.00	4m wide roll, includes allowance for overlap
3.4	Supply and install rockwork to RB outfall	1	Item	\$ 1,500.00	\$ 1,500.00	
3.5	Supply and installation of rockwork at sediment basin and wetland inlet pipes	2	Item	\$ 1,500.00	\$ 3,000.00	
3.6	Allowance for supply and install rockwork for RB high flow spillway (above 1% AEP peak flow)	1	Unit	\$ 20,000.00	\$ 20,000.00	
4	CLAY LINER				\$ 177,073.20	
4.1	Sediment Basin: Placement of 300 mm compacted clay liners for sediment basin (allow to source off site)	756	m2	\$ 20.20	\$ 15,271.20	Up to TED
4.2	Wetland: Placement of 300 mm compacted clay liners for wetland (allow to source off site)	8,010	m2	\$ 20.20	\$ 161,802.00	Up to TED
5	TOPSOIL				\$ 64,004.16	
5.1	Sediment basin: Re spread 200 mm topsoil for planting areas	477	m2	\$ 3.30	\$ 1,574.10	Assumed site topsoil is used, with 20% allowance for imported topsoil
5.2	Wetland: Re spread 200 mm topsoil for planting areas	7,304	m2	\$ 3.30	\$ 24,103.86	Assumed site topsoil is used, with 20% allowance for imported topsoil. Includes ephemeral area for wetland/SB as these are connected
5.3	Retarding basin: Re spread 200 mm topsoil for planting areas	11,614	m2	\$ 3.30	\$ 38,326.20	Assumed site topsoil is used, with 20% allowance for imported topsoil. Internal path area removed from total area
6	AQUATIC PLANTING				\$ 342,892.60	
6.1	Supply and install aquatic plants	7,781	m2	\$ 14.50	\$ 112,827.40	For both sediment basin and wetland
6.2	Supply and install terrestrial planting	11,614	m2	\$ 16.80	\$ 195,115.20	RB planting (above path in RB)
6.3	NWL/SB: Supply and install heavy jute mat (800gsm) pre-aired at density 6m2 in wetland and sediment basin, including overlap of matting (300mm longitudinal/direction of flow, 150mm vertically)	1,495	m2	\$ 10.00	\$ 14,950.00	NWL to TED area for wetland and SB. Allowance for overlap.
6.4	Supply, install and maintain plant protection netting for a selected species in the aquatic zones.	1	No.	\$ 20,000.00	\$ 20,000.00	
7	PUMPING				\$ -	
7.1	Supply and installation of rising main		LM	\$ 200.00	\$ -	
7.2	Supply and installation of pumping station		Item	\$170,000.00	\$ -	
7.3	Provision of electricity supply to pump station switchboard from nominated point of supply, supply and installation of electrical switchboard, connection of power and associated fees		Item	\$ 2,500.00	\$ -	
8	LANDSCAPE				\$ 209,559.70	
8.1	Landscaping: Supply and install 4m wide RB perimeter concrete access path	2524	m2	\$ 61.90	\$ 156,235.60	
8.2	Landscaping: Supply and install 3m wide wetland/SB perimeter gravel access path (within RB (thickness 150mm))	1611	m2	\$ 33.10	\$ 53,324.10	
9	MISCELLANEOUS				\$ 70,900.00	
9.1	Crat Work's Defects Maintenance incl. pits, pipes and rockwork - 1 year	12	Month	\$ 2,500.00	\$ 30,000.00	
9.2	3 months Plant Establishment maintenance period of all soft landscape works including weeding of plants and trees during establishment, weed control of all planted areas.	3	Month	\$ 2,000.00	\$ 6,000.00	
9.3	24 month Plant Maintenance period of all soft landscape works including weeding of plants and trees during establishment, weed control of all planted areas as per agreed location.	24	Month	\$ 750.00	\$ 18,000.00	
9.4	Allowance for timber bollards	2	No.	\$ 200.00	\$ 400.00	
9.5	Allowance for seats	2	No.	\$ 2,500.00	\$ 5,000.00	
9.6	NWL/SB: Install habitat logs approx. 4.0m long (no securing required) to wetland area.	2	No.	\$ 5,000.00	\$ 10,000.00	
9.7	Fencing: Supply and install timber post and rail fencing around sediment basin pipe inlet headwall	1	No.	\$ 1,500.00	\$ 1,500.00	
10	OTHER				\$ -	
10.1			Item		\$ -	
SUB-TOTAL WORKS					\$ 3,428,237.04	
11	DELIVERY					
11.1	Council Fees	3.25	%		\$ 111,417.70	
11.2	McRoads Fees	1	%		\$ 34,282.37	
11.3	Traffic Management	5	%		\$ 171,411.85	
11.4	Environmental Management	0.5	%		\$ 17,141.19	
11.5	Survey/Design	5	%		\$ 171,411.85	
11.6	Supervision & Project Management	9	%		\$ 308,541.33	
11.7	Site Establishment	2.5	%		\$ 85,705.93	
11.8	Contingency	35	%		\$ 1,199,882.96	
SUB-TOTAL DELIVERY					\$ 2,099,795.19	
12	TOTAL ESTIMATED COST				\$ 5,528,032.22	

9.3.5 WLRB4

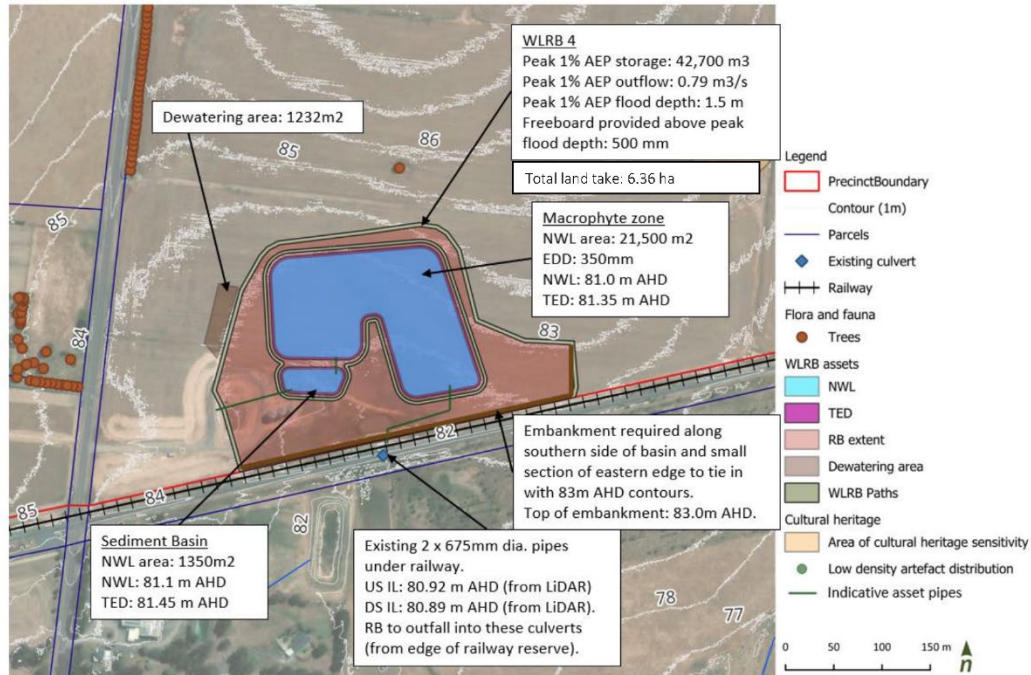


Figure 33. WLRB 4 Concept Design

Wetland RB 4 - Cost Estimate

Item	Description	Quantity	Unit	Rate \$	Amount \$	Comments
WORKS						
1	SITEWORKS AND EARTHWORKS				\$ 2,086,571.32	
1.1	Site preparation	1	Item	\$ 10,000.00	\$ 10,000.00	
1.2	Stripping of topsoil and stockpiling	59840	m2	\$ 1.30	\$ 77,532.00	Assumed average depth of 200mm
1.3	Excavation: Bulk excavation of soil to specified levels including cut, haulage, stockpiling.	58451	m3	\$ 34.20	\$ 1,999,039.32	Excavated material assumed to be disposed of off-site. Includes over-excavation to allow for clay liner in wetland and sediment basin (topsoil layer already removed).
1.4	Fill to form embankment for RB on southern side	3636	m3	\$ 15.00	\$ 54,540.00	Embankment not designed in detail yet. Estimation of fill amount.
2	DRAINAGE				\$ 514,765.50	
2.1	BOX CULVERTS					
2.1.1	Box culvert units (Description)		No.	\$ -	\$ -	
2.1.2	Link slabs		No.	\$ -	\$ -	
2.1.3	Foundation slab		m2	\$ -	\$ -	
2.1.4	Other (Description)		Item	\$ -	\$ -	
2.2	DRAINAGE PIPES					
2.2.1	Drainage - pipes: Supply and install catchment stormwater main incl. excavation, crushed rock bedding and back fill.	760	LM	\$ 451.00	\$ 342,760.00	Stormwater main within the catchments and coming into RB. Note this has not been designed throughout the catchment yet. A nominal average pipe size of 900mm diam. has been adopted at this stage.
2.2.2	Drainage - pits: Allowance to supply and install concrete headwall to suit pipe into sediment basin	1	No.	\$ 4,500.00	\$ 4,500.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.3	Drainage - pits: Allowance to supply and install sediment basin to wetland transfer pit including step irons and pipe grill lid arrangement	1	No.	\$ 7,500.00	\$ 7,500.00	Pit not sized at at concept level. Nominal pit allowed for.
2.2.4	Drainage - pipes: Supply and install RC transfer pipe (SB to WL inlet pool) incl excavation, crushed rock bedding and back fill	15	LM	\$ 450.00	\$ 6,750.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.5	Drainage - pits: Supply and install concrete headwall to suit Inlet pipe from sediment pond	1	No.	\$ 3,500.00	\$ 3,500.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.6	Drainage - pipes: Supply and install 300mm dia RC balance pipes incl excavation, crushed rock bedding and back fill	70	LM	\$ 237.00	\$ 16,590.00	
2.2.7	Drainage - pits: Supply and install submerged offtake pits (600mm x 600mm x 600mm) for balance pipes	2	No.	\$ 3,000.00	\$ 6,000.00	
2.2.8	Drainage - pits: Supply and install submerged offtake pit (900mm x 900mm x 900mm) for wetland outlet	1	No.	\$ 5,000.00	\$ 5,000.00	
2.2.9	Drainage - pipes: Supply and install 525mm diam RC pipe (submerged offtake to EDD control pit) incl excavation, crushed rock bedding and back fill	10	LM	\$ 400.00	\$ 4,000.00	
2.2.10	Drainage - pits: Supply and install twin chamber EDD control outlet pit/retarding basin outlet with side-winder penstock, step irons and pipe grill lid	1	No.	\$ 15,000.00	\$ 15,000.00	
2.2.11	Drainage - pipes: Supply and install 525 mm dia pipe (from wetland control structure pit to RB outlet pit) incl excavation, crushed rock bedding and back fill	7.5	LM	\$ 400.00	\$ 3,000.00	
2.2.12	Drainage - pits: Supply and install RB outfall pit	1	No.	\$ 10,000.00	\$ 10,000.00	
2.2.13	Drainage - pipes: Supply and install retarding basin outfall pipe incl excavation, crushed rock bedding and back fill	75	LM	\$ 450.00	\$ 33,750.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.14	Drainage - pits: Supply and install concrete headwall to suit RB outfall pipe	1	No.	\$ 3,000.00	\$ 3,000.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.15	Drainage - pits: Supply and install water level gauge wetland outlet submerged pit	1	No.	\$ 1,000.00	\$ 1,000.00	
2.2.16	Drainage - pits: Allowance for pits located every 80m along stormwater main	10	No.	\$ 2,400.00	\$ 22,800.00	
2.3	CONCRETE WORKS					
2.3.1	Supply and install reinforced N32 grade concrete, 150 mm deep, extending 300mm vertically up batter, to form sediment basin base	75	m3	\$ 350.00	\$ 26,365.50	
2.3.2	Concrete weir/sill: Allowance to supply and install reinforced N32 grade concrete to form sediment basin to wetland spillway weir/sill to Melbourne Water standard specification 7251/8/108	1	Item	\$ 3,250.00	\$ 3,250.00	
3	ROCK WORKS				\$ 71,100.00	
3.1	Sediment Pond: Supply and install 4m wide sediment basin maintenance access ramp, including sub base preparation. 200mm depth - bottom layer is 100mm depth of 0-100mm FCR, top layer is 100mm of 0-40 NDCR (6% cement stabilised below NWL)	8	m3	\$ 200.00	\$ 1,600.00	
3.2	Allowance for supply and install well graded D50=400mm rock to form sediment basin to wetland spillway	1	Unit	\$ 10,000.00	\$ 10,000.00	
3.3	Geofabric: Allowance for supply and install geofabric (Bidim A44 or equivalent) for all rockwork	1	Unit	\$ 5,000.00	\$ 5,000.00	4m wide roll, includes allowance for overlap
3.4	Supply and install rockwork to RB outfall	1	Item	\$ 1,500.00	\$ 1,500.00	
3.5	Supply and installation of rockwork at sediment basin and wetland inlet pipes	2	Item	\$ 1,500.00	\$ 3,000.00	
3.6	Allowance for supply and install rockwork for RB high flow spillway (above 1% AEP peak flow)	1	Unit	\$ 50,000.00	\$ 50,000.00	
4	CLAY LINER				\$ 499,808.60	
4.1	Sediment Basin: Placement of 300 mm compacted clay liners for sediment basin (allow to source off site)	1,737	m2	\$ 20.20	\$ 35,087.40	Up to TED
4.2	Wetland: Placement of 300 mm compacted clay liners for wetland (allow to source off site)	23,006	m2	\$ 20.20	\$ 464,721.20	Up to TED
5	TOPSOIL				\$ 184,719.15	
5.1	Sediment basin: Re spread 200 mm topsoil for planting areas	1,040	m2	\$ 3.30	\$ 3,430.35	Assumed site topsoil is used, with 20% allowance for imported topsoil
5.2	Wetland: Re spread 200 mm topsoil for planting areas	20,855	m2	\$ 3.30	\$ 68,821.50	Assumed site topsoil is used, with 20% allowance for imported topsoil. Includes ephemeral area for wetland/SB as these are connected
5.3	Retarding basin: Re spread 200 mm topsoil for planting areas	34,081	m2	\$ 3.30	\$ 112,467.30	Assumed site topsoil is used, with 20% allowance for imported topsoil. Internal path area removed from total area
6	AQUATIC PLANTING				\$ 933,925.05	
6.1	Supply and install aquatic plants	21,895	m2	\$ 14.50	\$ 317,470.25	For both sediment basin and wetland
6.2	Supply and install terrestrial planting	34,081	m2	\$ 16.80	\$ 572,560.80	RB planting (above path in RB)
6.3	WL/SB: Supply and install heavy jute mat (800gsm) pre-slit at density 6/m2 in wetland and sediment basin, including overlap of matting (300mm longitudinally/direction of flow), 150mm vertically)	2,389	m2	\$ 10.00	\$ 23,894.00	NWL to TED area for wetland and SB. Allowance for overlap.

6.4	Supply, install and maintain plant protection netting for a selected species in the aquatic zones.	1	No.	\$ 20,000.00	\$ 20,000.00	
7	PUMPING				\$ -	
7.1	Supply and installation of rising main		LM	\$ 200.00	\$ -	
7.2	Supply and installation of pumping station		Item	\$170,000.00	\$ -	
7.3	Provision of electricity supply to pump station switchboard from nominated point of supply, supply and installation of electrical switchboard, connection of power and associated fees		Item	\$ 2,500.00	\$ -	
8	LANDSCAPE				\$ 251,872.80	
8.1	Landscaping: Supply and install 4m wide RB perimeter concrete access path	2760	m2	\$ 61.90	\$ 170,844.00	
8.2	Landscaping: Supply and install 3m wide wetland/SB perimeter gravel access path within RB (thickness 150mm)	2448	m2	\$ 33.10	\$ 81,028.80	
9	MISCELLANEOUS				\$ 70,900.00	
9.1	Civil Works Defects Maintenance incl pits, pipes and rockwork – 1 year	12	Month	\$ 2,500.00	\$ 30,000.00	
9.2	3 months Plant Establishment maintenance period of all soft landscape works including watering of plants and trees during establishment, weed control of all planted areas	3	Month	\$ 2,000.00	\$ 6,000.00	
9.3	24 month Plant Maintenance period of all soft landscape works including watering of plants and trees during establishment, weed control of all planted areas as per specification	24	Month	\$ 750.00	\$ 18,000.00	
9.4	Allowance for timber bollards	2	No	\$ 200.00	\$ 400.00	
9.5	Allowance for seats	2	No	\$ 2,500.00	\$ 5,000.00	
9.6	WL/SB: Install habitat logs approx. 4.0m long (no securing required) to wetland area	2	No.	\$ 5,000.00	\$ 10,000.00	
9.7	Fencing: Supply and install timber post and rail fencing around sediment basin pipe inlet headwall	1	No.	\$ 1,500.00	\$ 1,500.00	
10	OTHER				\$ -	
10.1			Item		\$ -	
	SUB-TOTAL WORKS				\$ 4,613,662.42	
11	DELIVERY					
11.1	Council Fees	3.25	%		\$ 149,944.03	
11.2	VicRoads Fees	1	%		\$ 46,136.62	
11.3	Traffic Management	5	%		\$ 230,683.12	
11.4	Environmental Management	0.5	%		\$ 23,068.31	
11.5	Survey/Design	5	%		\$ 230,683.12	
11.6	Supervision & Project Management	9	%		\$ 415,229.62	
11.7	Site Establishment	2.5	%		\$ 115,341.56	
11.8	Contingency	35	%		\$ 1,614,781.85	
	SUB-TOTAL DELIVERY				\$ 2,825,868.23	
12	TOTAL ESTIMATED COST				\$ 7,439,530.65	

PUBLIC CONSULTATION

9.3.6 WLRB5

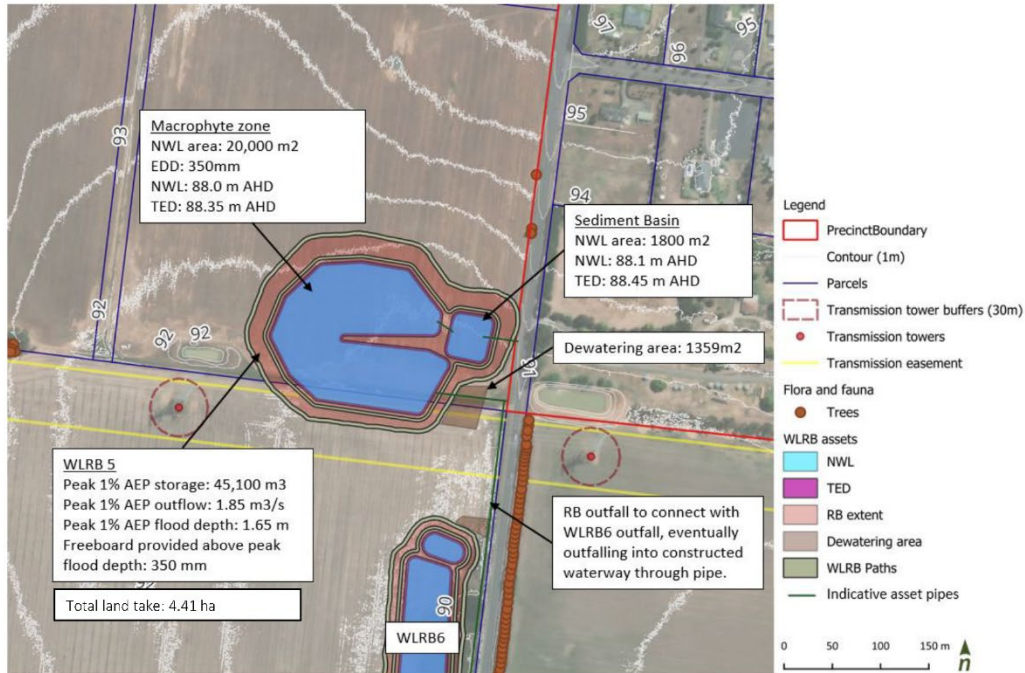


Figure 34. WLRB 5 Concept Design

Wetland RB 5 - Cost Estimate

Item	Description	Quantity	Unit	Rate \$	Amount \$	Comments
WORKS						
1	SITEWORKS AND EARTHWORKS				\$ 3,927,989.30	
1.1	Site preparation	1	Item	\$ 10,000.00	\$ 10,000.00	
1.2	Stripping of topsoil and stockpiling	39633	m2	\$ 1.30	\$ 51,522.90	Assumed average depth of 200mm
1.3	Excavation: Bulk excavation of soil to specified levels including cut, haulage, stockpiling.	113055	m3	\$ 34.20	\$ 3,866,466.40	Excavated material assumed to be disposed of off-site. Includes over-excavation to allow for clay liner in wetland and sediment basin (topsoil layer already removed).
2	DRAINAGE				\$ 681,947.90	
2.1	BOX CULVERTS					
2.1.1	Box Culvert Units (Description)		No.	\$ -	\$ -	
2.1.2	Link slabs		No.	\$ -	\$ -	
2.1.3	Foundation slab		m2	\$ -	\$ -	
2.1.4	Other (Description)		Item	\$ -	\$ -	
2.2	DRAINAGE PIPES					
2.2.1	Drainage - pipes Supply and install catchment storm water main incl. excavation, crushed rock bedding and back fill.	825	LM	\$ 451.00	\$ 372,075.00	Stormwater main within the catchments and coming into RB. Note this has not been designed throughout the catchment yet. A nominal average pipe size of 900mm diam. has been adopted at this stage.
2.2.2	Drainage - pits Allowance to supply and install concrete headwall to suit pipe into sediment basin	1	No.	\$ 4,500.00	\$ 4,500.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.3	Drainage - pits Allowance to supply and install sediment basin to wetland transfer pit including step irons and pipe grill lid arrangement	1	No.	\$ 7,500.00	\$ 7,500.00	Pit not sized at concept level. Nominal pit allowed for.
2.2.4	Drainage - pipes Supply and install RC transfer pipe (SB to W/L inlet pool) incl excavation, crushed rock bedding and back fill	20	LM	\$ 450.00	\$ 9,000.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.5	Drainage - pits Supply and install concrete headwall to suit inlet pipe from sediment pond	1	No.	\$ 3,500.00	\$ 3,500.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.6	Drainage - pipes Supply and install 300mm dia RC balance pipes incl excavation, crushed rock bedding and back fill	35	LM	\$ 237.00	\$ 8,295.00	
2.2.7	Drainage - pits Supply and install submerged offtake pits (600mm x 600mm x 600mm for balance pipes)	2	No.	\$ 3,000.00	\$ 6,000.00	
2.2.8	Drainage - pits Supply and install submerged offtake pit (900mm x 900mm x 900mm for wetland outlet)	1	No.	\$ 5,000.00	\$ 5,000.00	
2.2.9	Drainage - pipes Supply and install 525mm diam RC pipe (submerged offtake to EDD control pit) incl excavation, crushed rock bedding and back fill	10	LM	\$ 400.00	\$ 4,000.00	
2.2.10	Drainage - pits Supply and install twin chamber EDD control outlet pit/retarding basin outlet with side-winder pendock, step irons and pipe grill lid	1	No.	\$ 15,000.00	\$ 15,000.00	
2.2.11	Drainage - pipes Supply and install 525 mm dia pipe (from wetland control structure pit to RB outlet pit) incl excavation, crushed rock bedding and back fill	7.5	LM	\$ 400.00	\$ 3,000.00	
2.2.12	Drainage - pits Supply and install RB outfall pit	1	No.	\$ 10,000.00	\$ 10,000.00	
2.2.13	Drainage - pipes Supply and install retarding basin outfall pipe incl excavation, crushed rock bedding and back fill	373	LM	\$ 450.00	\$ 167,850.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.14	Drainage - pits Supply and install concrete headwall to suit RB outfall pipe	1	No.	\$ 3,000.00	\$ 3,000.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.15	Drainage - pits Supply and install water level gauge wetland outlet submerged pit	1	No.	\$ 1,000.00	\$ 1,000.00	
2.2.16	Drainage - pits Allowance for pits located every 90m along stormwater main	10	No.	\$ 2,400.00	\$ 24,750.00	
2.3	CONCRETE WORKS					
2.3.1	Supply and install reinforced N32 grade concrete, 150 mm deep, extending 300mm vertically up batter to form sediment basin base	98	m3	\$ 350.00	\$ 34,227.90	
2.3.2	Concrete weir/fall Allowance to supply and install reinforced N32 grade concrete to form sediment basin to wetland spillway weir/fall to Melbourne Water standard specification 7251/8106	1	Item	\$ 3,250.00	\$ 3,250.00	
3	ROCK WORKS				\$ 16,600.00	
3.1	Sediment Pond Supply and install 4m wide sediment basin maintenance access ramp including sub base preparation, 200mm depth - bottom layer is 100mm depth of 0-100mm FCR, top layer is 100mm of 0-40 NDCR (6% cement stabilised below NVL).	8	m3	\$ 200.00	\$ 1,600.00	
3.2	Allowance for supply and install well graded D50+400mm rock to form sediment basin to wetland spillway	1	Unit	\$ 10,000.00	\$ 10,000.00	
3.3	Geotextile Allowance for supply and install geotextile (Bidim A44 or equivalent) for all rockwork	1	Unit	\$ 500.00	\$ 500.00	4m wide roll, include allowance for overlap
3.4	Supply and install rockwork to RB outfall	1	Item	\$ 1,500.00	\$ 1,500.00	
3.5	Supply and installation of rockwork at sediment basin and wetland inlet pipes	2	Item	\$ 1,500.00	\$ 3,000.00	
4	CLAY LINER				\$ 486,133.80	
4.1	Sediment Basin: Placement of 300 mm compacted clay liners for sediment basin (all to source off site)	2,162	m2	\$ 20.20	\$ 43,672.40	Up to TED
4.2	Wetland: Placement of 300 mm compacted clay liners for wetland (allow to source off site)	21,607	m2	\$ 20.20	\$ 436,461.40	Up to TED
5	TOPSOIL				\$ 118,969.95	
5.1	Sediment basin: Re spread 200 mm topsoil for planting areas	1,257	m2	\$ 3.30	\$ 4,146.45	Assumed site topsoil is used, with 20% allowance for imported topsoil
5.2	Wetland: Re spread 200 mm topsoil for planting areas	19,601	m2	\$ 3.30	\$ 64,683.30	Assumed site topsoil is used, with 20% allowance for imported topsoil. Includes ephemeral area for wetland/SB as these are connected
5.3	Retarding basin: Re spread 200 mm topsoil for planting areas	15,194	m2	\$ 3.30	\$ 50,140.20	Assumed site topsoil is used, with 20% allowance for imported topsoil. Internal path area removed from total area
6	AQUATIC PLANTING				\$ 602,366.95	
6.1	Supply and install aquatic plants	20,858	m2	\$ 14.50	\$ 302,433.75	For both sediment basin and wetland
6.2	Supply and install terrestrial planting	15,194	m2	\$ 16.80	\$ 255,259.20	RB planting (above path in RB)
6.3	WLSB: Supply and install heavy jute mat (800gsm) pre-slit at density 6m2 in wetland and sediment basin, including overlap of matting (300mm longitudinal/direction of flow), 150mm vertically	2,467	m2	\$ 10.00	\$ 24,674.00	NVL to TED area for wetland and SB. Allowance for overlap.
6.4	Supply, install and maintain plant protection netting for a selected species in the aquatic zones.	1	No.	\$ 20,000.00	\$ 20,000.00	
7	PUMPING				\$ -	
7.1	Supply and installation of rising main		LM	\$ 200.00	\$ -	
7.2	Supply and installation of pumping station		Item	\$ 170,000.00	\$ -	
7.3	Provision of electricity supply to pump station switchboard from nominated point, supply, supply and installation of electrical switchboard, connection of power and associated fees		Item	\$ 2,500.00	\$ -	
8	LANDSCAPE				\$ 258,668.60	
8.1	Landscaping: Supply and install 4m wide RB perimeter concrete access path	3104	m2	\$ 61.90	\$ 192,137.60	
8.2	Landscaping: Supply and install 3m wide wetland/SB perimeter gravel access path within RB (thickness 150mm)	2010	m2	\$ 33.10	\$ 66,531.00	
9	MISCELLANEOUS				\$ 70,900.00	
9.1	Civil Works Defects Maintenance incl pits, pipes and rockwork - 1 year	12	Month	\$ 2,500.00	\$ 30,000.00	
9.2	3 months Plant Establishment maintenance period of all soft landscape work including watering of plants and trees during establishment, weed control of all planted areas	3	Month	\$ 2,000.00	\$ 6,000.00	
9.3	24 month Plant Maintenance period of all soft landscape work including watering plants and trees during establishment, weed control of all planted areas as per specification	24	Month	\$ 750.00	\$ 18,000.00	
9.4	Allowance for timber bollard	2	No.	\$ 200.00	\$ 400.00	
9.5	Allowance for seat	2	No.	\$ 2,500.00	\$ 5,000.00	
9.6	WLSB: Install habitat logs approx. 4.0m long (no securing required) to wetland area	2	No.	\$ 5,000.00	\$ 10,000.00	
9.7	Fencing: Supply and install timber post and rail fencing around sediment basin pipe inlet headwall	1	No.	\$ 1,500.00	\$ 1,500.00	
10	OTHER				\$ -	
10.1			Item	\$ -	\$ -	
	SUB-TOTAL WORKS				\$ 6,157,576.50	
11	DELIVERY					
11.1	Council Fees	3.25	%		\$ 200,121.24	
11.2	McRoads Fees	1	%		\$ 61,575.76	
11.3	Traffic Management	5	%		\$ 307,878.82	
11.4	Environmental Manager	0.5	%		\$ 30,787.88	
11.5	Survey/Design	5	%		\$ 307,878.82	
11.6	Supervision & Project Manager	9	%		\$ 554,181.88	
11.7	Site Establishment	2.5	%		\$ 153,939.41	
11.8	Contingency	35	%		\$ 2,155,151.77	
	SUB-TOTAL DELIVERY				\$ 3,771,515.60	
12	TOTAL ESTIMATED COST				\$ 9,929,092.10	

9.3.7 WLRB6

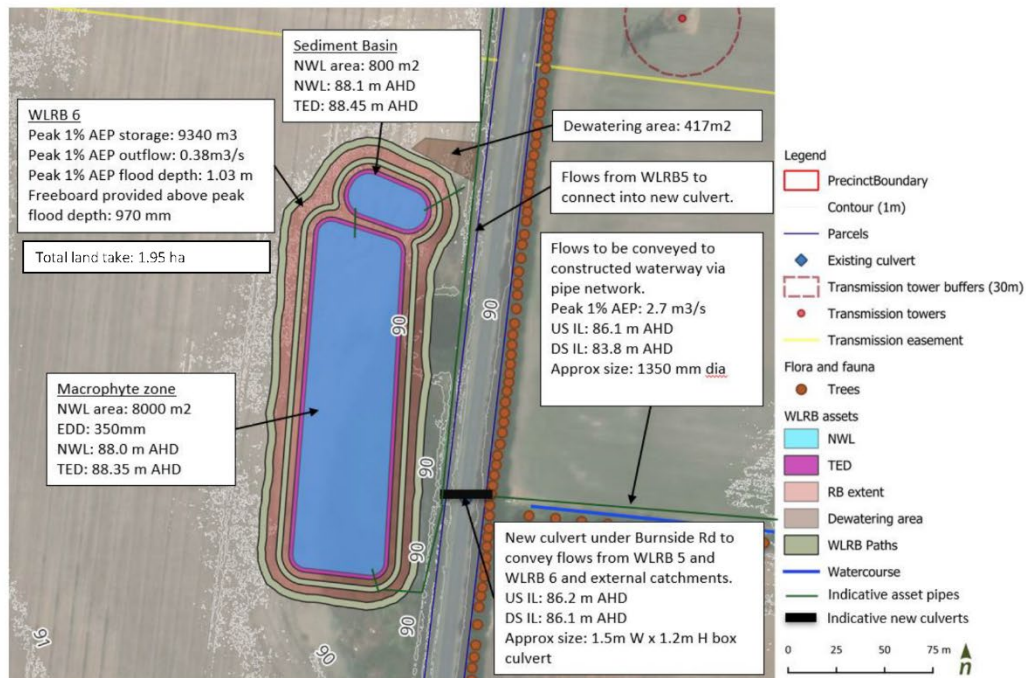


Figure 35. WLRB 6 Concept Design

Wetland RB 6 - Cost Estimate

Item	Description	Quantity	Unit	Rate \$	Amount \$	Comments
WORKS						
1	SITINGWORKS AND EARTHWORKS				\$ 1,029,456.23	
1.1	Site preparation	1	Item	\$ 10,000.00	\$ 10,000.00	
1.2	Stripping of topsoil and stockpiling	16701	m2	\$ 1.30	\$ 21,711.30	Assumed average depth of 200mm
1.3	Excavation: Bulk excavation of soil to specified levels including cut, haulage, stockpiling.	29174	m3	\$ 34.20	\$ 997,738.93	Excavated material assumed to be disposed of off-site. Includes over-excavation to allow for clay liner in wetland and sediment basin (topsoil layer already removed).
2	DRAINAGE				\$ 468,239.50	
2.1	BOX CULVERTS					
2.1.1	Box culvert units (Description)		No.	\$ -	\$ -	
2.1.2	Link slabs		No.	\$ -	\$ -	
2.1.3	Foundation slab		m2	\$ -	\$ -	
2.1.4	Other (Description)		Item	\$ -	\$ -	
2.2	DRAINAGE PIPES					
2.2.1	Drainage - pipes Supply and install catchment storm water main incl. excavation, crushed rock bedding and back fill.	650	LM	\$ 451.00	\$ 293,150.00	Stormwater main within the catchments and coming into RB. Note this has not been designed throughout the catchment yet. A nominal average pipe size of 900mm diam. has been adopted at this stage.
2.2.2	Drainage - pits Allowance to supply and install concrete headwall to suit pipe into sediment basin	1	No.	\$ 4,500.00	\$ 4,500.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.3	Drainage - pits Allowance to supply and install sediment basin to wetland transfer pit including step irons and pipe grill lid arrangement	1	No.	\$ 7,500.00	\$ 7,500.00	Pit not sized at concept level. Nominal pit allowed for.
2.2.4	Drainage - pipes Supply and install RC transfer pipe (SB to WL inlet pool) incl excavation, crushed rock bedding and back fill	15	LM	\$ 450.00	\$ 6,750.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.5	Drainage - pits Supply and install concrete headwall to suit inlet pipe from sediment pond	1	No.	\$ 3,500.00	\$ 3,500.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.6	Drainage - pipes Supply and install 300mm dia RC balance pipes incl excavation, crushed rock bedding and back fill	125	LM	\$ 237.00	\$ 29,625.00	
2.2.7	Drainage - pits Supply and install submerged offtake pits (600mm x 600mm x 600mm for balance pipes)	2	No.	\$ 3,000.00	\$ 6,000.00	
2.2.8	Drainage - pits Supply and install submerged offtake pit (900mm x 900mm x 900mm for wetland outlet)	1	No.	\$ 5,000.00	\$ 5,000.00	
2.2.9	Drainage - pipes Supply and install 525mm dia RC pipe (submerged offtake to EDD control pit) incl excavation, crushed rock bedding and back fill	10	LM	\$ 400.00	\$ 4,000.00	
2.2.10	Drainage - pits Supply and install twin chamber EDD control outlet pit/retarding basin outlet with side-winder penstock, step irons and pipe grill lid	1	No.	\$ 15,000.00	\$ 15,000.00	
2.2.11	Drainage - pipes Supply and install 525 mm dia pipe (from wetland control structure pit to RB outlet pit) incl excavation, crushed rock bedding and back fill	7.5	LM	\$ 400.00	\$ 3,000.00	
2.2.12	Drainage - pits Supply and install RB outfall pit	1	No.	\$ 10,000.00	\$ 10,000.00	
2.2.13	Drainage - pipes Supply and install retarding basin outfall pipe incl excavation, crushed rock bedding and back fill	85	LM	\$ 450.00	\$ 38,250.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.14	Drainage - pits Supply and install concrete headwall to suit RB outfall pipe	1	No.	\$ 3,000.00	\$ 3,000.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.15	Drainage - pits Supply and install water level gauge wetland outlet submerged pit	1	No.	\$ 1,000.00	\$ 1,000.00	
2.2.16	Drainage - pits Allowance for pits located every 80m along stormwater main	8	No.	\$ 2,400.00	\$ 19,500.00	
2.3	CONCRETE WORKS					
2.3.1	Supply and install reinforced N32 grade concrete, 150 mm deep, extending 300mm vertically up batter, to form sediment basin base	43	m3	\$ 350.00	\$ 15,214.50	
2.3.2	Concrete weir/rail Allowance to supply and install reinforced N32 grade concrete to form sediment basin to wetland spillway weir/rail to Melbourne Water standard specification 72518/106	1	Item	\$ 3,250.00	\$ 3,250.00	
3	ROCK WORKS				\$ 16,600.00	
3.1	Sediment Pond Supply and install 4m wide sediment basin maintenance access ramp including sub base preparation, 200mm depth - bottom layer is 100mm depth of 0-100mm FCR, top layer is 100mm of 0-40 NDCR (5% cement stabilised below NWL).	8	m3	\$ 200.00	\$ 1,600.00	
3.2	Allowance for supply and install well graded D50+400mm rock to form sediment basin to wetland spillway	1	Unit	\$ 10,000.00	\$ 10,000.00	
3.3	Geotextile Allowance for supply and install geotextile (Bidim A44 or equivalent) for all rockwork	1	Unit	\$ 500.00	\$ 500.00	4m wide roll, include allowance for overlap
3.4	Supply and install rockwork to RB outfall	1	Item	\$ 1,500.00	\$ 1,500.00	
3.5	Supply and installation of rockwork at sediment basin and wetland inlet pipes	2	Item	\$ 1,500.00	\$ 3,000.00	
4	CLAY LINER				\$ 202,646.40	
4.1	Sediment Basin: Placement of 300 mm compacted day liners for sediment basin (all to source off site)	1,048	m2	\$ 20.20	\$ 21,169.60	Up to TED
4.2	Wetland: Placement of 300 mm compacted clay liners for wetland (allow to source off site)	8,984	m2	\$ 20.20	\$ 181,476.80	Up to TED
5	TOPSOIL				\$ 49,350.51	
5.1	Sediment basin Re spread 200 mm topsoil for planting areas	646	m2	\$ 3.30	\$ 2,130.15	Assumed site topsoil is used, with 20% allowance for imported topsoil
5.2	Wetland Re spread 200 mm topsoil for planting areas	8,178	m2	\$ 3.30	\$ 26,988.06	Assumed site topsoil is used, with 20% allowance for imported topsoil. Includes ephemeral area for wetland/SB as these are connected
5.3	Retarding basin Re spread 200 mm topsoil for planting areas	6,131	m2	\$ 3.30	\$ 20,232.30	Assumed site topsoil is used, with 20% allowance for imported topsoil. Internal path area removed from total area
6	AQUATIC PLANTING				\$ 266,141.45	
6.1	Supply and install aquatic plants	8,824	m2	\$ 14.50	\$ 127,943.65	For both sediment basin and wetland
6.2	Supply and install terrestrial planting	6,131	m2	\$ 16.80	\$ 103,000.80	RB planting (above path in RB)
6.3	WLSB: Supply and install heavy jute mat (800gsm) pre-slit at density 6m2 in wetland and sediment basin, including overlap of matting (300mm longitudinally/direction of flow), 150mm vertically	1,520	m2	\$ 10.00	\$ 15,197.00	NWL to TED area for wetland and SB. Allowance for overlap.
6.4	Supply, install and maintain plant protection netting for a selected species in the aquatic zones.	1	No.	\$ 20,000.00	\$ 20,000.00	
7	PUMPING					
7.1	Supply and installation of rising main		LM	\$ 200.00	\$ -	
7.2	Supply and installation of pumping station		Item	\$ 170,000.00	\$ -	
7.3	Provision of electricity supply to pump station switchboard from nominated point, supply, supply and installation of electrical switchboard, connection of power and associated fees		Item	\$ 2,500.00	\$ -	
8	LANDSCAPE				\$ 199,507.40	
8.1	Landscaping: Supply and install 4m wide RB perimeter concrete access path	2360	m2	\$ 61.90	\$ 146,084.00	
8.2	Landscaping: Supply and install 3m wide wetland/SB perimeter gravel access path within RB (thickness 150mm)	1614	m2	\$ 33.10	\$ 53,423.40	
9	MISCELLANEOUS				\$ 70,900.00	
9.1	Civil Works Defects Maintenance incl pits, pipes and rockwork - 1 yr	12	Month	\$ 2,500.00	\$ 30,000.00	
9.2	3 months Plant Establishment maintenance period of all soft landscape work including watering of plants and trees during establishment, weed control of all planted areas	3	Month	\$ 2,000.00	\$ 6,000.00	
9.3	24 month Plant Maintenance period of all soft landscape works including watering plants and trees during establishment, weed control of all planted areas as per specification	24	Month	\$ 750.00	\$ 18,000.00	
9.4	Allowance for timber bollards	2	No.	\$ 200.00	\$ 400.00	
9.5	Allowance for seats	2	No.	\$ 2,500.00	\$ 5,000.00	
9.6	WLSB: Install habitat logs approx. 4.0m long (no securing required) to wetland area	2	No.	\$ 5,000.00	\$ 10,000.00	
9.7	Fencing: Supply and install timber post and rail fencing around sediment basin pipe inlet headwall	1	No.	\$ 1,500.00	\$ 1,500.00	
10	OTHER					
10.1			Item	\$ -	\$ -	
	SUB-TOTAL WORKS				\$ 2,302,835.49	
11	DELIVERY					
11.1	Council Fees	3.25	%		\$ 74,842.15	
11.2	McRousie Fees	1	%		\$ 23,028.35	
11.3	Traffic Management	5	%		\$ 115,141.77	
11.4	Environmental Manager	0.5	%		\$ 11,514.18	
11.5	Survey/Design	5	%		\$ 115,141.77	
11.6	Supervision & Project Manager	.9	%		\$ 207,255.19	
11.7	Site Establishment	2.5	%		\$ 57,570.89	
11.8	Contingency	35	%		\$ 805,992.42	
	SUB-TOTAL DELIVERY				\$ 1,410,486.74	
12	TOTAL ESTIMATED COST				\$ 3,713,322.23	

9.3.8 WLRB7

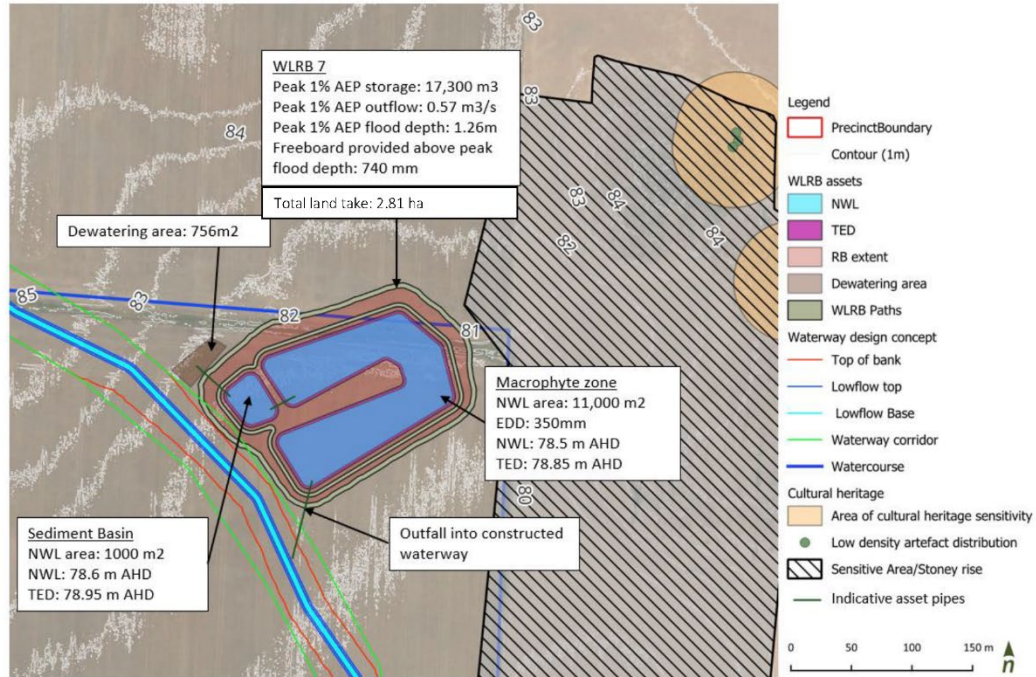


Figure 35. WLRB 7 Concept Design

Wetland RB 7 - Cost Estimate

Item	Description	Quantity	Unit	Rate \$	Amount \$	Comments
WORKS						
1	SITEWORKS AND EARTHWORKS				\$ 1,902,786.41	
1.1	Site preparation	1	Item	\$ 10,000.00	\$ 10,000.00	
1.2	Stripping of topsoil and stockpiling	24868	m2	\$ 1.30	\$ 32,328.40	Assumed average depth of 200mm
1.3	Excavation: Bulk excavation of soil to specified levels including cut, haulage, stockpiling.	54399	m3	\$ 34.20	\$ 1,860,458.01	Excavated material assumed to be disposed of off-site. Includes over-excavation to allow for clay liner in wetland and sediment basin (topsoil layer already removed).
2	DRAINAGE				\$ 478,415.80	
2.1	BOX CULVERTS					
2.1.1	Box culvert units (Description)		No.	\$ -	\$ -	
2.1.2	Link slabs		No.	\$ -	\$ -	
2.1.3	Foundation slab		m2	\$ -	\$ -	
2.1.4	Other (Description)		Item	\$ -	\$ -	
2.2	DRAINAGE PIPES					
2.2.1	Drainage - pipes Supply and install catchment storm water main incl. excavation, crushed rock bedding and back fill.	680	LM	\$ 451.00	\$ 306,680.00	Stormwater main within the catchments and coming into RB. Note this has not been designed throughout the catchment yet. A nominal average pipe size of 900mm diam. has been adopted at this stage.
2.2.2	Drainage - pits Allowance to supply and install concrete headwall to suit pipe into sediment basin	1	No.	\$ 4,500.00	\$ 4,500.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.3	Drainage - pits Allowance to supply and install sediment basin to wetland transfer pit including step irons and pipe grill lid arrangement	1	No.	\$ 7,500.00	\$ 7,500.00	Pit not sized at concept level. Nominal pit allowed for.
2.2.4	Drainage - pipes Supply and install RC transfer pipe (SB to WL inlet pool) incl excavation, crushed rock bedding and back fill	15	LM	\$ 450.00	\$ 6,750.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.5	Drainage - pits Supply and install concrete headwall to suit inlet pipe from sediment pond	1	No.	\$ 3,500.00	\$ 3,500.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.6	Drainage - pipes Supply and install 300mm dia RC balance pipes incl excavation, crushed rock bedding and back fill	172	LM	\$ 237.00	\$ 40,764.00	
2.2.7	Drainage - pits Supply and install submerged offtake pits (600mm x 600mm x 600mm for balance pipes)	2	No.	\$ 3,000.00	\$ 6,000.00	
2.2.8	Drainage - pits Supply and install submerged offtake pit (900mm x 900mm x 900mm for wetland outlet)	1	No.	\$ 5,000.00	\$ 5,000.00	
2.2.9	Drainage - pipes Supply and install 525mm diam RC pipe (submerged offtake to EDD control pit) incl excavation, crushed rock bedding and back fill	10	LM	\$ 400.00	\$ 4,000.00	
2.2.10	Drainage - pits Supply and install twin chamber EDD control outlet pit/retarding basin outlet with side-winder penstock, step irons and pipe grill lid	1	No.	\$ 15,000.00	\$ 15,000.00	
2.2.11	Drainage - pipes Supply and install 525 mm dia pipe (from wetland control structure pit to RB outlet pit) incl excavation, crushed rock bedding and back fill	7.5	LM	\$ 400.00	\$ 3,000.00	
2.2.12	Drainage - pits Supply and install RB outfall pit	1	No.	\$ 10,000.00	\$ 10,000.00	
2.2.13	Drainage - pipes Supply and install retarding basin outfall pipe incl excavation, crushed rock bedding and back fill	40	LM	\$ 450.00	\$ 18,000.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.15	Drainage - pipes Supply and install concrete headwall to suit RB outfall pipe	1	No.	\$ 3,000.00	\$ 3,000.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.16	Drainage - pits Supply and install water level gauge wetland outlet submerged pit	1	No.	\$ 1,000.00	\$ 1,000.00	
2.2.17	Drainage - pits Allowance for pits located every 30m along stormwater main	9	No.	\$ 2,400.00	\$ 20,400.00	
2.3	CONCRETE WORKS					
2.3.1	Supply and install reinforced N32 grade concrete, 150 mm deep, extending 300mm vertically up batter, to form sediment basin base	57	m3	\$ 350.00	\$ 20,071.80	
2.3.2	Concrete weir/sill Allowance to supply and install reinforced N32 grade concrete to form sediment basin to wetland spillway weir/sill to Melbourne Water standard specification 7251/8/10E	1	Item	\$ 3,250.00	\$ 3,250.00	
3	ROCK WORKS				\$ 16,600.00	
3.1	Sediment Pond Supply and install 4m wide sediment basin maintenance access ramp including sub base preparation, 200mm depth - bottom layer is 100mm depth of 0-100mm FCR, top layer is 100mm of 0-40 ND CR (5% cement stabilised below NWL).	8	m3	\$ 200.00	\$ 1,600.00	
3.2	Allowance for supply and install well graded D50-400mm rock to form sediment basin to wetland spillway	1	Unit	\$ 10,000.00	\$ 10,000.00	
3.3	Geotabric Allowance for supply and install geotabric (Bldm A44 or equivalent) for all rockwork	1	Unit	\$ 500.00	\$ 500.00	4m wide roll, include allowance for overlap
3.4	Supply and install rockwork to RB outfall	1	Item	\$ 1,500.00	\$ 1,500.00	
3.5	Supply and installation of rock work at sediment basin and wetland inlet pipes	2	Item	\$ 1,500.00	\$ 3,000.00	
4	CLAY LINER				\$ 278,194.40	
4.1	Sediment Basin Placement of 300 mm compacted day liners for sediment basin (all to source off site)	1,333	m2	\$ 20.20	\$ 26,926.60	Up to TED
4.2	Wetland Placement of 300 mm compacted clay liners for wetland (allow to source of site)	12,439	m2	\$ 20.20	\$ 251,267.80	Up to TED
5	TOPSOIL				\$ 74,842.35	
5.1	Sediment basin Re spread 200 mm topsoil for planting areas	802	m2	\$ 3.30	\$ 2,646.60	Assumed site topsoil is used, with 20% allowance for imported topsoil
5.2	Wetland Re spread 200 mm topsoil for planting areas	11,338	m2	\$ 3.30	\$ 37,413.75	Assumed site topsoil is used, with 20% allowance for imported topsoil. Includes ephemeral area for wetland/SB as these are connected
5.3	Retarding basin Re spread 200 mm topsoil for planting areas	10,540	m2	\$ 3.30	\$ 34,782.00	Assumed site topsoil is used, with 20% allowance for imported topsoil. Internal path area removed from total area
6	AQUATIC PLANTING				\$ 395,129.75	
6.1	Supply and install aquatic plants	12,140	m2	\$ 14.50	\$ 176,022.75	For both sediment basin and wetland
6.2	Supply and install terrestrial planting	10,540	m2	\$ 16.80	\$ 177,072.00	RB planting (above path in RB)
6.3	WL/SB Supply and install heavy jute mat (800gsm) pre-slit at density 6m2 in wetland and sediment basin, including overlap of matting (300mm longitudinally/direction of flow), 150mm vertically	2,204	m2	\$ 10.00	\$ 22,035.00	NWL to TED area for wetland and SB. Allowance for overlap.
6.4	Supply, install and maintain plant protection netting for a selected species in the aquatic zones.	1	No.	\$ 20,000.00	\$ 20,000.00	
7	PUMPING				\$ -	
7.1	Supply and installation of rising main		LM	\$ 200.00	\$ -	
7.2	Supply and installation of pumping station		Item	\$ 170,000.00	\$ -	
7.3	Provision of electricity supply to pump station switchboard from nominated point, supply, supply and installation of electrical switchboard, connection of power and associated fees		Item	\$ 2,500.00	\$ -	
8	LANDSCAPE				\$ 208,475.20	
8.1	Landscaping Supply and install 4m wide RB perimeter concrete access path	2476	m2	\$ 61.90	\$ 153,264.40	
8.2	Landscaping Supply and install 3m wide wetland/SB perimeter gravel access path within RB (thickness 150mm)	1668	m2	\$ 33.10	\$ 55,210.80	
9	MISCELLANEOUS				\$ 70,900.00	
9.1	Civil Works Defects Maintenance incl pits, pipes and rockwork - 1 year	12	Month	\$ 2,500.00	\$ 30,000.00	
9.2	3 months Plant Establishment maintenance period of all soft landscape work including watering of plants and trees during establishment, weed control of all planted areas	3	Month	\$ 2,000.00	\$ 6,000.00	
9.3	24 month Plant Maintenance period of all soft landscape works including watering plants and trees during establishment, weed control of all planted areas as per specification	24	Month	\$ 750.00	\$ 18,000.00	
9.4	Allowance for timber bollard	2	No.	\$ 200.00	\$ 400.00	
9.5	Allowance for seats	2	No.	\$ 2,500.00	\$ 5,000.00	
9.6	WL/SB Install habitat logs approx. 4.0m long (no securing required) to wetland area	2	No.	\$ 5,000.00	\$ 10,000.00	
9.7	Fencing Supply and install timber post and rail fencing around sediment basin pipe inlet headwall	1	No.	\$ 1,500.00	\$ 1,500.00	
10	OTHER				\$ -	
10.1			Item	\$ -	\$ -	
SUB-TOTAL WORKS					\$ 3,425,343.91	
11	DELIVERY					
11.1	Council Fees	3.25	%		\$ 111,323.68	
11.2	McRoads Fees	1	%		\$ 34,253.44	
11.3	Traffic Management	5	%		\$ 171,267.20	
11.4	Environmental Manager	0.5	%		\$ 17,126.72	
11.5	Survey/Designer	5	%		\$ 171,267.20	
11.6	Supervision & Project Manager	9	%		\$ 308,280.95	
11.7	Site Establishment	2.5	%		\$ 85,633.60	
11.8	Contingency	35	%		\$ 1,198,870.37	
SUB-TOTAL DELIVERY					\$ 2,098,023.14	
12	TOTAL ESTIMATED COST				\$ 5,523,367.05	

9.3.9 WRB8 – Sediment basin

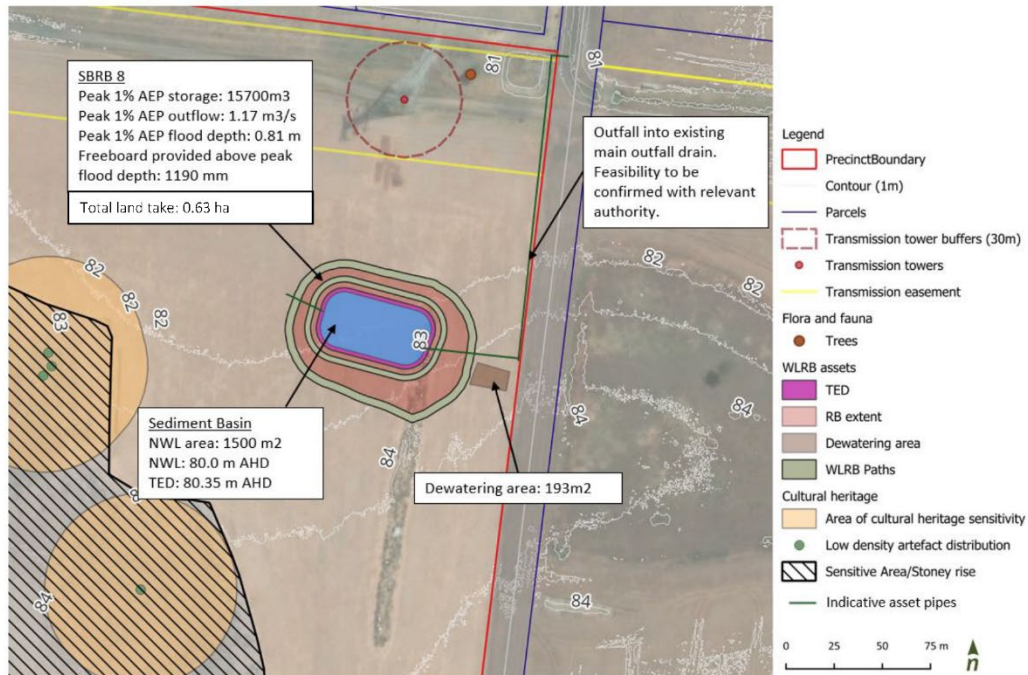


Figure 37. WLRB 8 Concept Design

SBRB8

Item	Description	Quantity	Unit	Rate \$	Amount \$	Comments
WORKS						
1	SITEWORKS AND EARTHWORKS				\$ 78,210.50	
1.1	Site preparation	1	Item	\$ 10,000.00	\$ 10,000.00	
1.2	Stripping of topsoil and stockpiling	5050	m2	\$ 1.30	\$ 6,565.00	Assumed average depth of 200mm, SBRB and bio
1.3	Excavation: Bulk excavation of soil to specified levels including cut, haulage, stockpiling. (SBRB)	1803	m3	\$ 34.20	\$ 61,645.50	Excavated material assumed to be disposed of off-site. Includes over-excavation to allow for clay liner in and sediment basin (topsoil layer already removed).
2	DRAINAGE				\$ 201,338.30	
2.1	BOX CULVERTS					
2.1.1	Box culvert units (Description)		No.	\$ -	\$ -	
2.1.2	Link slabs		No.	\$ -	\$ -	
2.1.3	Foundation slab		m2	\$ -	\$ -	
2.1.4	Other (Description)		Item	\$ -	\$ -	
2.2	DRAINAGE PIPES					
2.2.1	Drainage - pipes: Supply and install catchment stormwater main incl. excavation, crushed rock bedding and back fill.	100	LM	\$ 451.00	\$ 45,100.00	Stormwater main within the catchments and coming into RB. Note this has not been designed throughout the catchment yet. A nominal average pipe size of 900mm diam. has been adopted at this stage.
2.2.2	Drainage - pits: Allowance to supply and install concrete headwall to suit pipe into sediment basin	1	No.	\$ 4,500.00	\$ 4,500.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.3	Drainage - pits: Allowance to supply and install sediment basin outlet pit including step irons and pipe grill lid arrangement	1	No.	\$ 7,500.00	\$ 7,500.00	Pit not sized at at concept level. Nominal pit allowed for.
2.2.4	Drainage - pipes: Supply and install RC transfer pipe (SB to RB outlet pit) incl excavation, crushed rock bedding and back fill	10	LM	\$ 450.00	\$ 4,500.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.5	Drainage - pits: Supply and install RB outfall pit	1	No.	\$ 10,000.00	\$ 10,000.00	
2.2.6	Drainage - pipes: Supply and install retarding basin outfall pipe incl excavation, crushed rock bedding and back fill	210	LM	\$ 450.00	\$ 94,500.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.7	Drainage - pits: Supply and install concrete headwall to suit RB outfall pipe	1	No.	\$ 3,000.00	\$ 3,000.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.8	Drainage - pits: Allowance for pits located every 80m along stormwater main	1	No.	\$ 2,400.00	\$ 3,000.00	
2.3	CONCRETE WORKS					
2.3.1	Supply and install reinforced N32 grade concrete, 150 mm deep, extending 300mm vertically up batter, to form sediment basin base	84	m3	\$ 350.00	\$ 29,238.30	
3	ROCK WORKS				\$ 5,100.00	
3.1	Sediment Pond: Supply and install 4m wide sediment basin maintenance access ramp, including sub base preparation. 200mm depth - bottom layer is 100mm depth of 0-100mm FCR, top layer is 100mm of 0-40 NDCR (6% cement stabilised below NWL)	8	m3	\$ 200.00	\$ 1,600.00	
3.2	Geofabric: Allowance for supply and install geofabric (Bidim A44 or equivalent) for all rockwork	1	Unit	\$ 500.00	\$ 500.00	4m wide roll, include allowance for overlap
3.3	Supply and install rockwork to RB outfall	1	Item	\$ 1,500.00	\$ 1,500.00	
3.4	Supply and installation of rockwork at sediment basin inlet pipe	1	Item	\$ 1,500.00	\$ 1,500.00	
4	CLAY LINER				\$ 38,036.60	
4.1	Sediment Basin: Placement of 300 mm compacted clay liners for sediment basin (allow to source off site)	1,888	m2	\$ 20.20	\$ 38,036.60	Up to TED
5	TOPSOIL				\$ 13,472.25	
5.1	Sediment basin: Re spread 200 mm topsoil for planting areas	1,110	m2	\$ 3.30	\$ 3,661.35	Assumed site topsoil is used, with 20% allowance for imported topsoil
5.2	Retarding basin: Re spread 200 mm topsoil for planting areas	2,973	m2	\$ 3.30	\$ 9,810.90	Assumed site topsoil is used, with 20% allowance for imported topsoil. Internal path area removed from total area
6	AQUATIC PLANTING				\$ 72,902.15	
6.1	Supply and install aquatic plants	1,110	m2	\$ 14.50	\$ 16,087.75	For both sediment basin
6.2	Supply and install terrestrial planting	2,973	m2	\$ 16.80	\$ 49,946.40	RB planting (above path in RB)
6.3	SB: Supply and install heavy jute mat (800gsm) pre-slit at density 6/m2 in wetland and sediment basin, including overlap of matting (300mm longitudinally/direction of flow), 150mm vertically	437	m2	\$ 10.00	\$ 4,368.00	NWL to TED area for SB. Allowance for overlap.
6.4	Supply, install and maintain plant protection netting for a selected species in the aquatic zones.	1	No.	\$ 2,500.00	\$ 2,500.00	
7	PUMPING				\$ -	
7.1	Supply and installation of rising main		LM	\$ 200.00	\$ -	
7.2	Supply and installation of pumping station		Item	\$ 170,000.00	\$ -	
7.3	Provision of electricity supply to pump station switchboard from nominated point of supply, supply and installation of electrical switchboard, connection of power and associated fees.		Item	\$ 2,500.00	\$ -	
8	LANDSCAPE				\$ 87,354.20	
8.1	Landscaping: Supply and install 4m wide RB and bio perimeter concrete access path	1100	m2	\$ 61.90	\$ 68,090.00	
8.2	Landscaping: Supply and install 3m wide SB perimeter gravel access path within RB (thickness 150mm)	582	m2	\$ 33.10	\$ 19,264.20	
9	MISCELLANEOUS				\$ 60,900.00	
9.1	Civil Works Defects Maintenance incl pits, pipes and rockwork - 1 year	12	Month	\$ 2,500.00	\$ 30,000.00	
9.2	3 months Plant Establishment maintenance period of all soft landscape works including watering of plants and trees during establishment, weed control of all planted areas.	3	Month	\$ 2,000.00	\$ 6,000.00	
9.3	24 month Plant Maintenance period of all soft landscape works including watering of plants and trees during establishment, weed control of all planted areas as per specification.	24	Month	\$ 750.00	\$ 18,000.00	
9.4	Allowance for timber bollards	2	No	\$ 200.00	\$ 400.00	
9.5	Allowance for seats	2	No	\$ 2,500.00	\$ 5,000.00	
9.6	Fencing: Supply and install timber post and rail fencing around sediment basin pipe inlet headwall	1	No.	\$ 1,500.00	\$ 1,500.00	
10	OTHER				\$ -	
10.1			Item	\$ -	\$ -	
SUB-TOTAL WORKS					\$ 557,314.00	
11	DELIVERY					
11.1	Council Fees	3.25	%		\$ 18,112.71	
11.2	VicRoads Fees	1	%		\$ 5,573.14	
11.3	Traffic Management	5	%		\$ 27,865.70	
11.4	Environmental Management	0.5	%		\$ 2,786.57	
11.5	Survey/Design	5	%		\$ 27,865.70	
11.6	Supervision & Project Management	9	%		\$ 50,158.26	
11.7	Site Establishment	2.5	%		\$ 13,932.85	
11.8	Contingency	35	%		\$ 195,059.90	
SUB-TOTAL DELIVERY					\$ 341,354.83	
12	TOTAL ESTIMATED COST				\$ 898,668.83	

9.3.10 WLRB9 and 10

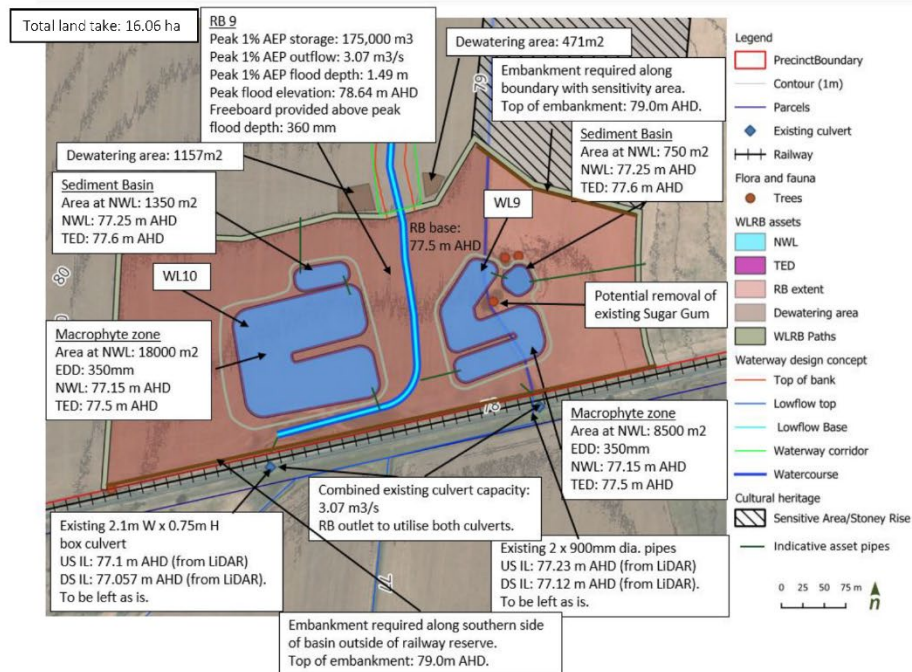


Figure 38. WL 9, WL 10 and RB 9 Concept Design

Wetland 9 and 10, RB9 - Cost Estimate

Item	Description	Quantity	Unit	Rate \$	Amount \$	Comments
WORKS						
1	SITEWORKS AND EARTHWORKS				\$ 4,111,496.25	
1.1	Site preparation	1	Item	\$ 10,000.00	\$ 10,000.00	
1.2	Stripping of topsoil and stockpiling	154360	m2	\$ 1.30	\$ 200,668.00	Assumed average depth of 200mm
1.3	Excavation: Bulk excavation of soil to specified levels including cut, haulage, stockpiling (wetland 9, wetland 10, and RB).	111373	m3	\$ 34.20	\$ 3,808,953.25	Excavated material assumed to be disposed of off-site. Includes over-excavation to allow for clay liner in wetland and sediment basin (topsoil layer already removed).
1.4	Fill to form embankment for RB on southern side	6125	m3	\$ 15.00	\$ 91,875.00	
2	DRAINAGE				\$ 730,057.80	
2.1	BOX CULVERTS					
2.1.1	Box culvert units (Description)		No.	\$ -	\$ -	
2.1.2	Link slabs		No.	\$ -	\$ -	
2.1.3	Foundation slab		m2	\$ -	\$ -	
2.1.4	Other (Description)		Item	\$ -	\$ -	
2.2	DRAINAGE PIPES					
Wetland 9						
2.2.1	Drainage - pipes: Supply and install catchment stormwater main incl. excavation, crushed rock bedding and back fill.	280	LM	\$ 451.00	\$ 126,280.00	Stormwater main within the catchments and coming into RB. Note this has not been designed throughout the catchment yet. A nominal average pipe size of 900mm diam. has been adopted at this stage.
2.2.2	Drainage - pits: Allowance for pits located every 80m along stormwater main	4	No.	\$ 2,400.00	\$ 8,400.00	
2.2.3	Drainage - pits: Allowance to supply and install concrete headwall to suit pipe into sediment basin	1	No.	\$ 4,500.00	\$ 4,500.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.4	Drainage - pits: Allowance to supply and install sediment basin to wetland transfer pit including step irons and pipe grill lid arrangement	1	No.	\$ 7,500.00	\$ 7,500.00	Pit not sized at at concept level. Nominal pit allowed for.
2.2.5	Drainage - pipes: Supply and install RC transfer pipe (SB to WL inlet pool) incl excavation, crushed rock bedding and back fill	15	LM	\$ 450.00	\$ 6,750.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.6	Drainage - pits: Supply and install concrete headwall to suit Inlet pipe from sediment pond	1	No.	\$ 3,500.00	\$ 3,500.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.7	Drainage - pipes: Supply and install 300mm dia RC balance pipes incl excavation, crushed rock bedding and back fill	120	LM	\$ 237.00	\$ 28,440.00	
2.2.8	Drainage - pits: Supply and install submerged offtake pits (600mm x 600mm x 600mm) for balance pipes	2	No.	\$ 3,000.00	\$ 6,000.00	
2.2.9	Drainage - pits: Supply and install submerged offtake pit (900mm x 900mm x 900mm) for wetland outlet	1	No.	\$ 5,000.00	\$ 5,000.00	
2.2.10	Drainage - pipes: Supply and install 525mm diam RC pipe (submerged offtake to EDD control pit) incl excavation, crushed rock bedding and back fill	10	LM	\$ 400.00	\$ 4,000.00	
2.2.11	Drainage - pits: Supply and install twin chamber EDD control outlet pit with side-winder penstock, step irons and pipe grill lid	1	No.	\$ 15,000.00	\$ 15,000.00	
2.2.12	Drainage - pipes: Supply and install 525 mm dia pipe (from wetland control structure pit to waterway) incl excavation, crushed rock bedding and back fill	10	LM	\$ 400.00	\$ 4,000.00	
2.2.13	Drainage - pits: Supply and install water level gauge wetland outlet submerged pit	1	No.	\$ 1,000.00	\$ 1,000.00	
Wetland 10						
2.2.14	Drainage - pipes: Supply and install catchment stormwater main incl. excavation, crushed rock bedding and back fill.	685	LM	\$ 451.00	\$ 308,935.00	Stormwater main within the catchments and coming into RB. Note this has not been designed throughout the catchment yet. A nominal average pipe size of 900mm diam. has been adopted at this stage.
2.2.15	Drainage - pits: Allowance for pits located every 80m along stormwater main	9	No.	\$ 2,400.00	\$ 20,550.00	
2.2.16	Drainage - pits: Allowance to supply and install concrete headwall to suit pipe into sediment basin	1	No.	\$ 4,500.00	\$ 4,500.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.17	Drainage - pits: Allowance to supply and install sediment basin to wetland transfer pit including step irons and pipe grill lid arrangement	1	No.	\$ 7,500.00	\$ 7,500.00	Pit not sized at at concept level. Nominal pit allowed for.
2.2.18	Drainage - pipes: Supply and install RC transfer pipe (SB to WL inlet pool) incl excavation, crushed rock bedding and back fill	15	LM	\$ 450.00	\$ 6,750.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.19	Drainage - pits: Supply and install concrete headwall to suit Inlet pipe from sediment pond	1	No.	\$ 3,500.00	\$ 3,500.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.2.20	Drainage - pipes: Supply and install 300mm dia RC balance pipes incl excavation, crushed rock bedding and back fill	140	LM	\$ 237.00	\$ 33,180.00	
2.2.21	Drainage - pits: Supply and install submerged offtake pits (600mm x 600mm x 600mm) for balance pipes	2	No.	\$ 3,000.00	\$ 6,000.00	
2.2.22	Drainage - pits: Supply and install submerged offtake pit (900mm x 900mm x 900mm) for wetland outlet	1	No.	\$ 5,000.00	\$ 5,000.00	
2.2.23	Drainage - pipes: Supply and install 525mm diam RC pipe (submerged offtake to EDD control pit) incl excavation, crushed rock bedding and back fill	10	LM	\$ 400.00	\$ 4,000.00	
2.2.24	Drainage - pits: Supply and install twin chamber EDD control outlet pit with side-winder penstock, step irons and pipe grill lid	1	No.	\$ 15,000.00	\$ 15,000.00	
2.2.25	Drainage - pipes: Supply and install 525 mm dia pipe (from wetland control structure pit to constructed waterway) incl excavation, crushed rock bedding and back fill	39	LM	\$ 400.00	\$ 15,600.00	
2.2.26	Drainage - pits: Supply and install water level gauge wetland outlet submerged pit	1	No.	\$ 1,000.00	\$ 1,000.00	
Retarding basin						
2.2.26	Drainage - pits: Supply and install RB outfall pit	1	No.	\$ 10,000.00	\$ 10,000.00	
2.2.27	Drainage - pipes: Supply and install retarding basin outfall pipe incl excavation, crushed rock bedding and back fill	40	LM	\$ 450.00	\$ 18,000.00	Pipes not sized at concept level. Nominal pipe size allowed for. 1wc pipes; to connect with the two existing railway culverts. Pipe to end at edge of railway reserve.
2.2.28	Drainage - pits: Supply and install concrete headwall to suit RB outfall pipe	1	No.	\$ 3,000.00	\$ 3,000.00	Pipes not sized at concept level. Nominal pipe size allowed for.
2.3	CONCRETE WORKS					
Wetland 9						
2.3.1	Supply and install reinforced N32 grade concrete, 150 mm deep, extending 300mm vertically up batter, to form sediment basin base	42	m3	\$ 350.00	\$ 14,697.00	
2.3.2	Concrete weir/sill: Allowance to supply and install reinforced N32 grade concrete to form sediment basin to wetland spillway weir/sill to Melbourne Water standard specification 7251/8/108	1	Item	\$ 3,250.00	\$ 3,250.00	
Wetland 10						
2.3.3	Supply and install reinforced N32 grade concrete, 150 mm deep, extending 300mm vertically up batter, to form sediment basin base	74	m3	\$ 350.00	\$ 26,063.10	
2.3.4	Concrete weir/sill: Allowance to supply and install reinforced N32 grade concrete to form sediment basin to wetland spillway weir/sill to Melbourne Water standard specification 7251/8/108	1	Item	\$ 3,250.00	\$ 3,250.00	
3	ROCK WORKS				\$ 86,700.00	
Wetland 9						
3.1	Sediment Pond: Supply and install 4m wide sediment basin maintenance access ramp, including sub base preparation. 200mm depth - bottom layer is 100mm dept of 0-100mm FCR, top layer is 100mm of 0-40 NDCR (6% cement stabilised below NWL).	8	m3	\$ 200.00	\$ 1,600.00	
3.2	Allowance for supply and install well graded D50=400mm rock to form sediment basin to wetland spillway	1	Unit	\$ 10,000.00	\$ 10,000.00	
3.3	Geofabric: Allowance for supply and install geofabric (Bidim A44 or equivalent) for all rockwork	1	Unit	\$ 500.00	\$ 500.00	4m wide roll, include allowance for overlap

3.4	Supply and installation of rockwork at sediment basin and wetland inlet pipes	2	Item	\$ 1,500.00	\$ 3,000.00	
Wetland 10						
3.5	Sediment Pond: Supply and install 4m wide sediment basin maintenance access ramp, including sub base preparation. 200mm depth - bottom layer is 100mm dept of 0-100mm FCR, top layer is 100mm of 0-40 NDCR (6% cement stabilised below NWL)	8	m3	\$ 200.00	\$ 1,600.00	
3.6	Allowance for supply and install well graded D50=400mm rock to form sediment basin to wetland spillway	1	Unit	\$ 10,000.00	\$ 10,000.00	
3.7	Geofabric: Allowance for supply and install geofabric (Bidim A44 or equivalent) for all rockwork	1	Unit	\$ 500.00	\$ 500.00	4m wide roll, include allowance for overlap
3.8	Supply and installation of rockwork at sediment basin and wetland inlet pipes	2	Item	\$ 1,500.00	\$ 3,000.00	
Retarding basin						
3.9	Supply and install rockwork to RB outfall	1	Item	\$ 1,500.00	\$ 1,500.00	
3.10	Allowance for supply and install rockwork for RB high flow spillway (above 1% AEP peak flow)	1	Unit	\$ 50,000.00	\$ 50,000.00	
3.11	Geofabric: Allowance for supply and install geofabric (Bidim A44 or equivalent) for all rockwork	1	Unit	\$ 5,000.00	\$ 5,000.00	4m wide roll, include allowance for overlap
4 CLAY LINER					\$ 649,147.20	
Wetland 9						
4.1	Sediment Basin: Placement of 300 mm compacted clay liners for sediment basin (allow to source off site)	998	m2	\$ 20.20	\$ 20,159.60	Up to TED
4.2	Wetland: Placement of 300 mm compacted clay liners for wetland (allow to source off site)	9,835	m2	\$ 20.20	\$ 198,667.00	Up to TED
Wetland 10						
4.3	Sediment Basin: Placement of 300 mm compacted clay liners for sediment basin (allow to source off site)	1,716	m2	\$ 20.20	\$ 34,663.20	Up to TED
4.4	Wetland: Placement of 300 mm compacted clay liners for wetland (allow to source off site)	19,587	m2	\$ 20.20	\$ 395,657.40	Up to TED
5 TOPSOIL					\$ 493,287.96	
Wetland 9						
5.1	Sediment basin: Re spread 200 mm topsoil for planting areas	612	m2	\$ 3.30	\$ 2,017.95	Assumed site topsoil is used, with 20% allowance for imported topsoil
5.2	Wetland: Re spread 200 mm topsoil for planting areas	8,983	m2	\$ 3.30	\$ 29,645.22	Assumed site topsoil is used, with 20% allowance for imported topsoil. Includes ephemeral area for wetland/SB as these are connected
Wetland 10						
5.3	Sediment basin: Re spread 200 mm topsoil for planting areas	1,027	m2	\$ 3.30	\$ 3,387.45	Assumed site topsoil is used, with 20% allowance for imported topsoil
5.4	Wetland: Re spread 200 mm topsoil for planting areas	17,778	m2	\$ 3.30	\$ 58,666.74	Assumed site topsoil is used, with 20% allowance for imported topsoil. Includes ephemeral area for wetland/SB as these are connected
5.5	Retarding basin: Re spread 200 mm topsoil for planting areas	121,082	m2	\$ 3.30	\$ 399,570.60	Assumed site topsoil is used, with 20% allowance for imported topsoil. Internal path area removed from total area
6 AQUATIC PLANTING					\$ 2,529,854.00	
Wetland 9						
6.1	Supply and install aquatic plants	9,595	m2	\$ 14.50	\$ 139,126.05	For both sediment basin and wetland
6.2	WUSB: Supply and install heavy jute mat (800gsm) pre-slit at density 6/m2 in wetland and sediment basin, including overlap of matting (300mm longitudinally/direction of flow), 150mm vertically	2,007	m2	\$ 10.00	\$ 20,072.00	NWL to TED area for wetland and SB. Allowance for overlap.
6.3	Supply, install and maintain plant protection netting for a selected species in the aquatic zones.	1	No.	\$ 20,000.00	\$ 20,000.00	
Wetland 10						
6.4	Supply and install aquatic plants	18,804	m2	\$ 14.50	\$ 272,662.35	For both sediment basin and wetland
6.5	WUSB: Supply and install heavy jute mat (800gsm) pre-slit at density 6/m2 in wetland and sediment basin, including overlap of matting (300mm longitudinally/direction of flow), 150mm vertically	2,382	m2	\$ 10.00	\$ 23,816.00	NWL to TED area for wetland and SB. Allowance for overlap.
6.6	Supply, install and maintain plant protection netting for a selected species in the aquatic zones.	1	No.	\$ 20,000.00	\$ 20,000.00	
6.7	RB: Supply and install terrestrial planting	121,082	m2	\$ 16.80	\$ 2,034,177.60	RB planting (above path in RB)
7 PUMPING					\$ -	
7.1	Supply and installation of rising main		LM	\$ 200.00	\$ -	
7.2	Supply and installation of pumping station		Item	\$ 170,000.00	\$ -	
7.3	Provision of electricity supply to pump station switchboard from nominated point of supply, supply and installation of electrical switchboard, connection of power and associated fees.		Item	\$ 2,500.00	\$ -	
8 LANDSCAPE					\$ 396,902.60	
8.1	Landscaping: Supply and install 4m wide RB perimeter concrete access path	4580	m2	\$ 61.90	\$ 283,502.00	
8.2	Wetland 9: Landscaping: Supply and install 3m wide wetland/SB perimeter gravel access path within RB (thickness 150mm)	1449	m2	\$ 33.10	\$ 47,961.90	
8.3	Wetland 10: Landscaping: Supply and install 3m wide wetland/SB perimeter gravel access path within RB (thickness 150mm)	1977	m2	\$ 33.10	\$ 65,438.70	
9 MISCELLANEOUS					\$ 141,800.00	
Wetland 9						
9.1	Civil Works Defects Maintenance incl pits, pipes and rockwork – 1 year	12	Month	\$ 2,500.00	\$ 30,000.00	
9.2	3 months Plant Establishment maintenance period of all soft landscape works including watering of plants and trees during establishment, weed control of all planted areas	3	Month	\$ 2,000.00	\$ 6,000.00	
9.3	24 month Plant Maintenance period of all soft landscape works including watering of plants and trees during establishment, weed control of all planted areas as per specification.	24	Month	\$ 750.00	\$ 18,000.00	
9.4	Allowance for timber bollards	2	No.	\$ 200.00	\$ 400.00	
9.5	Allowance for seats	2	No.	\$ 2,500.00	\$ 5,000.00	
9.6	WUSB: Install habitat logs approx. 4.0m long (no securing required) to wetland area.	2	No.	\$ 5,000.00	\$ 10,000.00	
9.7	Fencing: Supply and install timber post and rail fencing around sediment basin pipe inlet headwall	1	No.	\$ 1,500.00	\$ 1,500.00	
Wetland 10						
9.8	Civil Works Defects Maintenance incl pits, pipes and rockwork – 1 year	12	Month	\$ 2,500.00	\$ 30,000.00	
9.9	3 months Plant Establishment maintenance period of all soft landscape works including watering of plants and trees during establishment, weed control of all planted areas.	3	Month	\$ 2,000.00	\$ 6,000.00	
9.10	24 month Plant Maintenance period of all soft landscape works including watering of plants and trees during establishment, weed control of all planted areas as per specification.	24	Month	\$ 750.00	\$ 18,000.00	
9.11	Allowance for timber bollards	2	No.	\$ 200.00	\$ 400.00	
9.12	Allowance for seats	2	No.	\$ 2,500.00	\$ 5,000.00	
9.13	WUSB: Install habitat logs approx. 4.0m long (no securing required) to wetland area.	2	No.	\$ 5,000.00	\$ 10,000.00	
9.14	Fencing: Supply and install timber post and rail fencing around sediment basin pipe inlet headwall	1	No.	\$ 1,500.00	\$ 1,500.00	
10 OTHER					\$ -	
10.1			Item	\$ -	\$ -	
SUB-TOTAL WORKS					\$ 9,139,245.81	
11 DELIVERY						
11.1	Council Fees	3.25	%		\$ 297,025.49	
11.2	VicRoads Fees	1	%		\$ 91,392.46	
11.3	Traffic Management	5	%		\$ 456,962.29	

11.4	Environmental Management	0.5	%		\$ 45,696.23	
11.5	Survey/Design	5	%		\$ 456,962.29	
11.6	Supervision & Project Management	9	%		\$ 822,532.12	
11.7	Site Establishment	2.5	%		\$ 228,481.15	
11.8	Contingency	35	%		\$ 3,198,736.03	
SUB-TOTAL DELIVERY					\$ 5,597,788.06	
12	TOTAL ESTIMATED COST				\$ 14,737,033.87	

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9.3.11 Waterway

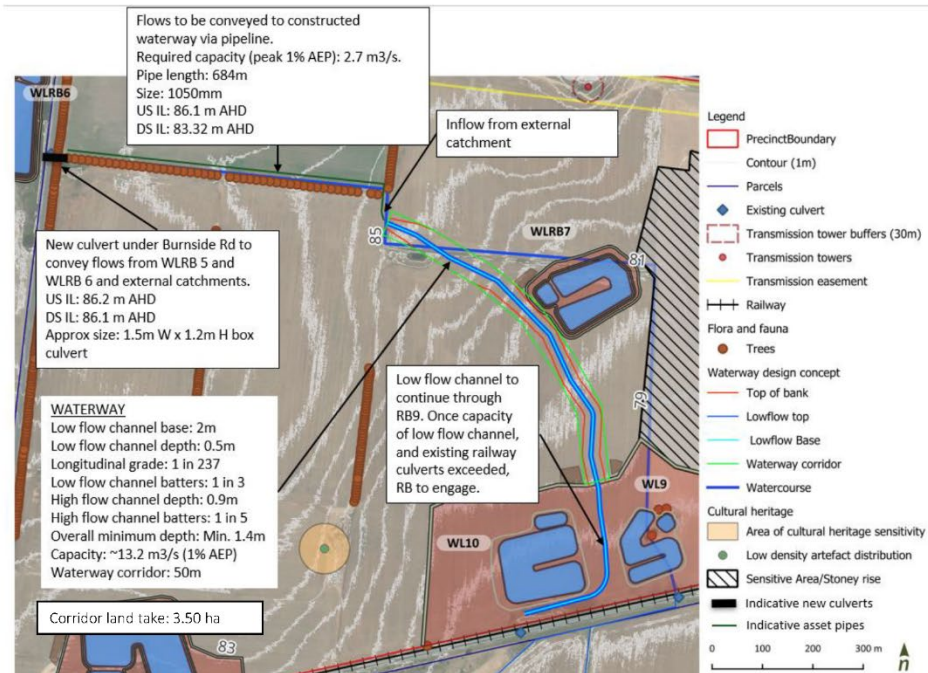


Figure 39. Waterway concept design

Waterway 1- Cost Estimate

Item	Description	Quantity	Unit	Rate \$	Amount \$	Comments
WORKS						
1	SITEWORKS AND EARTHWORKS				\$ 2,006,685.62	
1.1	Site preparation	1	Item	\$ 10,000.00	\$ 10,000.00	
1.2	Earthworks		m3		\$ -	
1.3	Diversion works		Item		\$ -	
1.4	Waterway re-shaping		Item		\$ -	
1.5	Stripping of topsoil and stockpiling	35000	m2	\$ 1.30	\$ 45,500.00	Assumed average depth of 200mm - for all of Waterway corridor outside of RB9
1.6	Excavation: Bulk excavation of soil to specified levels including cut, haulage, stockpiling	57052	m3	\$ 34.20	\$ 1,951,185.62	Assume disposed offsite. Volumes of channel outside of RB9+low flow channel within RB9 (from RB9 base).
1.7	Formation of batters	0	m3	\$ 15.00	\$ -	Filling and compaction to design levels and compaction in designated areas using selected materials from the excavation.
1.8	Other (Description)		Item		\$ -	
2	DRAINAGE				\$ 792,721.12	
2.1	BOX CULVERTS					
2.1.1	Supply and install box culverts for new culvert under Burnside Road. 1 x 1500mm W x 1200mm H.	36	lin. M	\$ 2,000.00	\$ 72,000.00	Culvert under Burnside Road, conveying flows from WLRB5, WLRB6 and external catchments
2.1.2	Foundation slab: Burnside Road crossing (assumed 300mm thick)	18.36	m3	\$ 360.00	\$ 6,609.60	
2.1.3	Supply and install headwall for Burnside Rd crossing to suit culverts (upstream and downstream)	4.96	m3	\$ 3,037.00	\$ 15,063.52	
2.2	DRAINAGE PIPES					
2.2.1	Drainage - pipes: Supply and install 1350mm dia RC balance pipes incl excavation, crushed rock bedding and back fill	684	LM	\$ 1,022.00	\$ 699,048.00	Pipe connecting Burnside Road to start of constructed waterway. In lieu of a constructed waterway.
2.2.3	Drainage - pits:		No.		\$ -	
2.2.3	Drainage - Sub-soil drainage		LM		\$ -	
2.2.4	Drainage - Miscellaneous(Description)		Item		\$ -	
2.3	CONCRETE WORKS					
2.3.1	Apron slab		m2		\$ -	
2.3.2	Wing wall		m2		\$ -	
2.3.3	Headwall above culverts		m2		\$ -	
2.3.4	Supply and install reinforced N32 grade concrete		m3		\$ -	
2.4	ON-STRUCTURE WORKS					
2.4.1	Backfill above drainage structure		m3		\$ -	Included in pipe rates
2.4.2	Other (Description)		Item		\$ -	
2.5	OUTLET STRUCTURE					
2.5.1	Major Outlet pit structure		Item		\$ -	Included in pipes
3	ROCK WORKS				\$ 109,080.00	
3.1	Rockwork: Supply and install well graded rock to form rock chute at start of waterway	540	m3	\$ 197.00	\$ 106,380.00	Allowance for rock at start of waterway. Rock chute not sized at concept stage.
3.2	Geofabric: Supply and install geofabric (Bidim A44 or equivalent) for all rockwork	270	lin.m	\$ 10.00	\$ 2,700.00	4m wide roll, includes allowance for overlap, for all rock areas
4	CLAY LINER				\$ -	
4.1	Pools: Placement of 300 mm compacted clay liners		m3	\$ 32.00	\$ -	Assume no lining required
5	TOPSOIL				\$ 115,500.00	
5.1	Waterway: Re spread 200 mm topsoil for planting areas	35,000	m2	\$ 3.30	\$ 115,500.00	Allowance for whole waterway corridor (outside of RB9)
6	PLANTING				\$ 384,430.00	
6.1	Plants: Supply and install aquatic planting (600cm3 tube, 2/m2).	24,340	m2	\$ 14.50	\$ 352,930.00	Entire waterway length to top of bank (or low flow channel width in RB9)
6.3	Plants: Supply and install terrestrial planting (90cm3 tube, 4/m2).	12,600	No.	\$ 2.50	\$ 31,500.00	In corridor
6.4	Planting: Supply and install grass (seed) upper bank planting (above 1% AEP)	0	m2		\$ -	Above 1% AEP design flow
7	PUMPING				\$ -	
7.1	Supply and installation of rising main		LM	\$ 200.00	\$ -	
7.2	Supply and installation of pumping station		Item	\$ 170,000.00	\$ -	
7.3	Provision of electricity supply to pump station switchboard from nominated point of supply, supply and installation of electrical switchboard, connection of power and associated fees.		Item	\$ 2,500.00	\$ -	
8	LANDSCAPE				\$ 116,062.50	
8.1	Landscaping: Supply and install 3m wide waterway concrete shared path on one side of waterway (thickness 150mm)	1875	m2	\$ 61.90	\$ 116,062.50	TBC with council/VPA
9	MISCELLANEOUS				\$ 64,800.00	
9.1	Civil Works Defects Maintenance incl pits, pipes and rockwork - 1 year	12	Month	\$ 2,500.00	\$ 30,000.00	
9.2	3 months Plant Establishment maintenance period of all soft landscape works including watering of plants and trees during establishment, weed control of all planted areas.	3	Month	\$ 2,000.00	\$ 6,000.00	
9.3	24 month Plant Maintenance period of all soft landscape works including watering of plants and trees during establishment, weed control of all planted areas as per specification.	24	Month	\$ 750.00	\$ 18,000.00	
9.4	Allowance for timber bollards	4	No	\$ 200.00	\$ 800.00	
9.5	Allowance for seats	4	No	\$ 2,500.00	\$ 10,000.00	
10	OTHER				\$ -	
10.1			Item		\$ -	
SUB-TOTAL WORKS					\$ 3,589,279.24	
11	DELIVERY					
11.1	Council Fees	3.25	%		\$ 116,651.58	
11.2	VicRoads Fees	1	%		\$ 35,892.79	
11.3	Traffic Management	5	%		\$ 179,463.96	
11.4	Environmental Management	0.5	%		\$ 17,946.40	
11.5	Survey/Design	5	%		\$ 179,463.96	
11.6	Supervision & Project Management	9	%		\$ 323,035.13	
11.7	Site Establishment	2.5	%		\$ 89,731.98	
11.8	Contingency	35	%		\$ 1,256,247.73	
SUB-TOTAL DELIVERY					\$ 2,198,433.53	
12	TOTAL ESTIMATED COST				\$ 5,787,712.77	

9.3.12 DR-01 and DR02

For estimate of compensation related to the application of Public Acquisition Overlay on parts of 449 Burnside Road and Harvey Road, Bannockburn refer to *Memorandum – Bannockburn South East Precinct Structure Plan for 449 Burnside Road and Harvey Road, Bannockburn* (Charter Keck Cramer, March 2025).

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