

Merrifield North Precinct

PSP 2.0

Precinct Structure Plan

Wurundjeri Woi-wurrung Country

August 2026



ACKNOWLEDGMENT OF COUNTRY

The Victorian Planning Authority proudly acknowledges the First Peoples of Victoria. We acknowledge their ongoing strength in practising the world's oldest living culture.

The Merrifield North Precinct Structure Plan applies to the traditional Country of the Wurundjeri Woi-wurrung. We acknowledge the Wurundjeri Woi-wurrung as the Traditional Owners and custodians of their unceded Country, and pay our respects to their Elders past, present and emerging. We acknowledge their continuing connection to and care for this land, waters and skies, and recognise their inherent right to speak and make decisions for Country. We recognise the long-lasting, far-reaching and intergenerational consequences of colonisation and dispossession, and that the impacts of these continue today.

We also acknowledge the diversity of First Peoples' communities associated with this Country, and the hard work of many generations of First Peoples who have fought for their rights to be recognised. First Peoples' self-determination is a human right enshrined in the United Nations Declaration on the Rights of Indigenous Peoples. Victoria's early land use planning and development laws and processes disregarded the input, interests, rights, and perspectives of First Peoples. Through this Plan, we seek to build genuine partnership with the Wurundjeri Woi-wurrung to support self-determination and better outcomes for First Peoples. During the implementation of this Plan, we encourage the Responsible Authority to work in partnership with Traditional Owners to acknowledge this.

ACCESSIBILITY

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CONTENTS

ACKNOWLEDGMENT OF COUNTRY	1
ACCESSIBILITY	1
1 CONTEXT	4
1.1 How to read this document	4
1.2 Function of the PSP	5
1.3 Regional context	5
1.4 Precinct features	8
1.5 Cultural & historical context	8
1.5.1 Cultural context	8
1.5.2 Historical context	9
1.6 Strategic policy context	9
1.7 Infrastructure contributions plan (ICP)	9
1.8 Background information	9
2 PSP OUTCOMES	10
2.1 PSP vision	10
2.2 PSP purpose	11
3 IMPLEMENTATION	14
3.1 Connect people to jobs and higher order services	14
3.1.1 Objectives – Connect people to jobs and higher order services	14
3.1.2 Requirements and guidelines – Connect people to jobs and higher order services	14
3.2 Safe, accessible, and well-connected	17
3.2.1 Objectives – Safe, accessible, and well-connected	17
3.2.2 Requirements and guidelines – Safe, accessible, and well-connected	17
3.3 High quality public realm	20
3.3.1 Objectives – High quality public realm	20
3.3.2 Requirements and guidelines – High quality public realm	20
3.4 Infrastructure coordination	31
3.4.1 Objectives – Infrastructure coordination	31
3.4.2 Requirements and guidelines – Infrastructure coordination	31
4 APPENDICES	34
APPENDIX 1 PRECINCT INFRASTRUCTURE PLAN	34

APPENDIX 2	SUMMARY LAND USE BUDGET & PROPERTY-SPECIFIC LAND USE BUDGET	42
APPENDIX 3	ROAD CROSS SECTIONS & FUNCTIONAL LAYOUT PLANS	46
APPENDIX 4	CONSERVATION AREA CONCEPT PLAN.....	53
APPENDIX 5	GLOSSARY OF TERMS.....	54

FIGURE

Figure 1 PSP performance summary	13
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TABLES

Table 1 Anticipated employment generation table.....	15
Table 2 Open space delivery.....	25
Table 3 Water infrastructure.....	26
Table 4 Precinct infrastructure	39
Table 5 Summary land use budget.....	44
Table 6 Parcel-specific land use budget.....	45

PLANS

Plan 1 Regional Context.....	7
Plan 2 Place Based Plan	12
Plan 3 Employment & Activity Centres	16
Plan 4 Movement & Network.....	19
Plan 5 Public Realm	27
Plan 6 Water	28
Plan 7 Native Vegetation Retention & Removal.....	29
Plan 8 Bushfire.....	30
Plan 9 Precinct Infrastructure Plan	35
Plan 10 Land Use Budget.....	36
Plan 11 Environmental Constraints.....	37
Plan 12 Infrastructure & Development Staging.....	38

1 CONTEXT

Part 1 defines the role and function of the PSP. It is an overview of the spatial, cultural, and strategic context. This section should simply inform, rather than facilitate or prescribe any action.

Part 2 sets out the desired intent of the PSP. It should state what the end-product will achieve. This section should not specify actions or requirements.

Part 3 prescribes what is to be done, and how. This section should deliver the outcomes described in Part 2, having regard to the spatial, cultural, and strategic context identified in Part 1. This section should be specific and include objectives, requirements, and guidelines. This section should not introduce new concepts or strategic intent that has not been introduced in Parts 1 and 2.

Part 4 contains a series of appendices that provides necessary information (tables and plans) regarding technical aspects required to be delivered in a precinct as well as supplementary information to provide additional guidance regarding the implementation of the strategic outcomes and place-making elements of the PSP outlined in Parts 2 and 3 respectively.

1.1 How to read this document

The precinct structure plan (PSP) guides land use and development where a planning permit is required under the Urban Growth Zone (Clause 37.07 of the Hume City Council and Mitchell Shire Council Planning Scheme), or any other provision of the Hume City Council or Mitchell Shire Council Planning Scheme that references this PSP.

Part 1: Context

Part 1 contains the contextual overview of the PSP document and the function of individual components as well as infrastructure contributions required to deliver the precinct.

Part 2: PSP outcomes

Part 2 contains the outcomes this PSP is seeking to achieve.

A planning application and subsequent planning permit must implement the outcomes of the PSP.

The outcomes are expressed as:

- The **Vision** - the overarching unique place-based outcome intended for this PSP.
- The **Purpose** - how the PSP will facilitate the vision for the precinct.
- The **Place-based Plan** - outlines the intended urban structure for the precinct.

Part 3: Implementation

Part 3 contains the strategic land use context and place-making elements to be implemented for the precinct and responds to employment relevant 20-minute neighbourhood **hallmarks**.

The relevant hallmarks are implemented according to the following sub-structure:

- **PSP objectives:** The PSP identifies a set of place-based objectives to achieve the vision and purpose for the precinct. These provide the guidance required to achieve the specific outcomes sought for relevant hallmarks within the precinct.
- **PSP implementation and delivery:** The PSP provides guidance in the form of plans, tables and diagrams to help with interpretation and implementation of the requirements and guidelines.
- **PSP requirements:** Requirements must be adhered to in developing the land. Where they are not demonstrated in a permit application, requirements will usually be included as a condition on a planning permit whether or not they take the same wording as in the PSP. The responsible authority may consider alternatives only

where flexibility has been provided in the specific requirement. A requirement may reference a plan, table or figure in the PSP.

- **PSP guidelines:** Guidelines express how discretion will be exercised by the responsible authority in certain matters that require a planning permit. The responsible authority may consider an alternative to a guideline if it is satisfied that an application for an alternative, achieves the objective/s. A guideline may include or reference a plan, table or figure in the PSP.

Any objective, requirement or guideline applies to the whole PSP, and not just to the Hallmark under which it is nested. Meeting these requirements and guidelines will implement the vision, purpose and objectives of the PSP.

Part 4: Appendices

Part 4 contains the technical and administrative information required to support the implementation of the strategic land use context and place-making elements of the PSP. It includes tables, plans, diagrams and definitions. These include:

- Precinct infrastructure plan and table.
- Summary land use budget and property-specific land use budget.
- Cross-sections.
- Various concept plans (e.g. Biodiversity Conservation Strategy BCS23 and BCS34 conservation area, etc).
- Canopy street tree calculation methodology
- Glossary of terms.

Not every aspect of land use, development or subdivision is addressed in this PSP. A responsible authority may manage development and issue permits as relevant under its general discretion. The *Generally in Accordance Guidance Note* is available on the VPA website to provide direction in the application of discretion where a PSP applies.

Development must comply with all other relevant Acts and approvals.

Please note this Consultation Version of the PSP contains notes in **red** text that highlight where information is still forthcoming or where changes are expected after completion of technical work.

1.2 Function of the PSP

The function of the PSP is to:

- Provide the planning conditions for private industry delivery
- Identify and where appropriate, provide the shared funding for infrastructure, services and open space.

1.3 Regional context

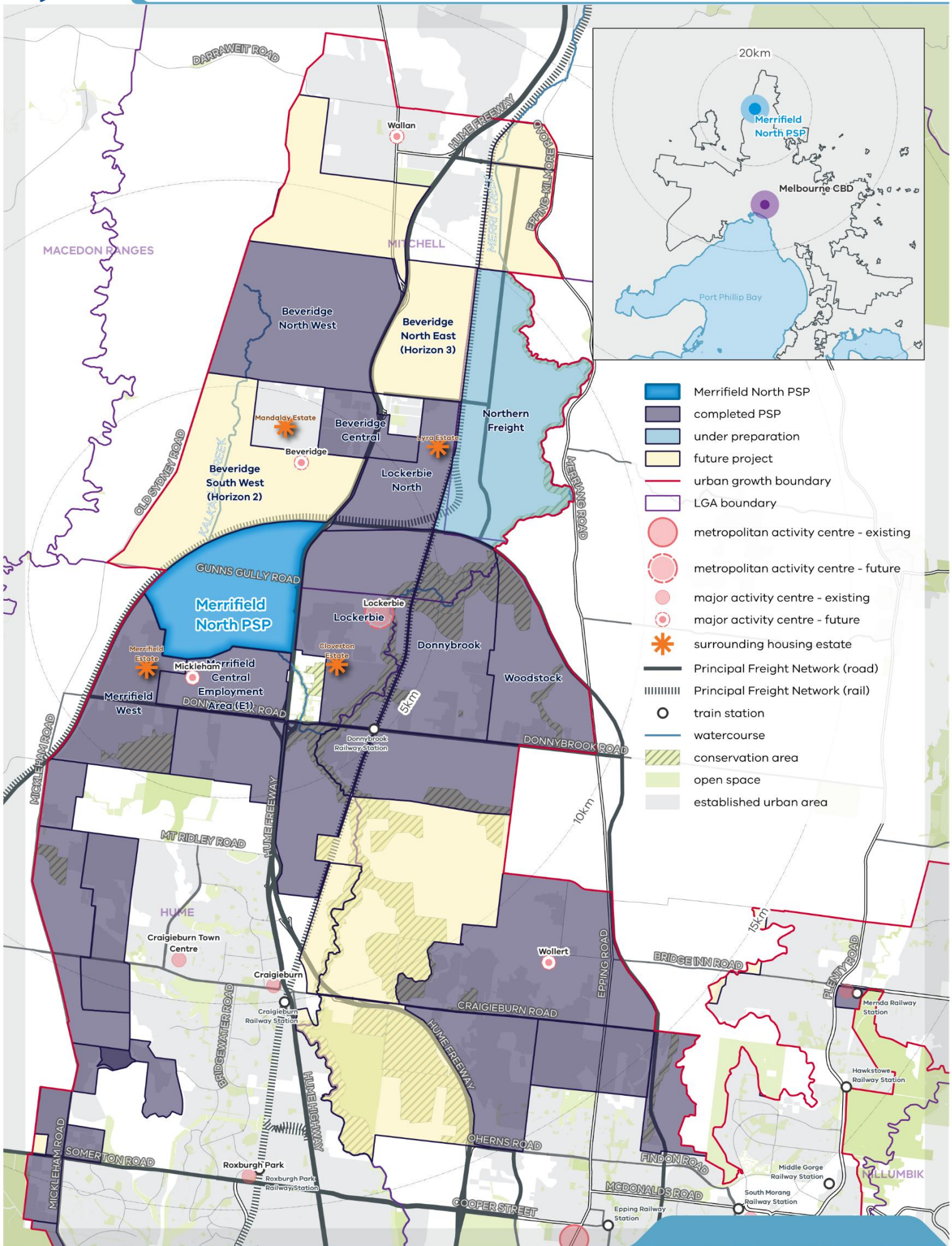
The Merrifield North Precinct (MNP) is located approximately 35 kilometres north-west of Melbourne's CBD, within the municipalities of Hume and Mitchell. The MNP is bordered by Merrifield Central Employment Area and Merrifield West to the South, the Hume Freeway and Lockerbie PSP to the east, the OMR and Beveridge South West PSP to the north, and the Urban Growth Boundary to the west. The North Growth Corridor Plan (NGCP), identified MNP as an employment precinct for "industrial and business" land uses.

The City of Hume and Mitchell Shire Council have both experienced rapid growth. The populations of Hume and Mitchell are expected to grow by an additional 44% to 412,000 and 218% to 221,636 respectively between 2026 and 2046. Rapid population growth has meant that the number of new residents has been growing faster than the rate of new jobs, and currently just over half of workers living in Hume and Mitchell commute out of their council area for work. Delivery of a new employment precinct centrally located close to existing, emerging and future residential areas provides an excellent opportunity to help reverse this trend.

The precinct's strategic location and access to transport infrastructure position it to support regional economic growth, attract investment, and generate ongoing employment opportunities.

The precinct will benefit from existing and planned transport and utility infrastructure and proximity to emerging residential communities in Mickleham, Kalkallo, Donnybrook, Craigieburn and Beveridge. The precinct will complement surrounding PSPs and employment areas, forming part of a broader regional economy that supports freight, logistics, manufacturing, and commercial activity. The precinct is also supported by regional open space networks and future activity centres that will provide services and amenities to workers and residents.

MNP is identified as a future State Significant Industrial Precinct (SSIP) in the Melbourne Industrial Commercial and Land Use Plan (MICLUP). It is centrally located in close proximity to several existing or planned State Significant Industrial Precincts (SSIP), including the existing Merrifield Central precinct and Folkstone Employment Area to the south, future Beveridge Interstate Freight Terminal (BIFT) and Wallan East (Part 2) to the north east.



1.4 Precinct features

Merrifield North is approximately 970ha in size and is situated on an undulating topography that slopes upwards from the west towards the Hume Freeway and downwards from the north towards Kalkallo Creek and other unnamed waterways. The precinct comprises 29 property titles held by both government agencies and private landowners, reflecting a diverse ownership pattern that will influence future development and infrastructure delivery.

The area contains several notable natural features including Kalkallo Creek, a significant environmental corridor through the precinct, scattered trees, stony undulating plains – predominantly in the eastern portion of the precinct, and wetlands. In addition, Biodiversity Conservation Strategy (BCS) areas 23 and 34, are located partially within the precinct to the south-east, contributing important habitat values that will require careful management as planning progresses.

Major infrastructure elements traverse or border the precinct, including Kalkallo Retarding Basin (KRB), located on land owned by Melbourne Water in the south-west, the Western Outer Ring Main (WORM) high-pressure gas pipeline and Gunns Gully Road, an east–west connection linking the site to the Hume Freeway. Public Acquisition Overlays (PAOs) apply across areas designated for the Outer Metropolitan Ring (OMR), the Hume Freeway, and Gunns Gully Road, signalling long-term state infrastructure reservations. Existing land uses are a mix of agricultural activity and established rural-residential properties.

The precinct is positioned adjacent to and partially includes the future marram baba Merri Creek Regional Parklands, which will provide significant ecological benefits to the wider region. Together, these environmental, infrastructural, and topographic characteristics shape the opportunities and constraints that will guide the future planning of Merrifield North.

1.5 Cultural & historical context

1.5.1 Cultural context

The Registered Aboriginal Party (RAP) for the precinct area is Wurundjeri Woi-wurrung Cultural Heritage Aboriginal Corporation (WWCHAC).

The Merrifield North precinct is land of deep cultural significance to the Wurundjeri Woi-wurrung people, whose connection to Country has informed preparation of the Merrifield North PSP.

Wurundjeri Woi-wurrung Cultural Heritage Aboriginal Corporation (WWCHAC) is the RAP for and on behalf of Wurundjeri Woi-wurrung People's. Wurundjeri Woi-wurrung People are recognised as the Traditional Owners of their lands and waters that extend north to Great Dividing Range and beyond, west to the Werribee River, south to Mordialloc Creek, and east to Mount Baw Baw. The WWCHAC aims to protect, preserve and revitalise Wurundjeri Woi-wurrung Culture and Country by caring for Country, maintaining an unbroken relationship with their lands and waterways, exercising cultural governance and ensuring the health of both Country and community. DTP NC has consulted with the Traditional Owners of the land to help ascertain the important cultural values within the precinct.

To be updated post completion of CVA and ACHIA

The DTP has consulted with the WWCHAC in relation to Aboriginal cultural heritage and values within the precinct. **The technical assessments for Merrifield North PSP, including an Aboriginal Cultural Heritage Impact Assessment (ACHIA) and Cultural Values Assessment (CVA), are still in progress.**

It is the intention that these elements aim to embed cultural recognition into the urban form, ensuring the precinct seeks to enhance the Wurundjeri Woi-wurrung people's history and continuing connection to Country.

1.5.2 Historical context

The precinct contains elements of European heritage, notably HO262 Bleak House (ruin) and HO395 Clifton Downs Homestead. Together, these cultural layers inform a planning approach that respects the Aboriginal and post-contact heritage, ensuring future development reflects the rich identity of the region.

1.6 Strategic policy context

This PSP is informed by:

- *A 10-Year Plan for Industrial Land (October 2025).*
- *Plan for Victoria (2025)*
- *Wurundjeri Corporation's Whole of Country Plan (2025).*
- *Victorian Freight Plan 2025-30*
- *A 10-Year Plan for Melbourne's Greenfields (2024)*
- *Victoria's Housing Statement – The decade ahead 2024-2034*
- *Economic Growth Statement – Victoria: Open for Business (December 2024)*
- *Precinct Structure Planning Guidelines: New Communities in Victoria (VPA) (2021).*
- *Melbourne Industrial and Commercial Land Use Plan (2020)*
- *Biodiversity Conservation Strategy and Sub Regional Species Strategies for Melbourne's Growth Areas (Department of Environment, Land, Water and Planning (June 2013)*
- Planning Policy Framework set out in the Hume and Mitchell Planning Schemes
- *North Growth Corridor Plan (2012)*

1.7 Infrastructure contributions plan (ICP)

This PSP is supported by the Merrifield North Precinct Infrastructure Contributions Plan (the ICP).

The ICP sets out the essential infrastructure requirements and expected contributions arrangements delivered as part of the planning permit process and is incorporated into the Hume and Mitchell Planning Schemes.

1.8 Background information

The Merrifield North PSP Background Report provides detailed information relating to the precinct, including its local and metropolitan context, history, landform and topography, biodiversity, cultural heritage and values, drainage, open space, transport infrastructure, and employment. The report details the technical information and rationale that has informed the place-based decisions and planning outcomes expressed in this PSP.

The technical studies are available at <https://vpa.vic.gov.au/project/merrifield-north/>

2 PSP OUTCOMES

2.1 PSP vision

Merrifield North will become a vibrant precinct that delivers high quality employment land, supports job creation and celebrates Aboriginal cultural heritage and values. Its identity will be shaped by its cultural heritage through design and meaningful cultural interpretation that seeks to embrace the natural character of its landscape and retain a deep connection between the precinct's identity and the land it is located on. Workers and visitors will experience a welcoming environment with meaningful cultural interpretation embedded throughout the precinct's waterways, parks, paths, and gathering places.

Merrifield North will be a contemporary, high quality employment precinct, providing critically needed employment land for Melbourne's northern region, supporting in excess of 4,700 future jobs. A mix of industrial and supporting commercial land uses will create a diverse and resilient economic base with capacity to adapt and evolve over time and act as a catalyst for broader economic development in the region. Merrifield North will be a State Significant Industrial Precinct (SSIP), benefitting from its proximity to other adjoining key employment centres, including the Northern Freight Precinct, and direct connection to the future Outer Metropolitan Ring Road (OMR). High amenity and well serviced streets and high-quality built form will ensure daily needs are easily accessible, reinforcing the precinct as a desirable place to work and invest.

The natural environment—particularly Kalkallo Creek, the Kalkallo Retarding Basin, and nearby Biodiversity Conservation Areas—will form the cultural and ecological heart of the precinct. These areas will be restored as interconnected natural corridors that support habitat, improve biodiversity, offer accessible open spaces and support onsite water management. Additionally, they will form a direct link between the precinct and the future marram baba Merri Creek Regional Park ensuring a strong connection between the built and natural realms. Carefully considered interfaces between employment land uses and natural features will be implemented to minimise the impact of employment activities on the natural realm. Integrated Water Management (IWM) approaches will ensure stormwater from industrial development is diverted away from waterways to be treated and managed before being integrated into attractive wetlands, waterways and creek edge landscapes. Preserving and incorporating significant trees into areas of open space and retaining valued internal and external view lines seeks to further protect the natural realm while improving amenity and enhancing biodiversity.

Strategic transport connections including the widening of Gunns Gully Road and development of Gunns Gully Road Interchange and Aitken Boulevard will provide reliable access throughout the precinct and the wider northern region. Efficient and accessible public transport will be established along Aitken Boulevard, providing much needed public transport access to the precinct and link precincts and suburbs across the North Growth Corridor. Additionally, improved east west accessibility along Gunns Gully Road will connect the precinct to the proposed Cloverton Metropolitan Activity Centre and Cloverton train station, east of the precinct. A well-designed movement network will balance efficient freight access with safe, comfortable routes for pedestrians and cyclists, supported by shaded paths, protected bike lanes, and footpaths. This integrated transport system will help anchor the precinct as a significant employment destination within the North Growth Corridor.

Merrifield North will be a place where industry, ecology, culture, and community come together. Featuring natural systems, high quality urban design, and strategic infrastructure integration, the precinct will provide employment, environmental benefits, and a strong cultural identity—establishing it as a leading employment hub in Melbourne's north.

2.2 PSP purpose

The PSP seeks to:

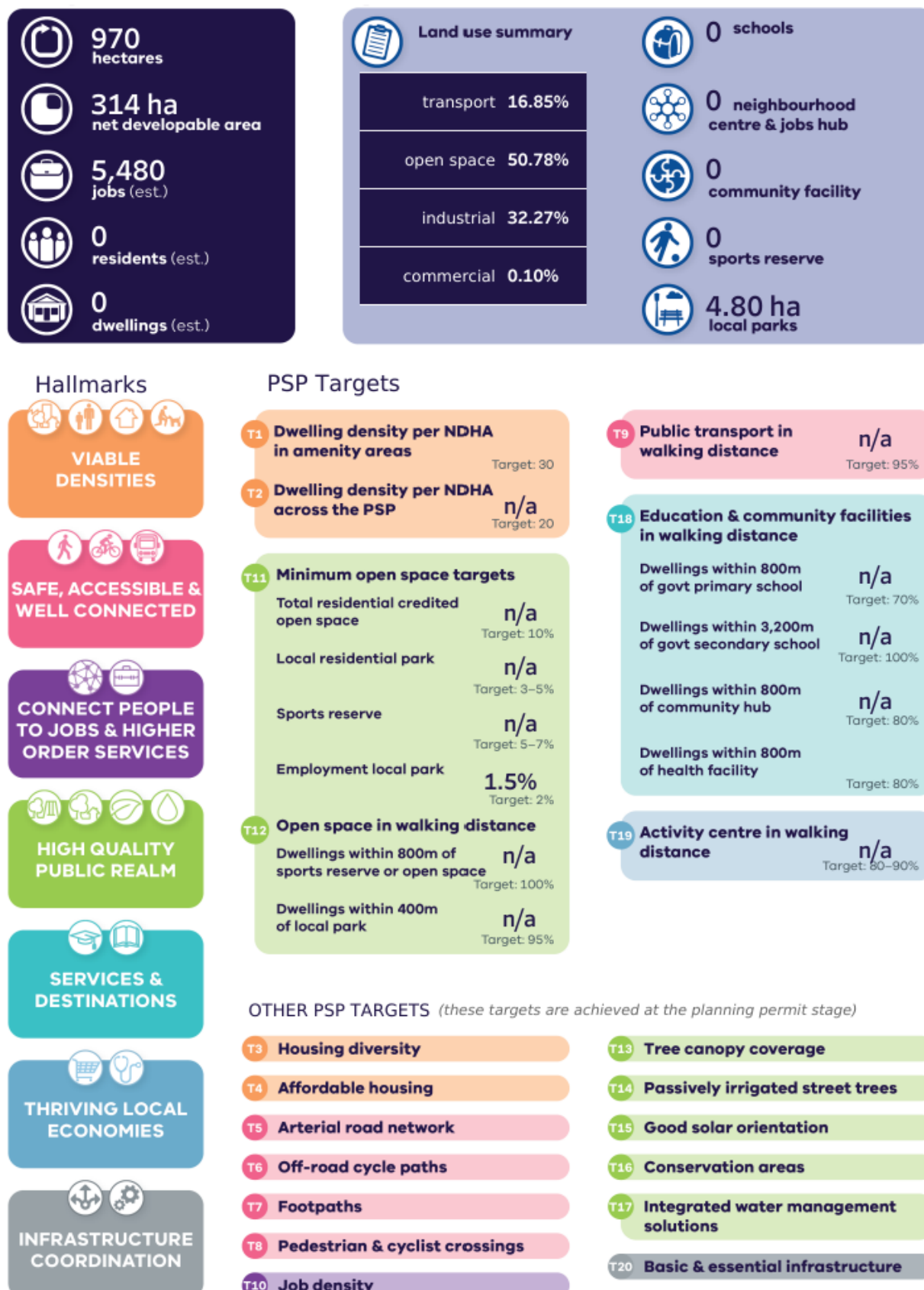
- 1 Support development of an employment precinct that maximises NDA and attracts a range of economic development opportunities, industries, and jobs to the region.**
- 2 Create a transport network that connects people to jobs and services efficiently.**
- 3 Determine and respond to cultural heritage and environmental values of the area.**
- 4 Manage water and drainage solutions on site efficiently while protecting the natural environment.**

-  precinct boundary
-  LGA boundary
-  OMR interface/ outer boundary
-  urban growth boundary
-  existing watercourse
-  sediment basins
-  drainage channels
-  Kalkallo Retarding Basin
-  local convenience centre
-  employment
-  credited open space
-  waterway & drainage within conservation area
-  conservation area (BCS Areas 23 and 34)
-  other uncredited open space - subject to change
-  freeway
-  primary arterial road (6 lane)
-  secondary arterial road (4 lane)
-  connector street
-  key local access street
-  Heritage Overlay
-  Public Acquisition Overlay
-  Gunns Gully Road Interchange
-  gas pipeline
-  gas pipeline easement
-  Area of Consequence (65 metres from the gas pipeline)
-  Measurement Length (526m from the gas pipeline)

- 1 Drainage channels and sediment ponds subject to Melbourne Water DSS finalisation
- 2 Eastern Arterial Road/Aitken Boulevard - final alignment and design to be determined
- 3 Gunns Gully Road/Western Arterial Road/OMR interchange final alignment and design to be determined
- 4 OMR Interface/ boundary is to be refined through further technical work
- 5 HO262 (Hume)
- 6 Proposed Heritage Overlay



Figure 1 PSP performance summary



3 IMPLEMENTATION

3.1 Connect people to jobs and higher order services

3.1.1 Objectives – Connect people to jobs and higher order services

OBJECTIVES	IMPLEMENTATION TOOLS
O1 To increase access to a range of job opportunities and services through high-quality, integrated transport networks.	R3, R4, R5, R6
O2 To facilitate development of Merrifield North as a State-Significant Industrial Precinct (SSIP) that supports industry and fosters growth and innovation.	R1, R2, G1
O3 To ensure Merrifield North supports a flexible and adaptable urban structure that facilitates long-term investment and evolving employment functions.	R1, R2, G1
O4 To ensure employment land is well-integrated with the surrounding environment and the location, scale and intensity of commercial and industrial activity is compatible with adjoining land uses.	R1, R2, G1

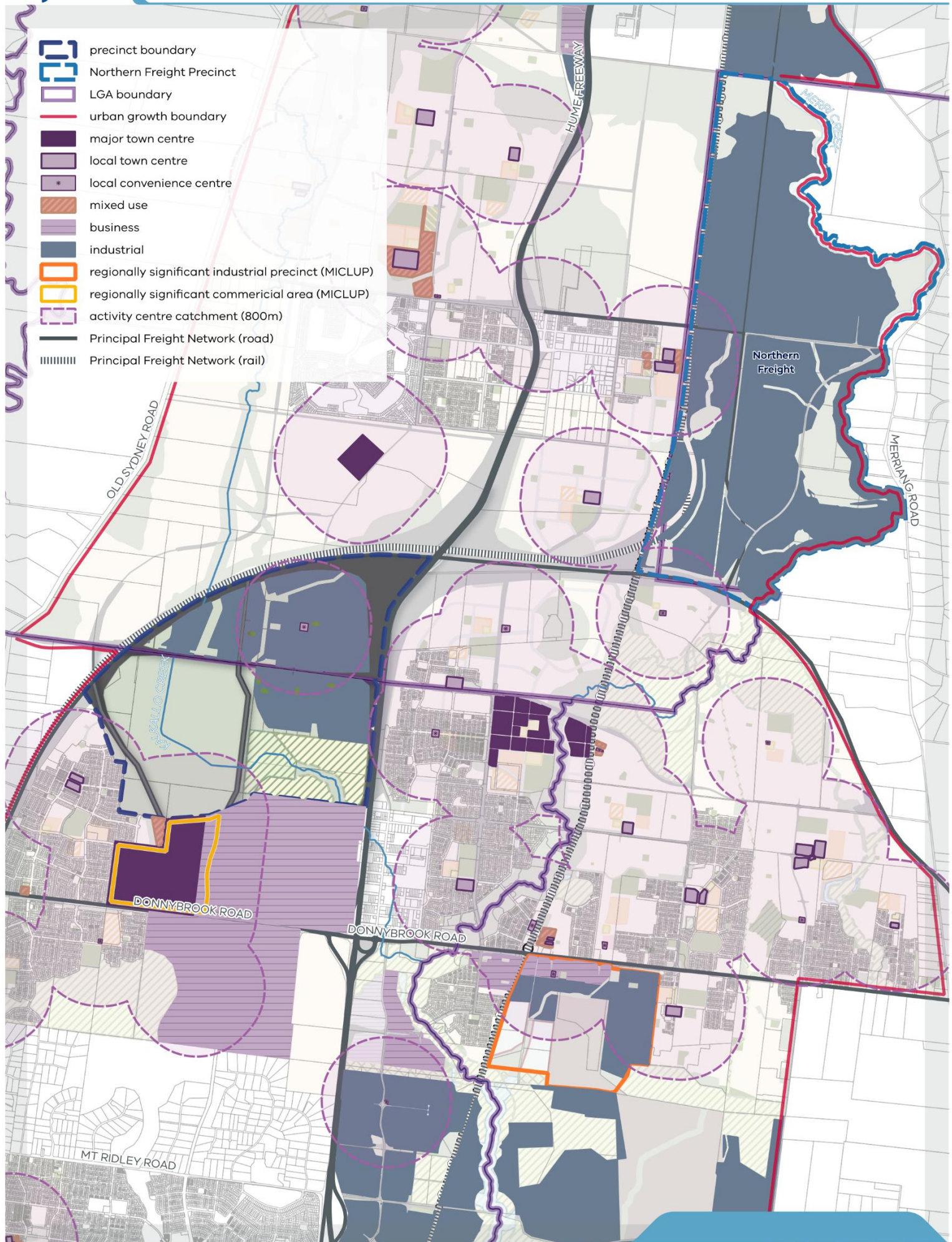
3.1.2 Requirements and guidelines – Connect people to jobs and higher order services

REQUIREMENTS	
R1 Subdivision and development must contribute to: - a form, scale and intensity of land use and activity that is compatible with adjacent land uses - adaptable and changing uses, regeneration, and intensification initiatives - a range of lot sizes to cater to a diverse mix of businesses to the satisfaction of the responsible authority.	
R2 Subdivision and development must be generally in accordance with <i>Plan 3 Employment & Activity Centres</i> .	
GUIDELINES	
G1 Subdivision and development of employment land should: - Provide for a diverse mix of traditional and emerging industries and business. - Deliver a high-quality, high amenity setting attractive to businesses and workers. - Support the emergence of a distinctive place identity that reflects the precinct's role, landscape setting and intended employment character. - Ensure any large expanses of continuous wall visible to the street have appropriate articulation and other elements to provide relief and visual interest. - Provide an appropriate range of amenities and services to support the daily needs of the local workforce.	

-
- Be landscaped with canopy trees where practical and vegetation to promote water sensitive urban design, to help reduce the impact of the urban heat island effect and improve amenity.
 - Provide an active frontage to key entry streets, open space/ waterways/ wetlands (where relevant) and surrounding buildings to support place identity.
 - Provide shared and consolidated parking areas, including multi-level parking.
-

Table 1 Anticipated employment generation table

LAND USE	Area (ha)	ESTIMATED JOBS
<i>State Significant Industrial Precinct (SSIP)</i>	<i>254ha</i>	<i>5,760-6,223</i>
<i>Regional Significant Commercial Area (RSCA)</i>	<i>1ha</i>	<i>23-25</i>
TOTAL	314.12ha	5,783-6,248



3.2 Safe, accessible, and well-connected

3.2.1 Objectives – Safe, accessible, and well-connected

OBJECTIVES		IMPLEMENTATION TOOLS
O5	To establish strong connections to key destinations within a local, sub-regional and regional area.	R3, R5, R6, G9, G10
O6	To deliver a safe, accessible and well-connected precinct.	R3, R5, R6, R7, G4
O7	To deliver a transport network that performs efficiently and meets the needs of its future users.	R3, R4, R8, G3

3.2.2 Requirements and guidelines – Safe, accessible, and well-connected

REQUIREMENTS	
R3	All roads, must be designed and constructed generally in accordance with <i>Plan 4 Movement & Network</i> , and relevant cross sections in <i>Appendix 3 Road cross sections & functional layout plans</i> , unless otherwise agreed by the relevant authority.
R4	Roads and intersections shown as bus capable on <i>Plan 4 Movement & Network</i> must be constructed to accommodate ultra-low-floor buses to the satisfactions of the responsible authority.
R5	Pedestrian and cyclist crossings must be provided generally in accordance with those indicated in <i>Plan 4 Movement & Network</i> . Additional pedestrian and cycle crossings must be provided at regular intervals every 400–800m, where appropriate, along arterial roads, waterways, and any other accessibility barriers. (T8)
R6	Road bridges within the precinct and to areas outside the precinct must include pedestrian and cyclist paths (and/or shared path as identified in <i>Plan 4 Movement & Network</i>).
R7	Lighting must be installed along pedestrian, cyclist and shared user paths identified in <i>Plan 4 Movement & Network</i> unless otherwise agreed by the responsible authority.
R8	Vehicular access to lots fronting arterial roads must be from service roads, internal loop roads and/or rear laneways. Service roads and internal loop roads must provide indented parking lanes to cater for on street parking.
R9	Where a connector street or local access street crosses a waterway, the proponent must construct a crossing to the satisfaction of the responsible authority.
R10	Clear access must be provided to APA WORM Pipeline facilities at all times, to the satisfaction of the operator and facility owner.
R11	Other than perpendicular road crossings across the high-pressure gas easement, no road or carriageway easements are to be relocated over the gas pipeline easements unless to the satisfaction of the pipeline owner and operator.

GUIDELINES

A variety of cross sections should be used in subdivision layouts for local streets, to create differentiation, sense of place and neighbourhood character. (T5, T6)

Alternative cross sections should ensure that:

- G2**
 - Relevant minimum road reserve widths for the type of street are maintained
 - Sufficient provision is made for street tree planting to achieve 30% canopy tree coverage in the public realm (excluding areas dedicated to biodiversity, native vegetation conservation, and drainage assets) (T13)
 - The performance characteristics of standard cross sections are maintained, including provision for pedestrian and cycle use

to the satisfaction of the responsible authority.

-
- G3**

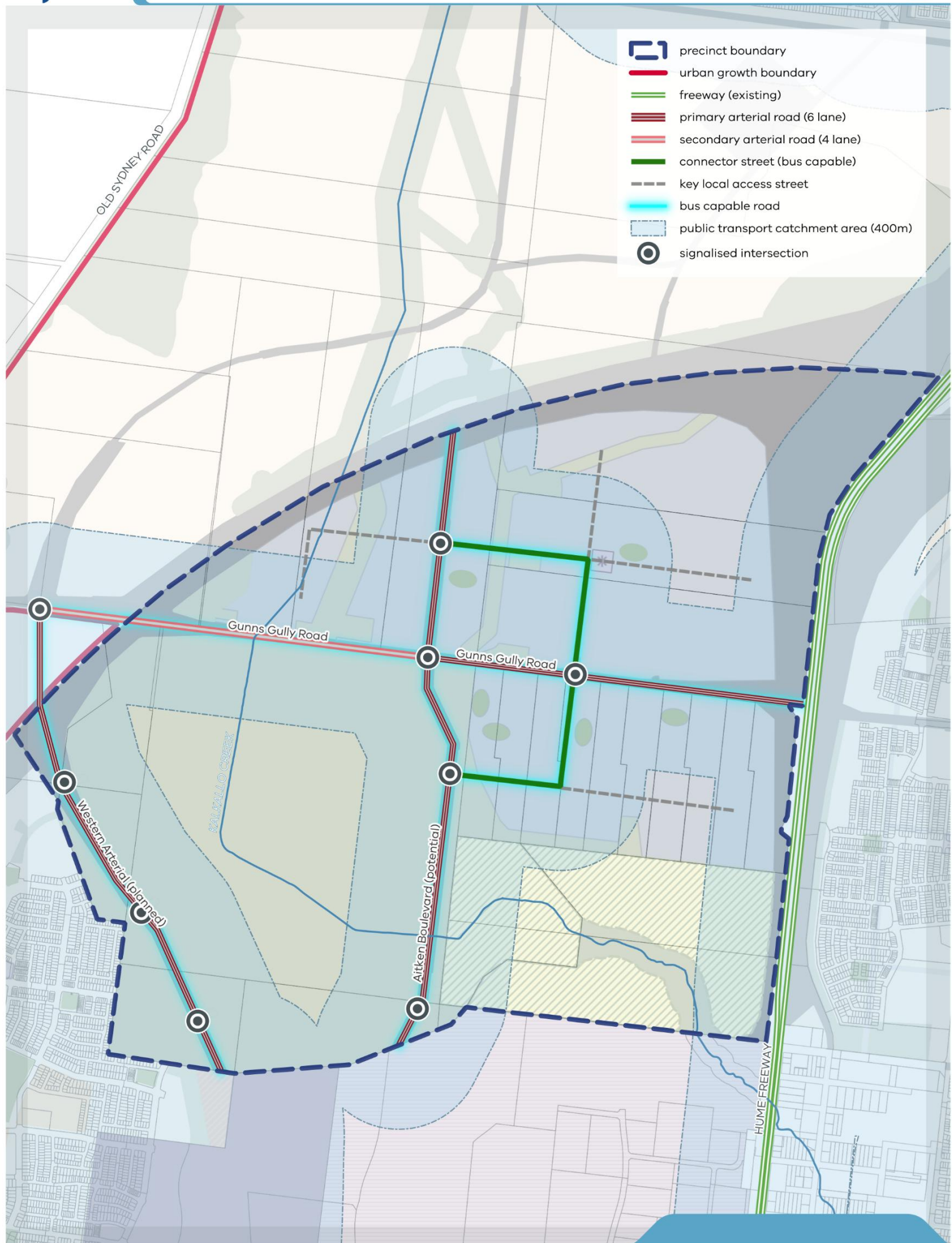
Alternative cross sections may be considered for arterial roads where supported by a Movement and Place assessment completed according to the matrix methodology in Module 1 in Movement and Place in Victoria (Department of Transport, 2019), so that road design is appropriate to the transport function for all modes, surrounding land uses and user experience, to the satisfaction of the relevant road authority and the responsible authority. (T5)

-
- G4**

Slip lanes should be avoided in areas of high pedestrian activity (such as local service centres) and only provided at intersections between connector streets and arterial roads where they are necessitated by high traffic volumes and include pedestrian priority crossings.

-
- G5**

Minimise the number of utility and road infrastructure crossings, including local roads, over the high-pressure gas easement within the precinct.
-



3.3 High quality public realm

3.3.1 Objectives - High quality public realm

OBJECTIVES		IMPLEMENTATION TOOLS
O8	To contribute to the protection and integration of areas of cultural heritage and living cultural values throughout the precinct, particularly alongside Kalkallo Creek.	R12, R26, G14, G17
O9	To create a sustainable urban landscape that encourages climate change adaptation, enhances existing biodiversity and landscape values within the precinct.	R12, R13, R14, R15, R16, R17, R18, R19, R20, R21, R24 R25, R26, G6, G8, G11, G14, G15
O10	To facilitate the development of streetscapes, local parks, and recreational facilities that are safe, functional and enjoyable.	R15, R27, G9, G10 Street cross sections
O11	To ensure the layout of lots, streets, open spaces, and the public realm encourage the retention and establishment of canopy tree cover to support a cooler and greener precinct. (T13)	R12, R14, G7, G8
O12	To develop sustainable water, drainage and wastewater systems that protect, conserve, and improve biodiversity, waterways and other natural resources and maintain or enhance the safety, health and wellbeing of people and property.	R30, R31, 532, G14, G16
O13	To ensure development of the precinct recognises and incorporates post contact heritage features in a way that contributes to the place-based character.	R34, R35

3.3.2 Requirements and guidelines - High quality public realm

REQUIREMENTS	
Public realm, Open space and Biodiversity Requirements	
	Trees identified as 'To be retained' on Plan 7 Native Vegetation Retention & Removal (NVRR) must be retained and incorporated into the public realm, and provision made for their ongoing maintenance, unless it can be demonstrated that: - Any potential adverse effects on local character or amenity as a result of removing the tree(s) can be adequately mitigated (e.g. through replacement planting). - Any potential adverse effects on Aboriginal cultural heritage and values are avoided or appropriately mitigated. - Any potential adverse effects on ecological values (including soil conservation and water quality) as a result of removing the tree can be adequately mitigated. - Retaining the tree(s) would unreasonably limit the ability to provide a building platform, access, and/or associated civil services.

R12

	- Removal of the tree(s) is necessary to provide for the functional and operational needs of infrastructure, including, drainage, community infrastructure, and the road network. - Retaining the tree would result in an unacceptable level hazard or safety risk.
R13	Trees and vegetation planted in the public realm must be provided in accordance with relevant Hume City Council and Mitchell Shire Council landscaping policy unless otherwise agreed by the responsible authority.
R14	Canopy tree coverage within the public realm must achieve a minimum of 30% coverage (excluding areas dedicated to biodiversity, native vegetation conservation, and drainage assets). (T13)
R15	Street trees must be provided on both sides of all roads/streets (excluding laneways) generally in accordance with the cross-sections, and at regular intervals appropriate to tree size at maturity unless otherwise agreed by the responsible authority. Alternative street tree planting arrangements may be considered by the responsible authority where site specific constraints restrict street tree planting on both sides of the street.
R16	Conservation areas identified in <i>Plan 5 Public Realm</i> must be retained in accordance with this plan and relevant Commonwealth and State government legislation and policies unless otherwise agreed by the Responsible Authority. (T16)
R17	No development or works may occur within Biodiversity Conservation Strategy (BCS) areas without the prior written consent of the Department of Energy, Environment and Climate Action.
R18	The BCS conservation area boundary must be fenced to exclude vehicles, allowing for pedestrian and cycling, and maintenance access where required, to the satisfaction of DEECA and the responsible authority.
R19	Development within any BCS conservation area must be in accordance with the <i>Appendix 4 Conservation Area Concept Plan / Plan 5 Public Realm</i> unless otherwise agreed to by the Department of Energy, Environment and Climate Action.
R20	Waterway crossings within the BCS conservation area must be designed and constructed in accordance with Growling Grass Frog Crossing Design Standards to the satisfaction of the DEECA, Melbourne Water and the Responsible Authority.
R21	Public paths or other infrastructure located within a BCS conservation area must be designed to avoid and minimise disturbance to native vegetation and habitat for matters of national and state environmental significance and be located in accordance with the <i>Conservation Area Concept Plan in Appendix 4</i> .
R22	Where local parks and recreation areas occur adjacent to BCS conservation areas, they must be designed and managed to compliment the outcomes required by the BCS conservation area as required by section 5 of the BCS.
R23	Development must provide for a minimum public land buffer of 20 metres between the conservation area boundary and the nearest commercial or industrial lot. The public land buffer area may include roads, paths, open space and drainage infrastructure.

R24 Public lighting must be designed and baffled to prevent light spill and glare within and adjacent to the BCS conservation area, unless otherwise agreed by DEECA and the responsible authority.

R25 Streets abutting a BCS conservation area must provide for the outcomes illustrated in *Interface Cross Sections in Appendix 3*.

R26 The retention, enhancement and integration of the natural environment, landscape features, and places of Aboriginal cultural heritage and values must be considered through subdivision design, and, where applicable, building and landscape design.

R27 Land to be vested to a responsible authority must be finished and maintained to a suitable standard, prior to the transfer of land, to the satisfaction of the responsible authority.

Drainage, Waterways and Integrated Water Management Requirements

Final designs and boundaries of constructed wetlands, retarding basins, stormwater quality treatment infrastructure, and associated paths, boardwalks, bridges, and planting must:

- R28**
- include appropriate treatments to provide protection for dispersive soils where these are present
 - be designed to mitigate the risk of erosion from sodic and dispersive soils
- to the satisfaction of Melbourne Water and the responsible authority.

R29 Drainage from stormwater treatment infrastructure must be designed to have no net negative impact on habitat for Matters of State and National Environmental Significance to the satisfaction of the DEECA.

R30 Stormwater infrastructure within or adjacent to the BCS Conservation Area must be designed to consider the potential for use of treated stormwater to supply any nearby existing or proposed Growling Grass Frog wetlands, unless otherwise agreed to by DEECA.

R31 Stormwater Management Plans must demonstrate consistency with *Plan 6 Water*.

An application for a planning permit must be accompanied by an Integrated Water Management Plans that demonstrates how outcomes in the following strategies can be achieved.

- R32**
- Outcomes identified in the DEECA Yarra Catchment Strategic Directions Statement (September 2018)
 - Stormwater volume reduction and infiltration targets in Melbourne Water's Healthy Waterway Strategy (2018) applicable to the PSP
 - Waterways and integrated water management outcomes which enable land to be used for multiple recreation and environmental purposes
 - Stormwater risk management under the general environmental duty

to the satisfaction of Melbourne Water, Yarra Valley Water, and the responsible authority.

The risk of erosion of sodic and/or dispersive soils must be avoided or mitigated.

Potential management methods may include but are not limited to:

- R33**
- Widening the buffer distances between the core riparian zone and the outside vegetated buffers that allows sufficient tolerances for channel migration.
 - Diversion of water away from sodic and/or dispersive materials.

- Minimising potential convergence and/or ponding of surface flows.
- Compacting to reduce pore spaces and minimise water movement through material.
- Physical and chemical soil ameliorants.
- Maintenance of topsoil across undisturbed land, preferably with grasses to provide surface soil stability and root anchorage.
- Minimise the amount of time land is exposed (e.g., by staging development).
- Ensure that culverts and drains excavated into dispersive subsoils are capped with non-dispersive topsoil, gypsum stabilised and vegetated.

Post-contact Heritage Requirements

R34

A Heritage Interpretation Plan must be prepared for subdivision and development of land containing HO262 (Bleak House (ruin)) and HO395 (Clifton Downs Homestead) which must address the whole of the site to the satisfaction of the responsible authority.

R35

HO262 (Bleak House (ruin)) and HO395 (Clifton Downs Homestead) must:

- Be situated within public space or, where this is not possible, appropriately incorporated into subdivision design to respond to the Heritage Interpretation Plan
- Provide suitable landscaping along all boundaries
- Be inspected and made safe by a suitably qualified person in heritage conservation

to the satisfaction of the responsible authority.

Bushfire Requirements

R36

The vegetation within the bushfire hazard areas shown on *Plan 8 Bushfire*, must be managed to a level that ensures it does not result in a vegetation class that would require a greater 'separation distance' than that specified in *Plan 8 Bushfire*.

R37

Development and subdivision must provide a perimeter road or alternative bushfire interface along all boundaries shown on *Plan 8 Bushfire*, including retarding basins, waterways, sediment basins and Biodiversity Conservation Strategy (BCS) areas.

The minimum width of this interface must be in accordance with *Plan 8 Bushfire*.

The bushfire interface may incorporate paths, open space, roads, drainage, flood protection and stormwater management infrastructure.

R38

Where a setback from a bushfire hazard area is required by *Plan 8 Bushfire*, vegetation within the setback must be managed as follows, unless otherwise agreed by the responsible authority and relevant fire authority:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed five square metres in area and must be separated by at least five metres.
- The canopy of trees must be separated by at least two metres at maturity.
- There must be a clearance of at least two metres between the lowest tree branches and ground level.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.

- Plants greater than 10 centimetres in height must not be placed within three metres of a window or glass feature of the building.

GUIDELINES

Public realm, Open space and Biodiversity Guidelines

- G6** Vegetation identified in Plan 7 Native Vegetation Retention & Removal as 'may be removed' should be retained where possible along streets and in subdivisions.
- G7** Canopy trees should have an average canopy foliage of 6.4m in diameter at maturity in summer. Where this cannot be achieved because of local climate and soil conditions, a suitable species should be selected which closest achieves this canopy cover, to the satisfaction of the responsible authority. (T13)
- G8** The design of subdivision and development should facilitate the retention of existing canopy trees to contribute to the 30% canopy tree cover target where practical. (T13)
- Alternative locations and configurations for local parks shown on *Plan 5 Public Realm*, may be considered subject to:
- G9**
- Open space being retained within the same landownership, unless otherwise agreed with the affected landowners.
 - not diminishing the quality or usability of the space.
 - not adversely affecting walkable accessibility of the network.
 - not adversely affecting the overall diversity of the precinct's open space network.
- G10** Subdivision layouts should include frontage roads to all edges of open spaces. Where frontage roads are not provided, an access way should be provided to the satisfaction of the responsible authority. This guideline does not apply where drainage reserves front open spaces.
- G11** Movement corridors for local fauna and adjacent land uses should be designed and managed sensitively in accordance with a management plan, and to enhance community access and experience of the conservation and landscape value areas. (T16)
- G12** Alignment of road network should seek to protect key views within and outside the precinct as identified in *Plan 5 Public Realm* wherever possible.
- G13** For all landscaping, paths and public furniture proposed within a gas easement, a landscape plan must be submitted to the responsible authority in consultation with the service owner/operator demonstrating species, their location and who will be responsible for the ongoing management of landscaping within the easement.

Drainage, Waterways and Integrated Water Management Guidelines

Integrated water management systems should be designed to:

- G14**
- Reduce reliance on drinking water.
 - Contribute to a sustainable built environment using alternative water.
 - Improve stormwater quality and contribute to lower flood risks.
 - Maximise habitat values for local flora and fauna species.
 - Enable future harvesting and/or treatment and re-use of stormwater.
 - Protect and manage Matters of National Environmental Significance values, particularly within conservation areas, in relation to water quality and suitable hydrological regimes (both surface and groundwater).

- Enable any potential supply of treated stormwater for existing and future Growling Grass Frog wetlands to be gravity fed.
- Recognise and respond to Aboriginal cultural heritage and values.

Passive irrigation of street trees should be provided.

G15

Alternative irrigation may be considered where it can be demonstrated through a comprehensive alternative plan (such as an Integrated Water Management Plan) that passive irrigation is either unnecessary or inferior to the proposed alternative (for example, recycled water irrigation of street trees in mandated recycled water areas). (T13, T14)

Applications should consider a range of IWM options where practicable and where agreements are in place with drainage authorities for future management. Potential IWM options may include but are not limited to:

G16

- Including rainwater tanks on all industrial and commercial lots
- Use of permeable pavement.
- Recycled water network for non-potable supply for major users particularly high water demand industrial processes.
- Providing local stormwater harvesting systems and supplying stormwater to service the watering needs of future open spaces.
- Contribute to regional scale rainwater tank schemes that collect roof water from all industrial, commercial and residential lots to be reticulated back within the precinct.
- Supplying stormwater of the right quality and flow regime to existing and future Growling Grass Frog wetlands.
- Identifying designs to maximise opportunities for infiltration.
- Contribute to regional scale stormwater harvesting systems to service the watering needs of the precinct and beyond.

Aboriginal Cultural Heritage Guidelines

Subdivision, including road layout, should respond to places of Aboriginal cultural heritage and values (where a CHMP does not apply) through:

G17

- appropriate acknowledgement of Aboriginal cultural heritage and values, and incorporates the traditional story of country
- the design of public places, infrastructure and interpretive installations.
- Inclusion of cultural heritage interpretation trails along public path networks in areas of known historic cultural history or areas of Aboriginal cultural heritage sensitivity

in consultation with the Registered Aboriginal Party.

Table 2 Open space delivery

PARK ID	TYPE	DESCRIPTION	AREA (HA)	
LP-01	Local Open Space	Local Park	0.8ha	Mitchell Shire Council
LP-02	Local Open Space	Local Park	0.8ha	Hume City Council
LP-03	Local Open Space	Local Park	0.8ha	Hume City Council
LP-04	Local Open Space	Local Park	0.8ha	Hume City Council

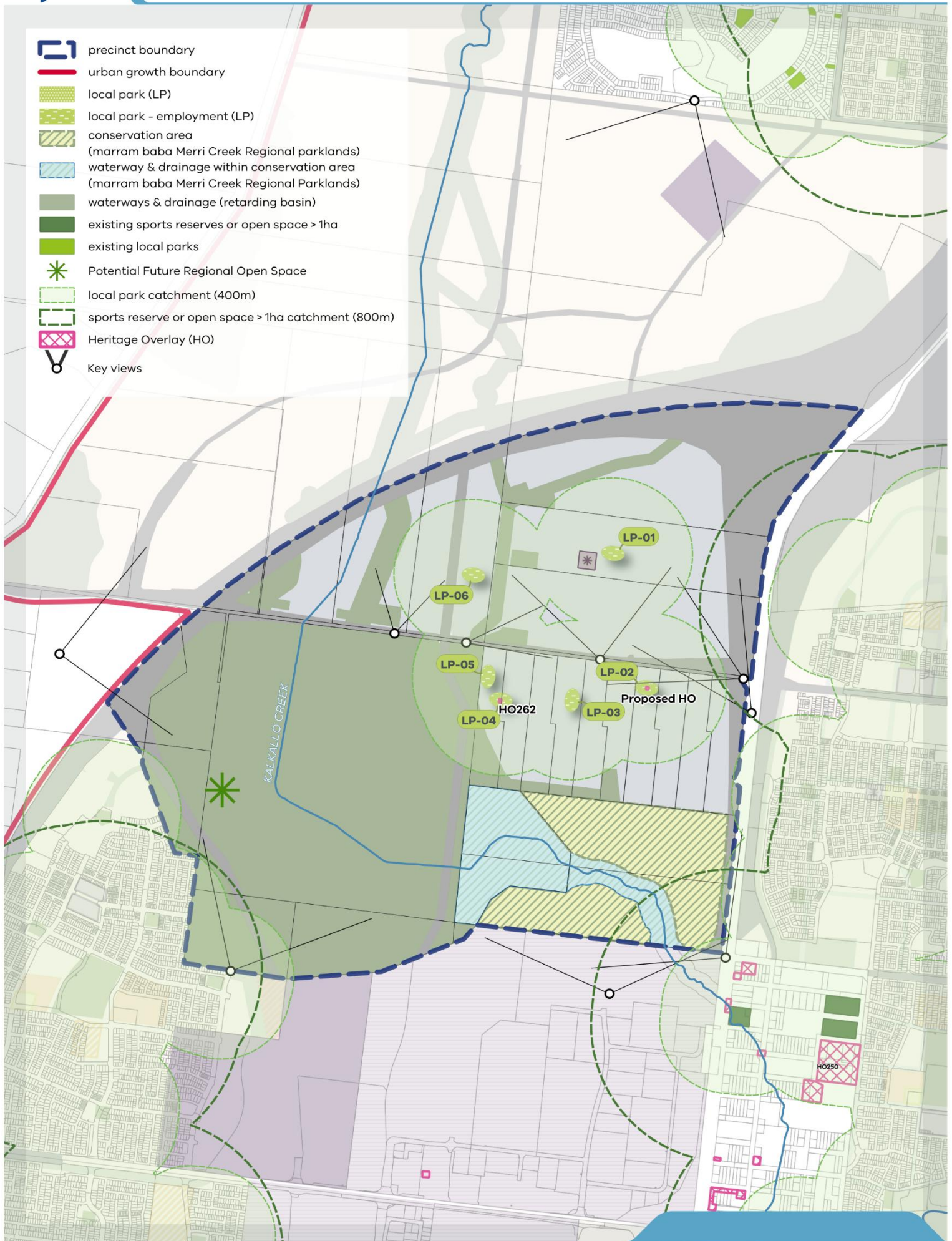
LP-05	Local Open Space	Local Park	0.8ha	Hume City Council
LP-06	Local Open Space	Local Park	0.8ha	Mitchell Shire Council

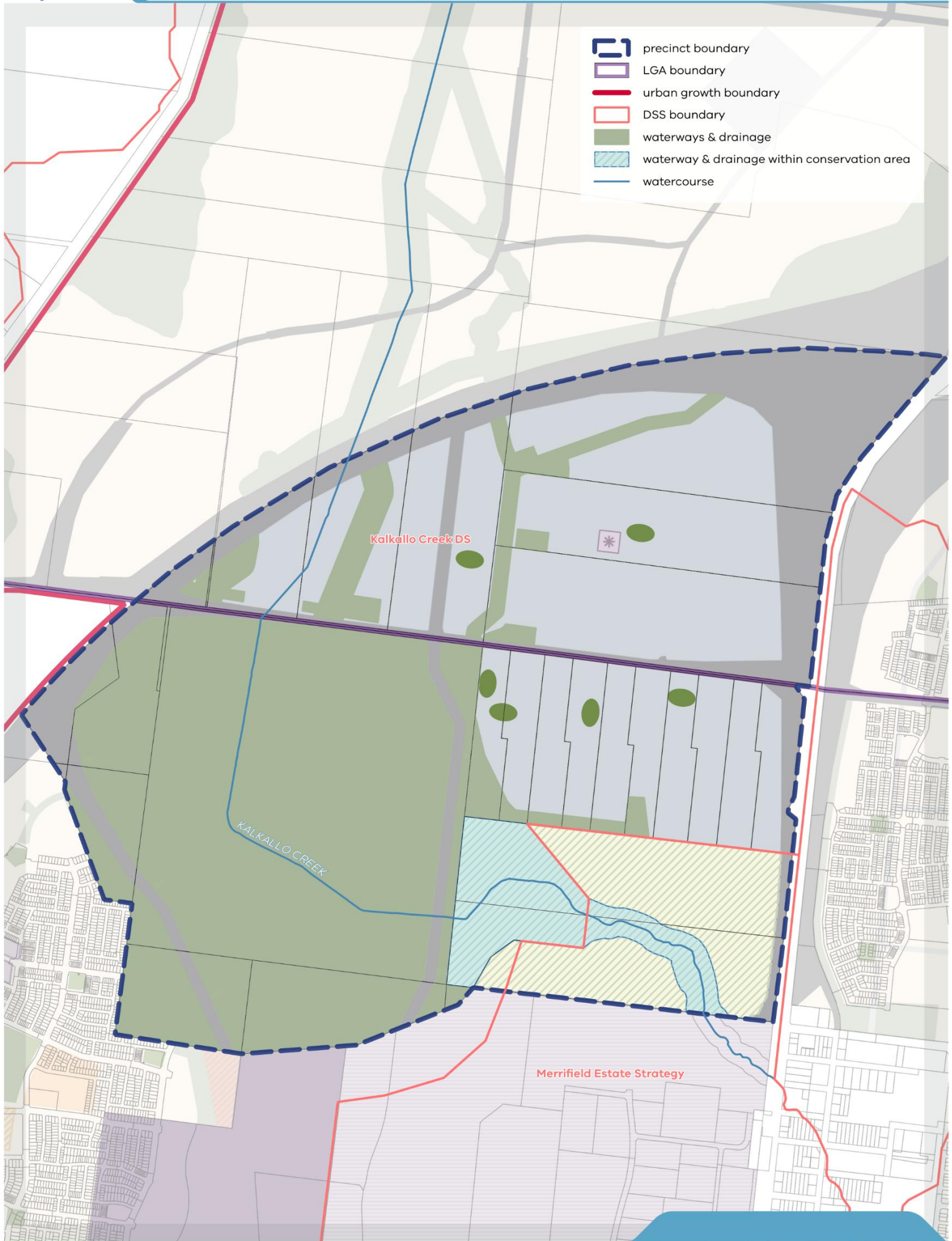
Table 3 Water infrastructure

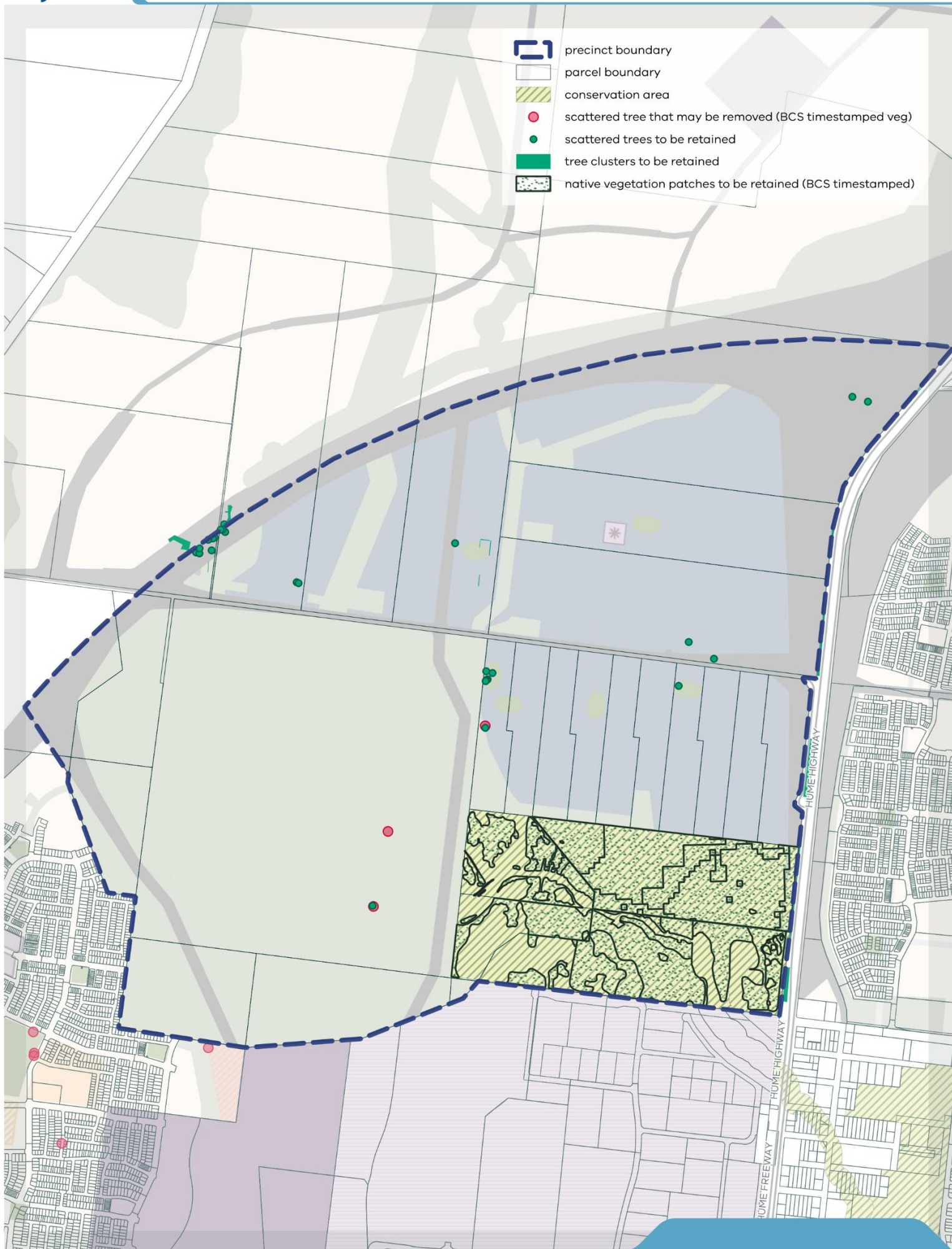
DRAINAGE SCHEME			
PROJECT ID	DESCRIPTION	LOCATION	AREA (HA)
RB-01	XX	00	XX
Insert or delete rows as required			

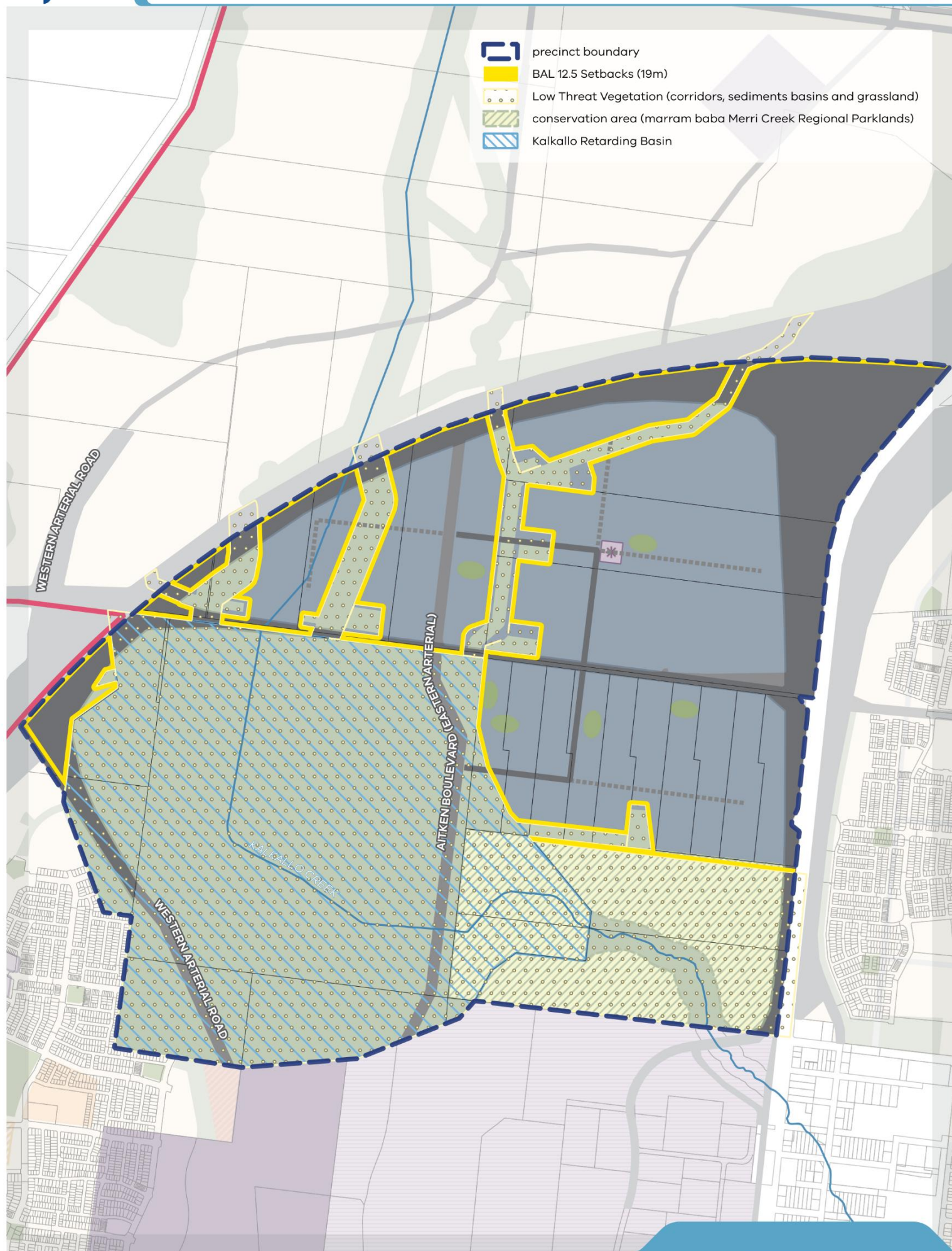
Table 6 will be completed once the Drainage Services Scheme (DSS) is sufficiently advanced.

-  precinct boundary
-  urban growth boundary
-  local park (LP)
-  local park - employment (LP)
-  conservation area
-  waterway & drainage within conservation area (marram baba Merri Creek Regional Parklands)
-  waterways & drainage (retarding basin)
-  existing sports reserves or open space > 1ha
-  existing local parks
-  Potential Future Regional Open Space
-  local park catchment (400m)
-  sports reserve or open space > 1ha catchment (800m)
-  Heritage Overlay (HO)
-  Key views









3.4 Infrastructure coordination

3.4.1 Objectives – Infrastructure coordination

OBJECTIVES		IMPLEMENTATION TOOLS
O14	To ensure development is staged in an orderly manner that is consistent with the planning and delivery of necessary infrastructure.	R43, PIP (Table 8), Plan 9
O15	To plan for development that leverages existing and planned infrastructure.	R28, R29, R30, R39, G31
O16	To plan for an integrated water management system that reduces reliance on reticulated potable water, increases the re-use of alternative water through stormwater harvesting and water recycling contributing towards a sustainable and green urban environment.	R37, R38
O17	To encourage environmentally sustainable design and development and encourage the use of sustainable energy across the precinct.	R30
O18	To ensure sensitive land uses (as defined by Australian Standard 2885.1 2018) are located outside the measurement length of the high-pressure gas transmission pipeline where possible and that construction is managed to minimise risk of adverse impacts.	R10, R11, R50

3.4.2 Requirements and guidelines – Infrastructure coordination

REQUIREMENTS	
R39	Staging of infrastructure and development must be generally in accordance with <i>Plan 12 Infrastructure and Development Staging Plan</i> and <i>Table 4 Precinct Infrastructure</i> and must provide for the timely provision and delivery of infrastructure to the satisfaction of the responsible authority.
R40	Above-ground utilities (such as electricity substations, sewer pump stations, telecommunications facility, and overhead powerlines) must be identified at the subdivision design stage to ensure effective integration with the surrounding urban areas. This includes meeting requirements for mobile telecommunications infrastructure under the Commonwealth Telecommunication in New Developments (TIND) Policy. Land required to accommodate the infrastructure must not be counted as contributing to open space requirements specified in <i>Table 2</i> .
R41	Utilities and other infrastructure must be placed outside of conservation areas, natural waterway corridors or on the outer edges of these corridors identified in <i>Plan 5 Public Realm</i> and <i>Plan 6 Water</i> in the first instance. Where utilities and other infrastructure cannot avoid crossing or being located within a conservation area or natural waterway corridor, they must be located to avoid disturbance to identified environmental values, to the satisfaction of the Department of Energy, Environment and Climate Action, Melbourne Water, and the responsible authority.

R42	Planning applications must demonstrate how the subdivision and buildings or works will avoid and minimise impacts to conservation areas through consolidating utilities into dedicated service corridors.
R43	Drainage from stormwater infrastructure must be designed to minimise impacts on biodiversity values, particularly habitat for matters of national environmental significance located within conservation areas.
R44	Where there are no alternative options other than traversing Conservation Area 34, subdivision must consolidate utilities into dedicated service corridors. Utilities and other infrastructure must avoid traversing patches of native vegetation and habitat for matters of national environmental significance.
R45	Utilities and other infrastructure must avoid traversing Conservation Area 23.
R46	All public open space must be delivered to a standard that satisfies the requirements of the responsible authority prior to the transfer of the public open space.
R47	Where an inter-parcel connection is intended or indicated in the PSP, streets must be constructed to property boundaries at the relevant stage of development required or approved by the responsible authority. Provision should be made for temporary vehicle turning until the inter-parcel connection is delivered.
R48	All new electricity supply infrastructure (excluding substations and cables with voltage 66kv or greater) must be provided underground.
R49	Stormwater runoff from any development must meet the performance objectives of the <i>CSIRO Best Practice Environmental Management Guidelines for Urban Stormwater</i> prior to discharge to receiving waterways as outlined on Plan 6 Water, unless otherwise approved by Melbourne Water and the responsible authority. Proposals that exceed the performance objectives are encouraged and will be considered, to the satisfaction of the relevant authority. (<i>T13, T14, T17</i>)
R50	All infrastructure (including but not limited to roads, drainage, or utility) must only cross the APA gas pipeline at 90 degrees unless with the consent of the pipeline owner or operators (APA VTS) and be engineered to protect the integrity of the pipeline.

GUIDELINES

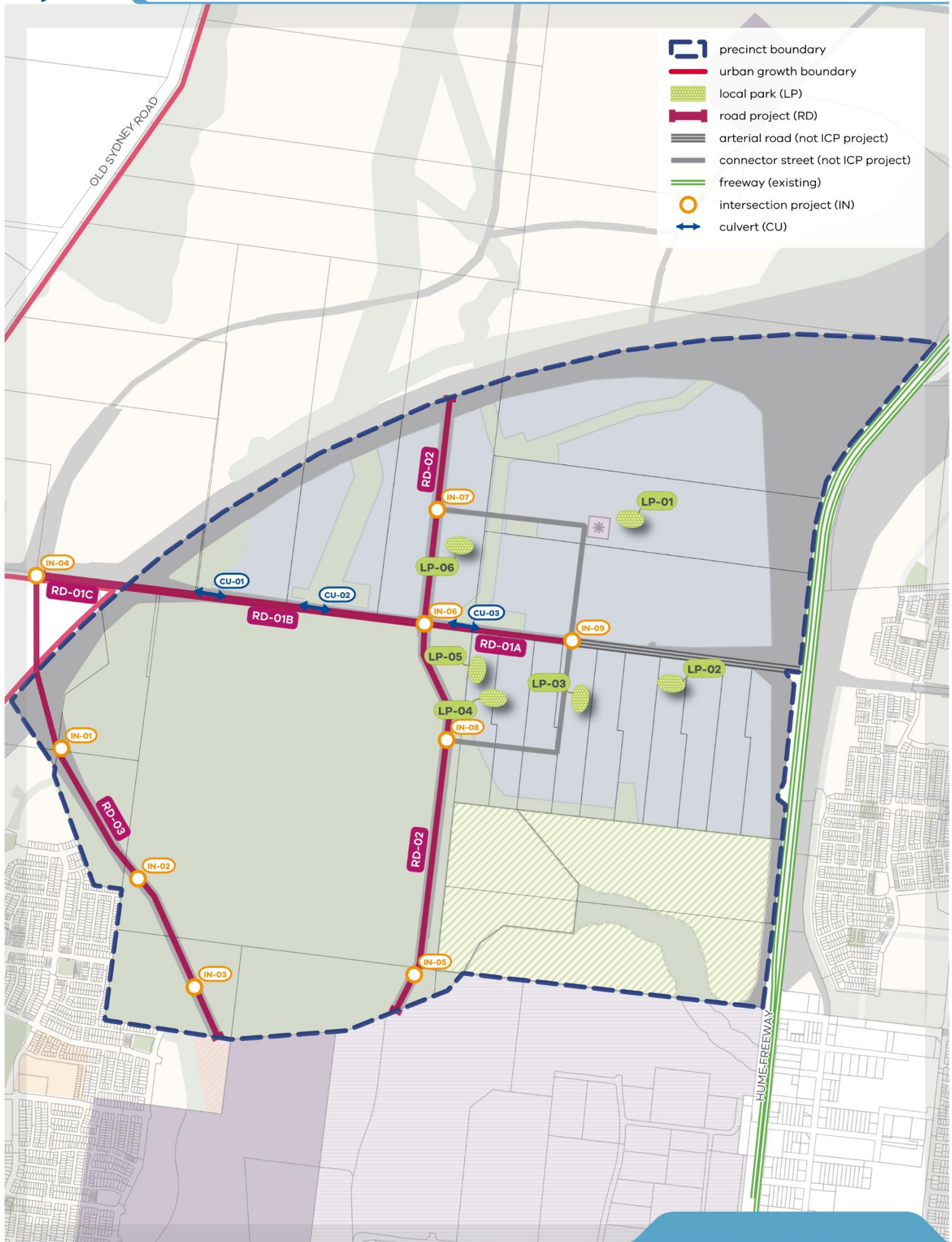
Staging of infrastructure and development should provide for the timely provision and delivery of the following infrastructure to the satisfaction of the responsible authority:

- | | |
|------------|---|
| G18 | <ul style="list-style-type: none"> • Connection to any arterial road network and seek to co-ordinate the delivery of these roads in conjunction with the timing of the arterial road connections located external to the precinct. • Connector streets and connector street bridges. • Street connections between properties, constructed to the property boundary • On- and off-road pedestrian and bicycle network paths. • Safe pedestrian path/s (crushed rock or alternative interim provision where deemed appropriate) from any existing pedestrian network/s to proposed connections to facilitate connectivity to services, transport, community infrastructure and adjoining communities. • Drainage infrastructure. • Essential infrastructure. |
|------------|---|

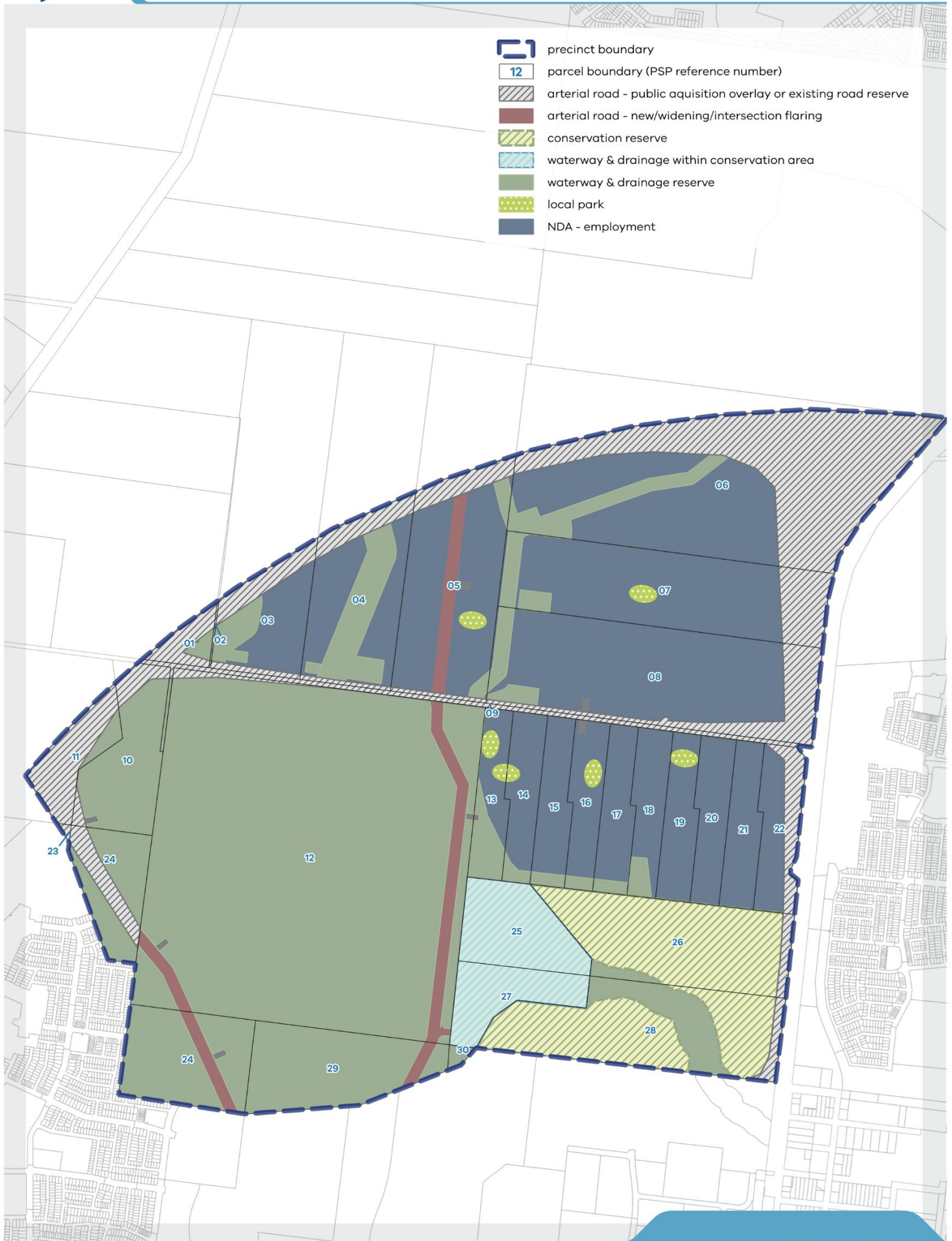
	Land for local open space.
G19	Out-of-sequence development may be considered where an agreement between a developer and the impacted infrastructure providers does not impose unreasonable additional burden on infrastructure providers.
G20	Development should demonstrate a reduced reliance on potable water through the use of alternative design features that increases the utilisation of fit-for-purpose alternative water sources such as storm water, rainwater and recycled water.
G21	Design and location of underground services should be guided by <i>Plan 9 Precinct Infrastructure Plan</i> .
G22	All new above-ground utilities, including temporary utilities, should be located outside of key view lines, and screened, to the satisfaction of the responsible authority.
G23	Where primary waterway, conservation or recreation functions are not adversely affected, land required for integrated water management initiatives (such as stormwater harvesting, aquifer storage and recovery, sewer mining) should be incorporated within the precinct open space system as depicted on <i>Plan 5 Public Realm</i> .

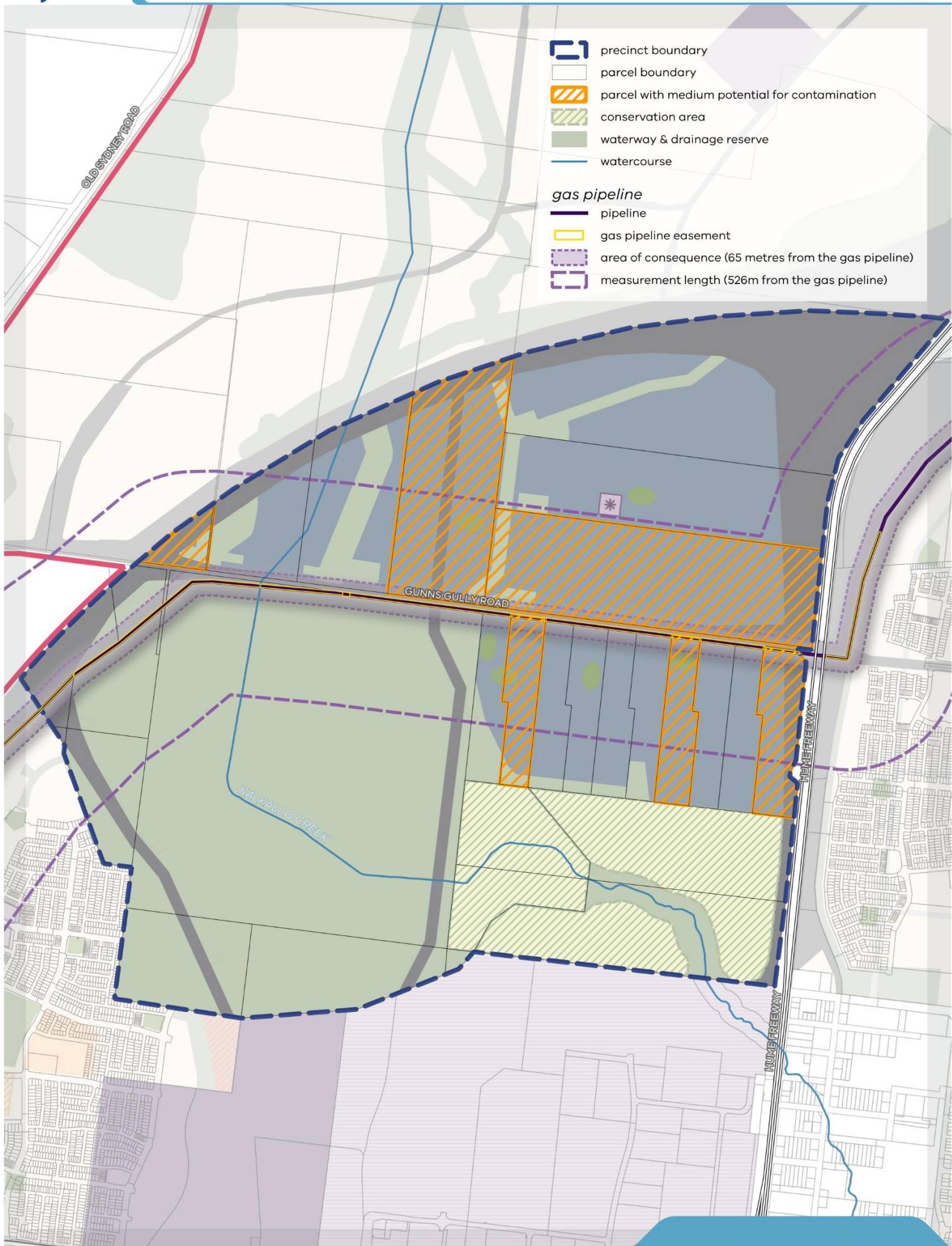
4 APPENDICES

Appendix 1 Precinct infrastructure plan



- precinct boundary
- parcel boundary (PSP reference number)
- arterial road - public aquisition overlay or existing road reserve
- arterial road - new/widening/intersection flaring
- conservation reserve
- waterway & drainage within conservation area
- waterway & drainage reserve
- local park
- NDA - employment





-  precinct boundary
-  parcel boundary
-  urban growth boundary
- development staging**
 -  stage 1
 -  stage 2
- road/infrastructure staging**
 -  stage 1 State Project
 -  stage 1 ICP Road
 -  stage 2 ICP Road
- intersection**
 -  stage 1 culvert (CU)
 -  stage 1 intersection project (IN)
 -  stage 2 intersection project (IN)

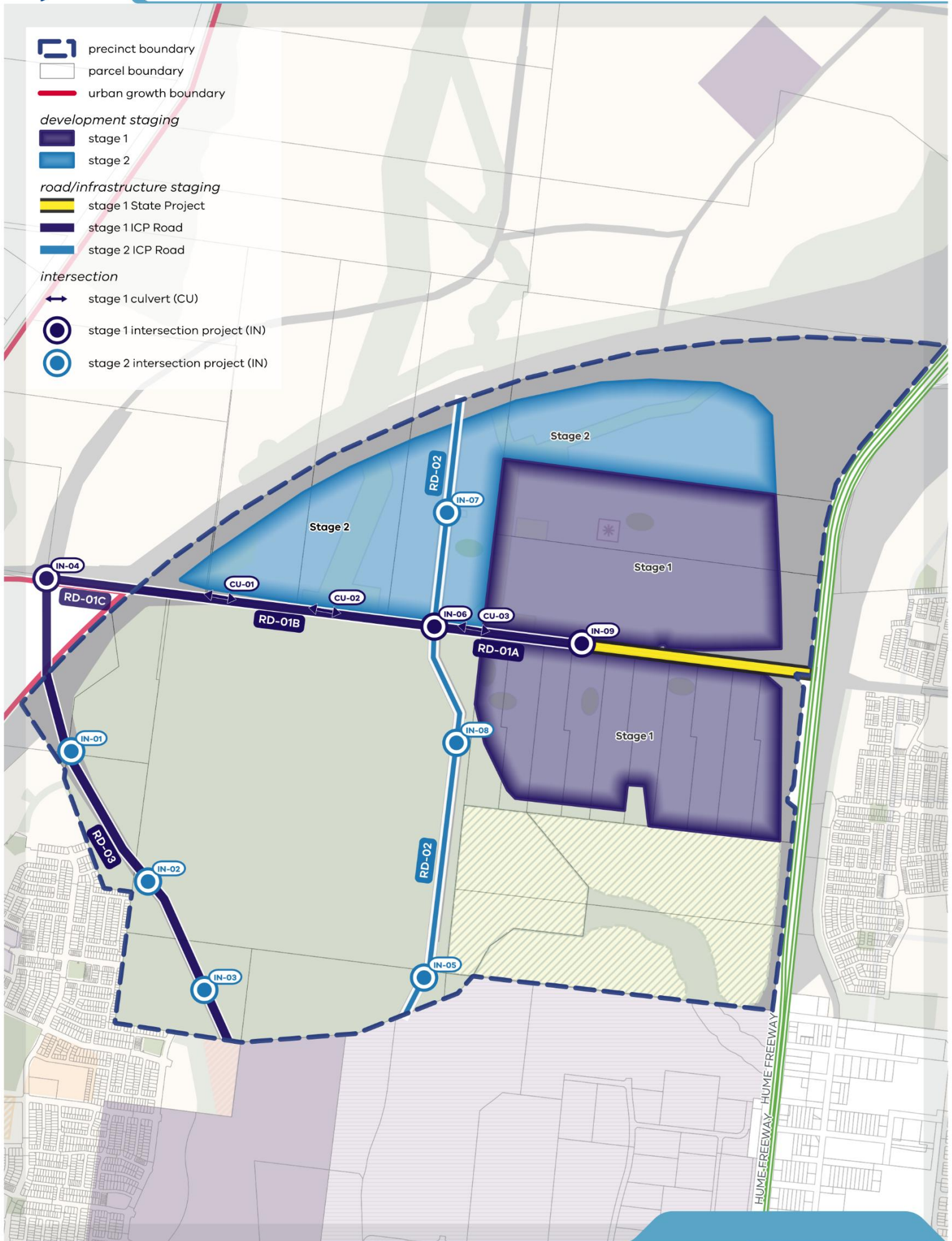


Table 4 Precinct infrastructure

CATEGORY	PIP REFERENCE NO.	TITLE	DESCRIPTION	LEAD AGENCY	COMPONENT INCLUDED IN ICP			TIMING	APPORTIONMENT FUNDING SOURCE	APPORTIONMENT
					ULTIMATE LAND	INTERIM CONSTRUCTION	ULTIMATE CONSTRUCTION			
Road	MN-RD-01A	Guns Gully Road East of Aitken Boulevard	Primary arterial	Hume & Mitchell	Yes	Yes	No	S	-	100.00%
Road	MN-RD-01B	Guns Gully Road between Aitken and precinct boundary	Secondary arterial	Hume & Mitchell	Yes	Yes	No	S	-	100.00%
Road	MN-RD-01C	Guns Gully Road West of precinct boundary	Secondary arterial	Hume & Mitchell	Yes	Yes	No	S	Beveridge South West ICP	50.00%
Road	MN-RD-02	Aitken Boulevard	Primary arterial	Hume & Mitchell	Yes	Yes	No	M	-	100.00%
Road	MN-RD-03	Western Arterial Road	Primary arterial	Hume	Yes	Yes	No	S	-	100.00%
Intersection	MN-IN-01	Western Arterial Road and connector road	Primary-Connector intersection	Hume	Yes	No	Yes	L	-	100.00%
Intersection	MN-IN-02	Western Arterial Road and	Primary-Connector intersection	Hume	Yes	No	Yes	L	-	100.00%

		connector road								
Intersection	MN-IN-03	Western Arterial Road and connector road	Primary-Connector intersection	Hume	Yes	No	Yes	L	-	100.00%
Intersection	MN-IN-04	Western Arterial Road and Guns Gully Road	Primary-Secondary intersection	Hume & Mitchell	Yes	No	Yes	S	-	100.00%
Intersection	MN-IN-05	Aitken Boulevard and Camerons Road	Primary-Secondary intersection	Hume	Yes	No	Yes	L	-	100.00%
Intersection	MN-IN-06	Guns Gully Road and Aitken Boulevard	Primary-Primary intersection	Hume & Mitchell	Yes	No	Yes	S	-	100.00%
Intersection	MN-IN-07	Aitken Boulevard and connector road	Primary-Connector intersection	Mitchell	Yes	No	Yes	M	-	100.00%
Intersection	MN-IN-08	Aitken Boulevard and connector road	Primary-Connector intersection	Hume	Yes	No	Yes	M	-	100.00%
Intersection	MN-IN-09	Guns Gully Road and connector road	Primary-Connector intersection	Hume & Mitchell	Yes	No	Yes	S	-	100.00%

Culvert	MN-CU-01	Culvert under Guns Gully Road	Culvert under secondary arterial road	Hume & Mitchell	Yes	Yes	No	S	-	100.00%
Culvert	MN-CU-02	Culvert under Guns Gully Road	Culvert under secondary arterial road	Hume & Mitchell	Yes	Yes	No	S	-	100.00%
Culvert	MN-CU-03	Culvert under Guns Gully Road	Culvert under secondary arterial road	Hume & Mitchell	Yes	Yes	No	S	-	100.00%
Local Park	MN-LP-01	Local park	Local park	Mitchell	Yes	No	No	S	-	100.00%
Local Park	MN-LP-02	Local park	Local park	Hume	Yes	No	No	S	-	100.00%
Local Park	MN-LP-03	Local park	Local park	Hume	Yes	No	No	S	-	100.00%
Local Park	MN-LP-04	Local park	Local park	Hume	Yes	No	No	S	-	100.00%
Local Park	MN-LP-05	Local park	Local park	Hume	Yes	No	No	S	-	100.00%
Local Park	MN-LP-06	Local park	Local park	Mitchell	Yes	No	No	M	-	100.00%

Appendix 2 Summary land use budget & property-specific land use budget

- precinct boundary
- parcel boundary (PSP reference number)
- arterial road - public aquisition overlay or existing road reserve
- arterial road - new/widening/intersection flaring
- conservation reserve
- waterway & drainage within conservation area
- waterway & drainage reserve
- local park
- NDA - employment

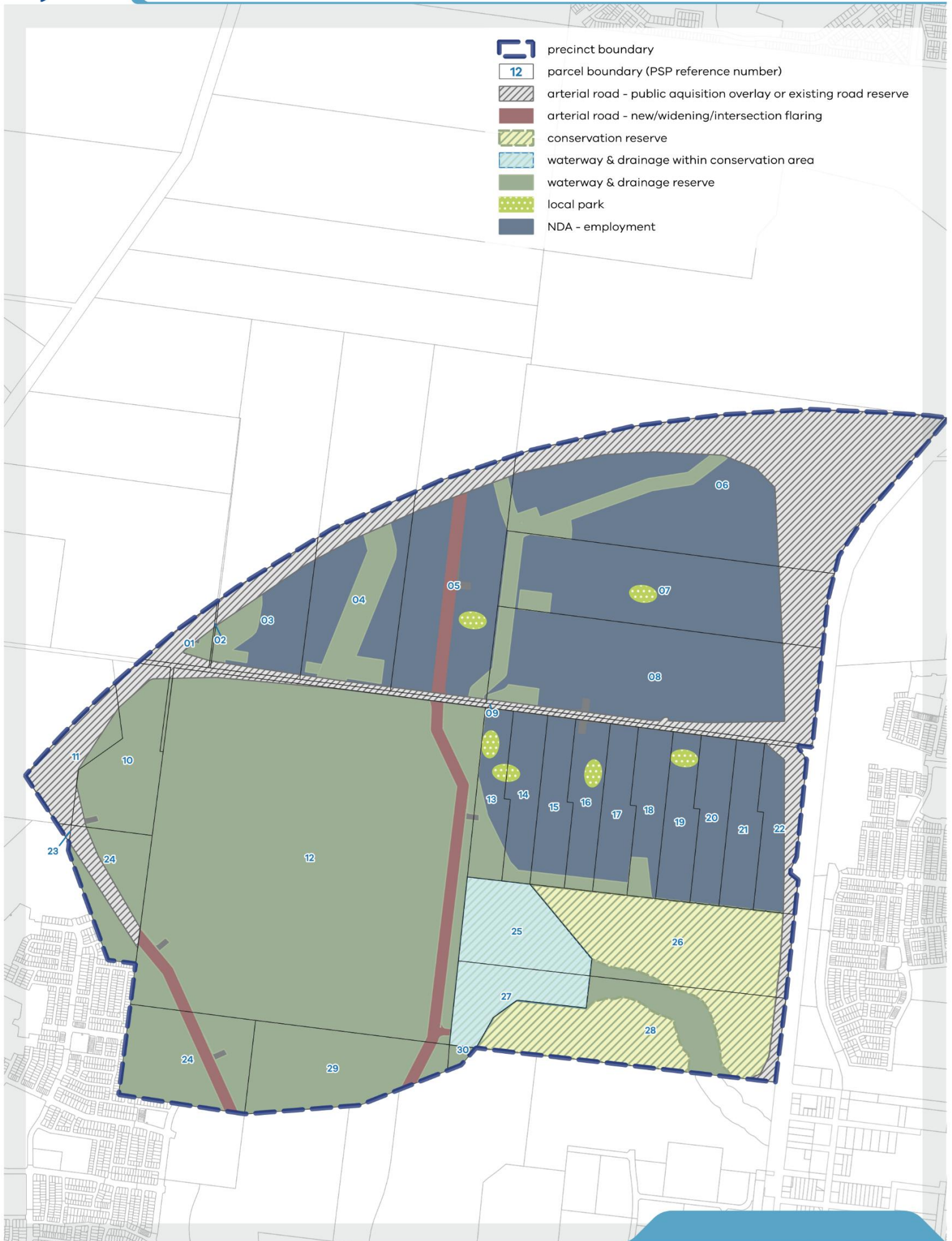


Table 5 Summary land use budget

DESCRIPTION	Hectares	% of Total	% of NDA
TOTAL PRECINCT AREA (ha)	970.41		
Transport			
Arterial Road – Public Acquisition Overlay	138.85	14.31%	44.20%
Arterial Road – New/Widening/Intersection Flaring (ICP land)	23.06	2.38%	7.34%
Non-Arterial Road – New/Widening/Intersection Flaring (ICP land)	1.62	0.17%	0.52%
Sub-Total Transport	163.53	16.85%	52.06%
Open Space			
Uncredited Open Space & Regional Open Space			
Conservation Reserve	74.79	7.71%	23.81%
Waterway and drainage reserve	413.16	42.58%	131.53%
Sub-Total Uncredited Open Space & Regional Open Space	487.96	50.28%	155.34%
Credited Open Space			
Local network park (ICP land)	4.80	0.49%	1.53%
Sub-Total Credited Open Space	4.80	0.49%	1.53%
Total All Open Space	492.76	50.78%	156.87%
TOTAL NET DEVELOPABLE AREA – (NDA) Ha	314.12	32.37%	
	314.12	79.09%*	

**This calculation of NDA as a percentage of adjusted total precinct area excludes the Kalkallo Retarding Basin (KRB), Conservation Reserve, and the Public Acquisition Overlays (PAO) from the total precinct area. The area excluded comprises 573.24ha (59.07%) of the overall precinct area. The exclusion of these non-developable areas results in a significant increase in NDA as a percentage of total precinct area (or in this case NDA as a percentage of total developable precinct area).*

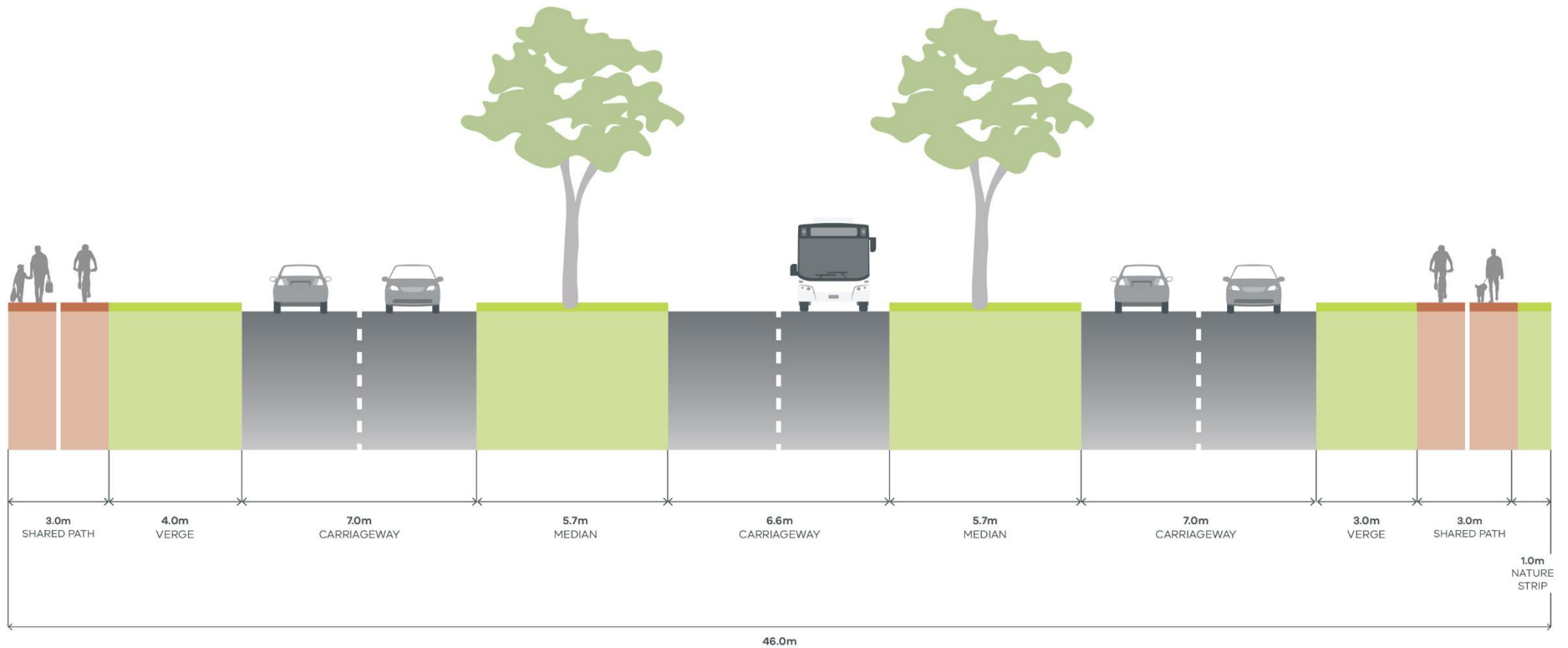
Table 6 Parcel-specific land use budget

Parcel ID	Total Area (Hectares)	Land Use	Arterial Road - Public Acquisition Overlay	Arterial Road - New / Widening / Intersection Flaring (ICP land)	Non-Arterial Road - New / Widening / Intersection Flaring (ICP land)	Conservation Reserve	Waterway and Drainage Reserve	Local Network Park (ICP land)	Total Net Developable Area (Hectares)	Total Contribution Land (Hectares)	Transport (Hectares)	Commercial & Industrial Community and Recreation (Hectares)
MN-01	5.38	Employment	4.28	-	-	-	1.06	-	0.03	0.03	-	-
MN-02	0.24	Employment	0.12	-	-	-	0.12	-	-	-	-	-
MN-03	21.91	Employment	6.26	-	-	-	4.25	-	11.41	11.41	-	-
MN-04	35.94	Employment	5.41	-	-	-	12.34	-	18.19	18.19	-	-
MN-05	49.30	Employment	5.55	5.73	0.24	-	1.82	0.80	35.16	41.93	5.97	0.80
MN-06	112.82	Employment	59.32	-	-	-	8.20	-	45.30	45.30	-	-
MN-07	56.48	Employment	8.10	-	-	-	3.96	0.80	43.62	44.42	-	0.80
MN-08	72.98	Employment	12.50	-	0.22	-	4.29	-	55.97	56.19	0.22	-
MN-09	7.12	Employment	6.59	-	-	-	0.53	-	-	-	-	-
MN-10	23.33	Employment	3.19	-	0.24	-	19.90	-	-	0.24	0.24	-
MN-11	12.55	Employment	10.80	-	-	-	1.75	-	-	-	-	-
MN-12	245.29	Employment	1.43	12.78	0.39	-	230.69	-	-	13.17	13.17	-
MN-13	12.14	Employment	0.02	-	0.08	-	4.74	1.23	6.07	7.38	0.08	1.23
MN-14	12.20	Employment	0.02	-	-	-	1.06	0.37	10.75	11.12	-	0.37
MN-15	12.14	Employment	0.02	-	-	-	0.98	-	11.15	11.15	-	-
MN-16	12.14	Employment	0.02	-	0.22	-	0.81	0.80	10.30	11.32	0.22	0.80
MN-17	12.14	Employment	0.01	-	-	-	0.98	-	11.14	11.14	-	-
MN-18	12.14	Employment	0.02	-	-	-	1.80	-	10.32	10.32	-	-
MN-19	12.14	Employment	0.01	-	-	-	-	0.80	11.33	12.13	-	0.80
MN-20	12.14	Employment	0.01	-	-	-	-	-	12.13	12.13	-	-
MN-21	12.14	Employment	0.01	-	-	-	-	-	12.13	12.13	-	-
MN-22	15.26	Employment	6.14	-	-	-	-	-	9.11	9.11	-	-
MN-23	0.30	Employment	0.30	-	-	-	-	-	-	-	-	-
MN-24	44.38	Employment	4.65	3.15	0.24	-	36.35	-	-	3.38	3.38	-
MN-25	20.09	Employment	-	-	-	0.05	20.04	-	-	-	-	-
MN-26	43.11	Employment	1.94	-	-	39.47	1.70	-	-	-	-	-
MN-27	14.54	Employment	-	-	-	0.02	14.53	-	-	-	-	-
MN-28	48.64	Employment	2.14	-	-	35.25	11.26	-	-	-	-	-
MN-29	30.47	Employment	-	1.40	-	-	29.08	-	-	1.40	1.40	-
MN-30	0.96	Employment	-	-	-	-	0.96	-	-	-	-	-
Sub-Total	970.41		138.85	23.06	1.62	74.79	413.16	4.80	314.12	343.60	24.68	4.80
Total PSP	970.41		138.85	23.06	1.62	74.79	413.16	4.80	314.12	343.60	24.68	4.80

Appendix 3 Road cross sections & functional layout plans

Streetscape Cross Section

Aitken Boulevard Primary Arterial (46m)

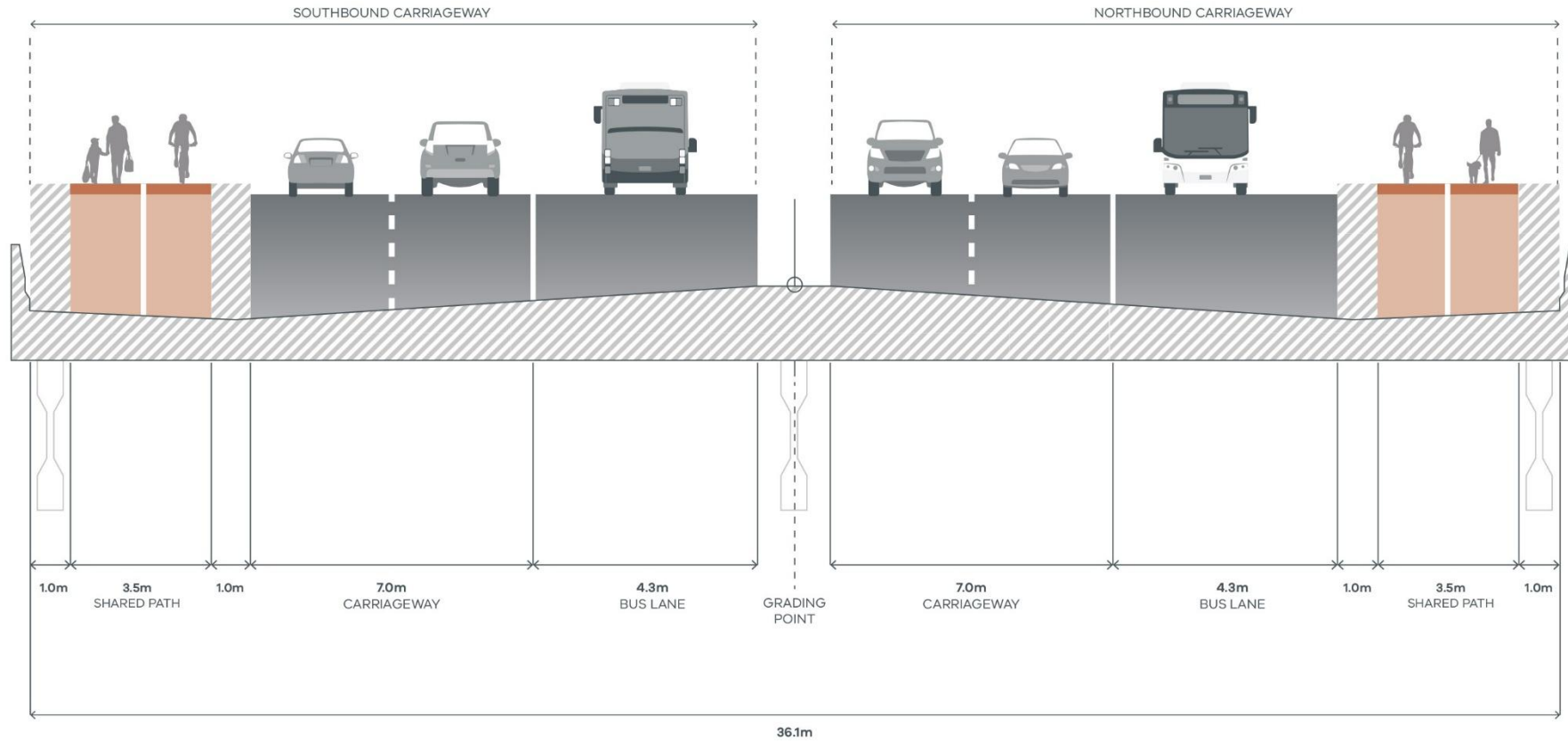


NOTES:

-

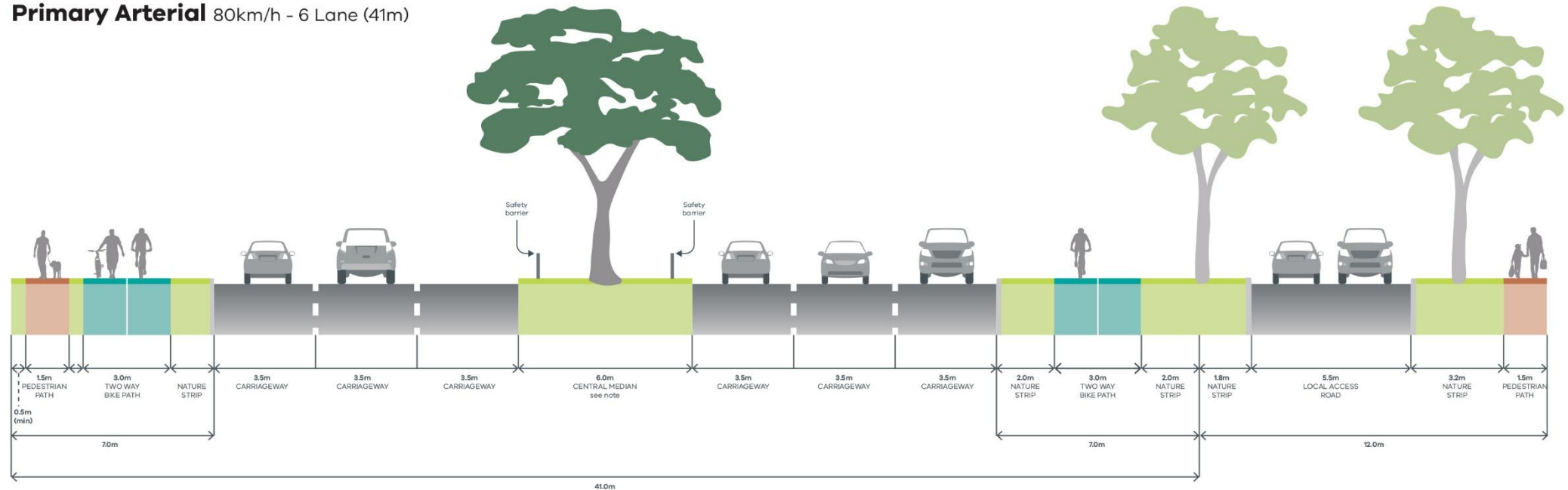
Streetscape Cross Section

Aitken Boulevard Bridge Crossing Section (36.1m)

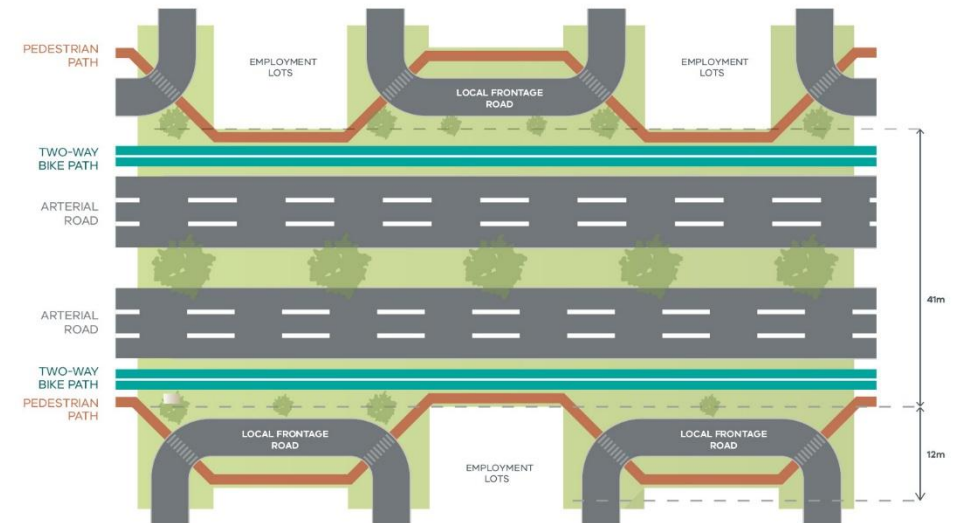


Streetscape Cross Section

Primary Arterial 80km/h - 6 Lane (41m)



Inset Plan (indicative only)

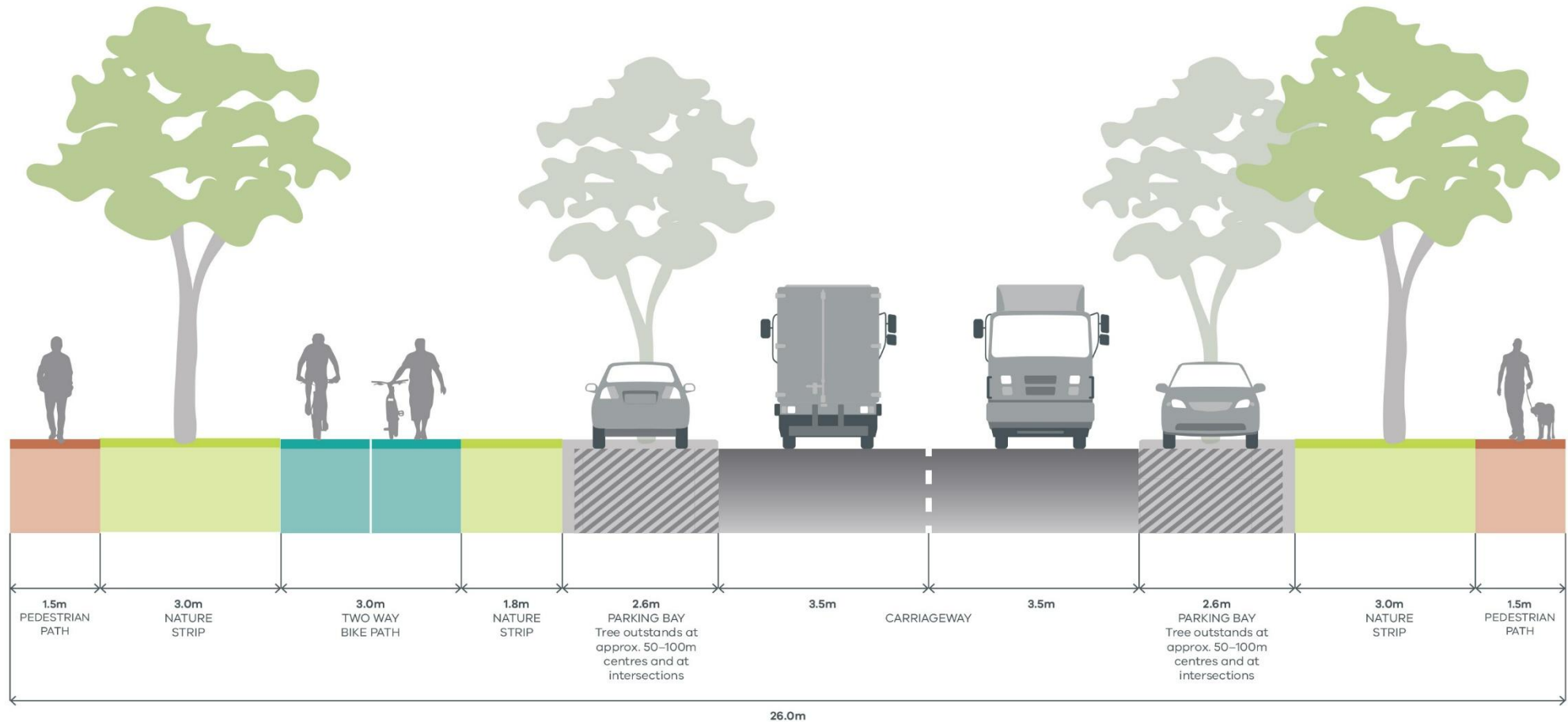


NOTES:

- Includes typical employment interface both sides.
- Minimum street tree mature height 15 metres.
- Kerbs for arterial carriageways are to be SM2 Semi-Mountable Kerb, and local frontage roads are to be B2 Barrier Kerb.
- See VicRoads Tree Planting Policy. Large trees within the road reserve to be protected by safety barriers where required.
- Depending on context, a shared path can replace the separated footpath and bike path within the arterial road reserve, on both sides, subject to approval from the Responsible Authority

Streetscape Cross Section

Connector Street - Industrial (26m)



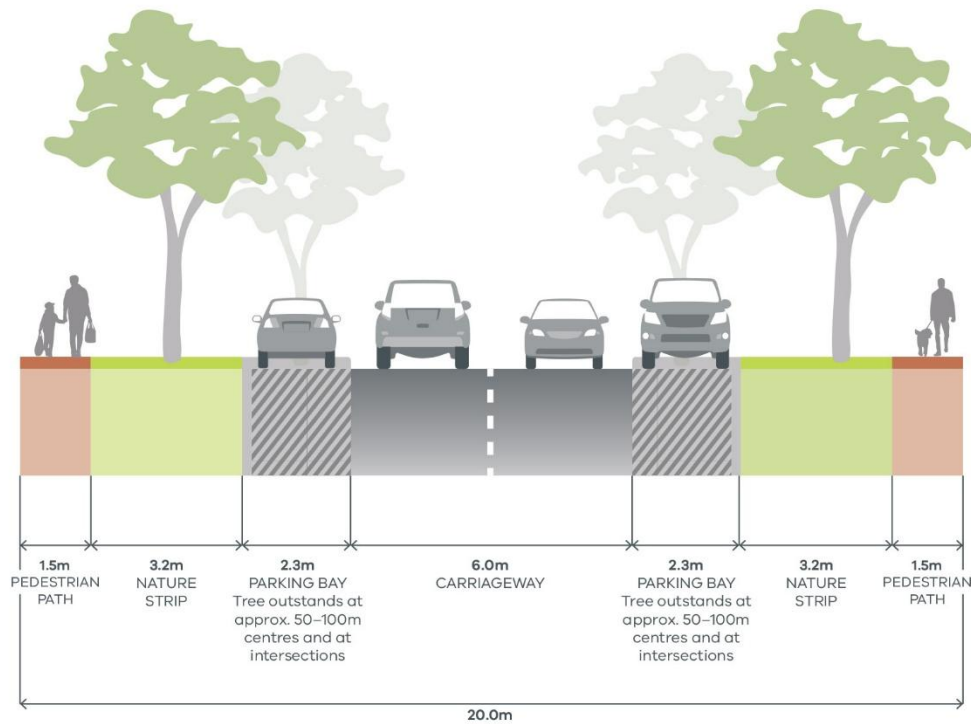
NOTES:

- Minimum street tree mature height 15 metres.
- All kerbs are to be B2 Barrier Kerb.
- Where roads abut thoroughfares, grassed nature strip should be replaced with pavement. Canopy tree planting must be incorporated into any additional pavement.
- Verge widths may be reduced where roads abut open space with the consent of the responsible authority.
- Variation to indicative cross-section may include water sensitive urban design (WSUD) outcome. These could include but are not limited to bioretention tree planter systems and/or median bioretention swales. Such variations must be to the satisfaction of the responsible authority.

Streetscape Cross Section

Local Access Street Level 2 (20-21m)

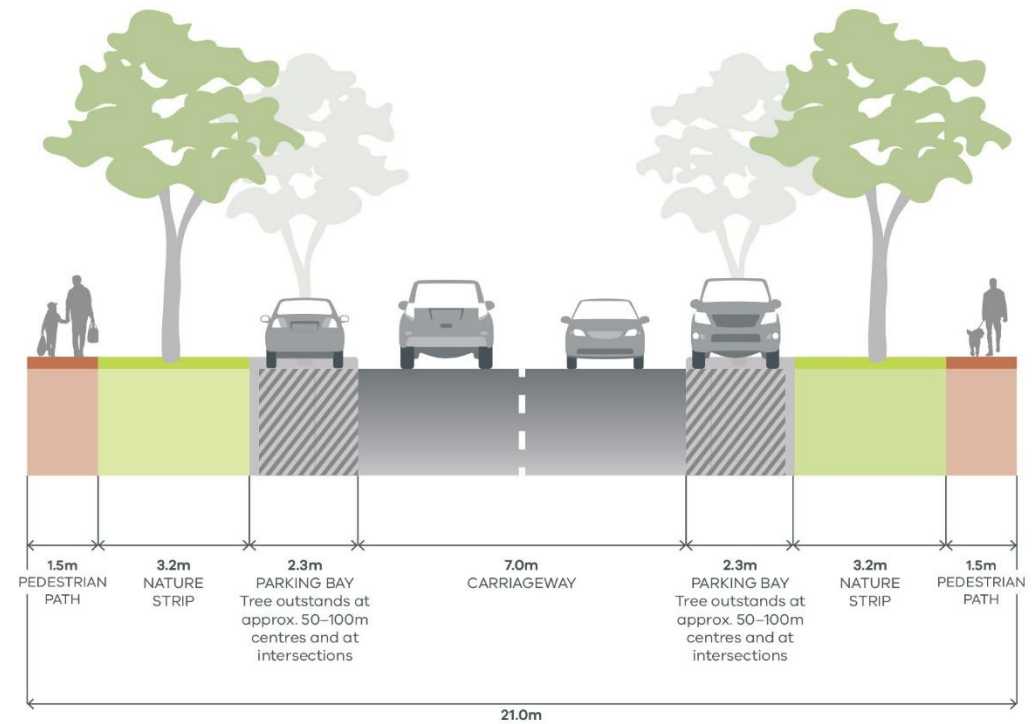
STANDARD



NOTES:

- Minimum street tree mature height 12 metres
- All kerbs are to be B2 Barrier Kerb.
- Verge widths may be reduced where roads about open space within the consent of the responsible authority.

BUS CAPABLE

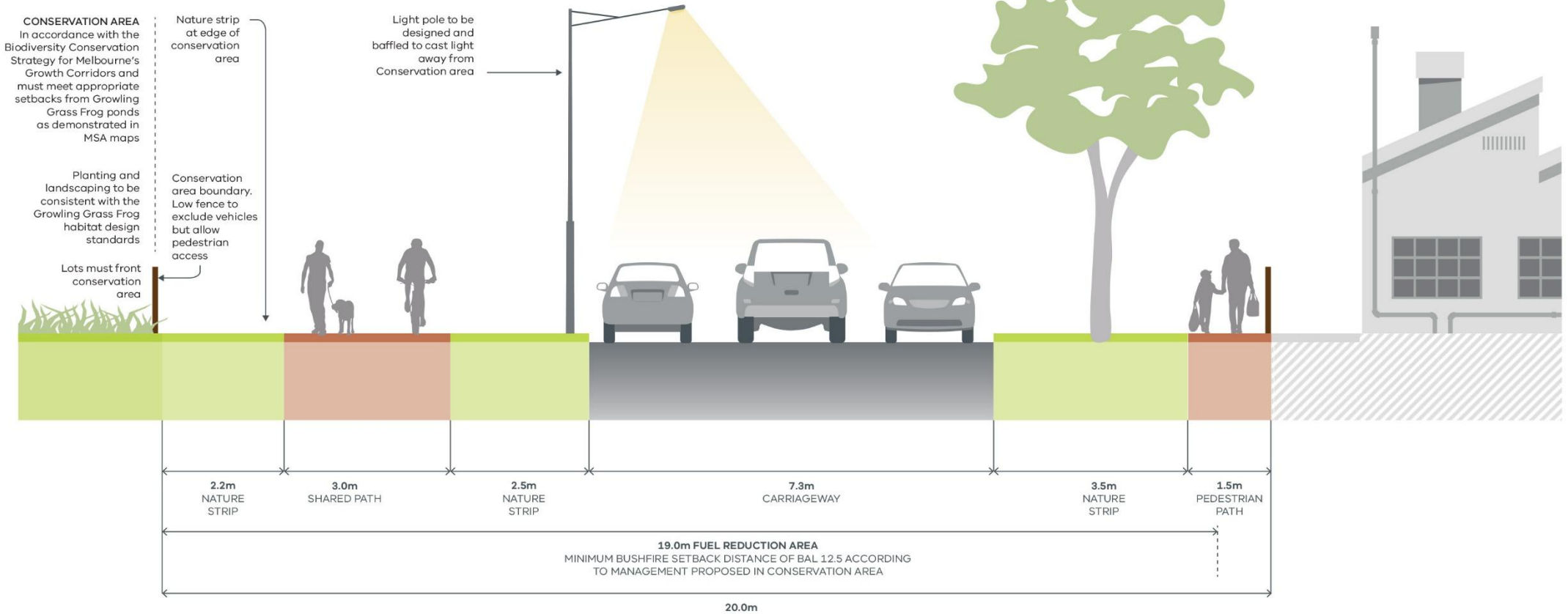


NOTES:

- The above cross section applies to Local Access Street required to accommodate future bus movements..

Streetscape Cross Section

Local Access Street (14.5-20.0m) BCS Conservation area 23 & 34



NOTES:

- No trees are to be located within 10m of the conservation area boundary.
- All properties are to be oriented to the front of the conservation area.
- All necessary bushfire setbacks must be outside the Conservation area.
- All private property boundaries to be setback by at least 20 metres from the BCS Conservation area boundary. It is to allow pedestrian access at specified access points.
- Street tree planting of a medium to large size appropriate for the widths and function of the street.
- All kerbs are to be B2 Barrier Kerb.

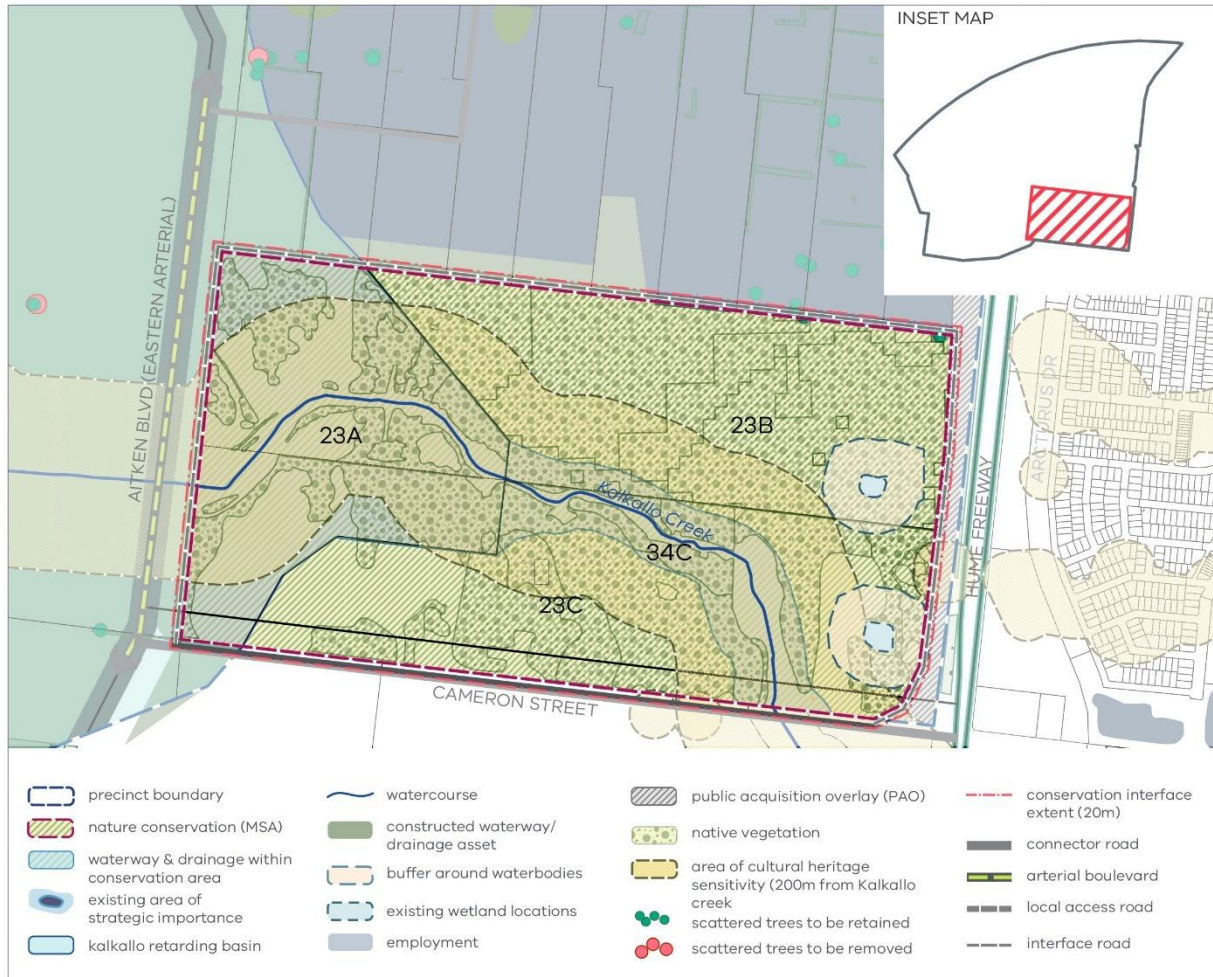
- Verge widths may be reduced where roads abut open space with the consent of the responsible authority.
- Fencing must be constructed in accordance with the recommendations in the *DEECA requirements for permanent fencing around conservation areas under the Melbourne Strategic Assessment*
- Street lights installed in the nature strip must provide lighting for both the road and shared path and be wildlife sensitive lighting to assist reducing light spill into the Conservation Area, in accordance with the *MSA GROWLING Grass Frog Crossing Design Standards*.
- Space must be provided for off-road vehicle pull-over bays at maintenance access points (minimum 12m long x 2.1m wide)•

Appendix 4 Conservation Area Concept Plan

Merrifield North Precinct Structure Plan Conservation Area Concept Plan



Department
of Transport
and Planning



NOTES

- The conservation area is for the primary purpose of:
 - Protecting, maintaining and improving the current site quality and extent of native vegetation in the conservation area.
 - Protecting, maintaining and improving the following biodiversity values of national and state significance: Natural Temperate Grassland, Golden Sun Moth, Matted Flax-lily, Growling Grass Frog, Australian Bittern, Striped Legless Lizard, Western (Basalt) Plains Grasslands Community and Small Scurf-pea
 - The conservation area will provide primary habitat for matters of national environmental significance and will include management of native grassland values
- Water management locations provide for the construction and maintenance of stormwater treatment infrastructure, including wetlands, swales, sediment ponds and bio-retention systems. Management and maintenance activities may include works such as de-silting, spreading sediment, controlling weeds and reconstructing wetlands.
- Recreational infrastructure, such as walking paths, shared trails, equestrian trails, boardwalks and footbridges may be sited within passive recreation locations, where appropriately located and designed and compatible with the functioning and management objectives of the conservation area to the satisfaction of the Department of Energy, Environment and Climate Action.
- Development of works, other than shown in this plan or associated with the conservation of Growling Grass Frog or native vegetation, are not generally suitable within the conservation area. Any proposed development or works requires the approval of the Department of Energy, Environment and Climate Action.
- Any planting and revegetation must be to the satisfaction of the Department of Energy, Environment and Climate Action.
- A Fire Management Plan is to be prepared for the conservation area to the satisfaction of the Country Fire Authority.
- Drainage from stormwater treatment infrastructure must be designed to minimise impacts on biodiversity values.
- The conservation area is to be designed and managed as a 'dog on lead' area, in areas that are publicly accessible.
- Adjacent stormwater assets must be designed to enable connection for the supply of treated stormwater to future Growling Grass Frog wetlands within the conservation area.
- All necessary bushfire setbacks must be located outside of the BCS conservation area.

DTP1941/2026

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Appendix 5 Glossary of terms

TERM	DEFINITION
Biodiversity Conservation Strategy	The BCS is the overarching strategy for protecting biodiversity in Victoria's growth corridors. It outlines all the conservation measures required for matters of national environmental significance and state significance to satisfy the commitments to the Commonwealth Government and meet state requirements.
Canopy tree cover	The total area of a canopy tree's foliage (which is comprised of the layer of leaves, branches, and stems) that covers the ground when viewed from above.
Canopy tree	A tree which has an average potential canopy of foliage of 6.4m in diameter or greater at maturity in the summer months.
CHMP	Cultural Heritage Management Plan.
Development Services Scheme (DSS)	A DSS is a master plan for drainage in a specific catchment area. It guides the standards that need to be met for flood protection, water quality and waterway health.
Encumbered land	Land that is constrained for development purposes, including but not limited to easements for power/transmission lines, sewer, gas, waterways/drainage; retarding basins/ wetlands; landfill; conservation, protected vegetation and heritage areas. This land may be used for a range of activities (e.g. walking trails, sports fields) and is not credited. However, regard is taken of the availability of encumbered land when determining the open space requirement.
Fire threat edge	The interface between urban development and an area which presents a permanent potential for fire to impact a community.
Frontage	The road alignment at the front of a lot. If a lot abuts two or more roads, the one to which the building, or proposed building faces
Gross developable area	Total precinct area excluding encumbered land, arterial roads and other roads with four or more lanes.
Growth Corridor Plan	A high level integrated land use and transport plan that provide a strategy for the development of Melbourne's growth corridors over the coming decades. Merrifield North PSP is located in the North Growth Corridor Plan.
Heritage Interpretation Plan	A strategic document that communicates the historical, cultural, and architectural significance of a heritage site.
Linear open space network	Corridors of open space, mainly along waterways that link together forming a network.
Net developable area (NDA)	Land within a precinct available for development. This excludes encumbered land, arterial roads, railway corridors, government schools and community facilities and public open space. It

includes lots, local streets, and connector streets. Net developable area may be expressed in terms of hectare units (i.e. NDHa).

Passive open space	Open space that is set aside for parks, gardens, linear corridors, conservation bushlands, nature reserves, public squares and community gardens that are made available for passive recreation, play and unstructured physical activity including walking, cycling, hiking, revitalisation, contemplation and enjoying nature. Passive open space is uncredited.
Public open space	Land that is set aside in the precinct structure plan for public recreation that incorporates active and passive open space.
State Significant Industrial Precinct (SSIP)	Strategically located land available for major industrial development linked to the Principal Freight Network and transport gateways.
Ultra-low-floor bus	Bus with stairless, flat-floor access and built in wheelchair accessibility.
Unencumbered	Land that is not constrained by uses required to enable development.
Urban Growth Boundary (UGB)	The metropolitan strategy released in 2002 known as Melbourne 2030 established an urban growth boundary around Melbourne to better manage outward expansion in a coordinated manner. The purpose of the urban growth boundary is to direct urban growth to areas best able to be supplied with appropriate infrastructure and services and protect other valuable peri-urban land (and environmental features) from urban development pressures.
Water sensitive urban design	A sustainable water management approach that aims to provide water quality, flood management and green landscapes. Key principles include: • minimising water-resistant surfaces • recharging natural groundwater aquifers (where appropriate) by increasing the amount of rain absorbed into the ground • encouraging onsite reuse of rain and incorporation of rain gardens • encouraging onsite treatment to improve water quality, and • removing pollution and using temporary rainfall storage (retarding basins/wetlands) to reduce the load on drains.
Waterway	A river, creek, stream, watercourse or natural channel which may include features like a lake, lagoon, swamp and marsh.