



Report

Merrifield North PSP - Utility Servicing Assessment

Prepared for: Department of Transport and Planning – Victoria Planning Authority
26 June 2026



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Contents

Executive Summary	1
1. Introduction and Site Overview	2
1.1 Background	2
1.2 Purpose	5
1.3 Background and Reference Documents	5
1.4 Key Stakeholders	2
2. Methodology	3
3. Sewer Servicing.....	4
3.1 Current Conditions	4
3.2 Servicing Strategy.....	5
4. Water Servicing (Drinking and Non-Drinking).....	6
4.1 Current Conditions	6
4.1.1 Drinking Water (DW)	6
4.1.2 Non-Drinking Water (NDW)	6
4.2 Servicing Strategy.....	7
4.2.1 Drinking Water (DW)	8
4.2.2 Non-Drinking Water(NDW).....	9
4.3 Integrated Water Management.....	11
5. Electricity.....	12
5.1 Electrical Distribution Network	12
5.1 Current Conditions	12
5.1.1 Transmission	12
5.1.2 Distribution.....	12
5.2 Servicing Strategy.....	14
6. Telecommunications	15
6.1 Introduction.....	15
6.2 Current Conditions	15
6.2.1 Telstra	15
6.2.2 NBN	15
6.2.3 Telecommunications Towers	16
6.3 Servicing Strategy.....	17
6.3.1 Telstra	17
6.3.2 NBN	17
7. Gas (Subject to direction of VPA)	18
7.1 Introduction.....	18
7.2 Current conditions	18
7.3 Servicing Strategy.....	18
8. Other Services	19
8.1 Gas Transmission Pipeline.....	19
8.1.1 Transmission	21
9. Typical Cross-Sections.....	22
10. Staging Recommendations and Developer Implications.....	23
10.1 Proposed Development Sequence	23
10.2 Initial Locations for Development.....	23
10.3 Servicing Requirements and Constraints of Individual landholdings	24

Appendices

Appendix A Servicing Layout Plans

Appendix B Water Authority Advice

Figures

Figure 2 - VPA Place-based Plan	4
Figure 3: Delivery Methodology	3
Figure 4: YVW Sewer Concept Plan	4
Figure 5: YVW Dringing Water Concept Plan	7
Figure 6: YVW Non-Drinking Water Concept Plan.	7
Figure 7 - Water authority planned drinking water assets	10
Figure 8 - Water authority planned non-drinking water assets	10
Figure 9 – Energy Victoria – Distributor Map	12
Figure 10 – AusNet GridView – Rosetta data Portal (https://gridview.ausnetservices.com.au/)	13
Figure 11 – Distribution Annual Planning Report – Jemena (https://dapr.jemena.com.au/).....	13
Figure 15 - WORM alignment (APA Group)	19
Figure 16 - WORM Section 3 planning zones (APA Group)	20

Tables

Table 1. Summary of Key Stakeholders	2
Table 2. YVW Major Sewer Infrastructure	5

Executive Summary

SMEC has been engaged by the Victorian Planning Authority (VPA) to prepare a Utility Assessment report for the Merrifield North East Precinct Structure Plan.

The purpose of this Utility Assessment is to inform the preparation of the Precinct Structure Plan and includes reviewing existing servicing strategies, identifying opportunities and constraints regarding utility services and infrastructure related to the future development and to formalise the understanding of servicing the precinct with sewerage, water, power, gas, electrical, telecommunications and stormwater drainage (noting that a separate detailed stormwater drainage and flooding assessment will be undertaken by others).

This report documents the key considerations from discussions held with VPA, Council and Service Authorities as part of this engagement.

For avoidance of doubt, road infrastructure and stormwater management does not form part of the scope of this Utility Assessment. We understand that the VPA have engaged other consultants to provide stormwater strategies and traffic assessments for this Precinct.

The information in this report is preliminary and has been obtained through discussion with key stakeholders and service authorities at the time of writing this report. The Utility Assessment is subject to change upon final confirmation of utility servicing strategies adopted by the relevant service authorities and following further review of detailed inputs (e.g. property investigations, feature and level survey, detailed engineering design and future planning decisions). SMEC does not accept a duty of care or any other legal responsibility whatsoever in relation to the current utility assessment or any subsequent changes to the servicing strategies.

1. Introduction and Site Overview

1.1 Background

Merrifield North (the Precinct) is an employment precinct identified in the Northern Growth Corridor Plan (NGCP) and located 35 kilometres northwest of Melbourne's Central Business District (CBD) and to the west of the existing Kalkallo township. The Precinct is approximately 988 hectares in area and sits in both the Mitchell Shire Council and Hume City Council local government areas on the traditional land of the Wurundjeri People, represented by the Wurundjeri Woi-wurrung Cultural Heritage Aboriginal Corporation (WWCHAC).

The Merrifield North precinct is bordered by:

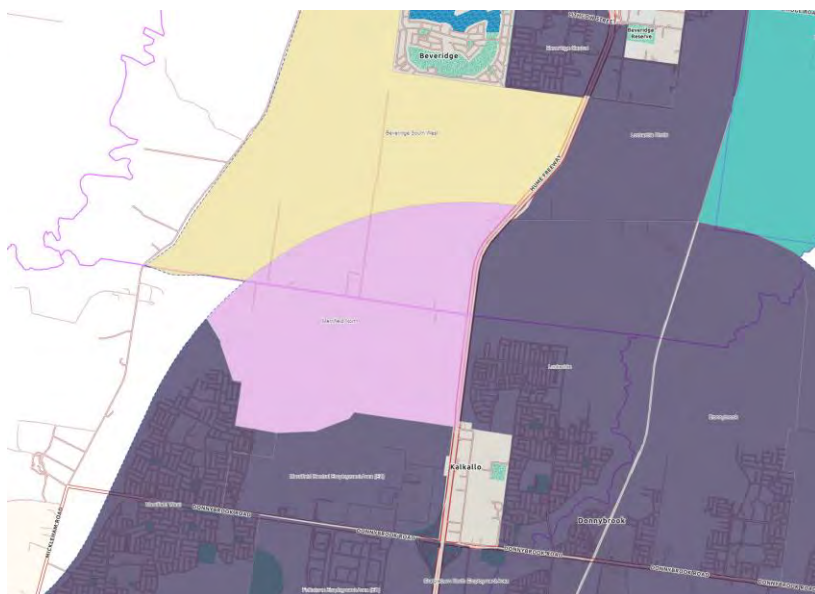
- The Merrifield Central Employment Area
- Merrifield West PSP (south)
- The Hume Highway (east)
- Outer Metropolitan Ring Road (OMR) road reserve (west and north)

Merrifield North is a strategically significant employment precinct within Melbourne's Northern Growth Corridor and is expected to accommodate major industrial and commercial development supported by substantial new infrastructure. To guide preparation of the Precinct Structure Plan (PSP), the VPA requires a clear view of existing utility conditions, future servicing requirements, and the infrastructure implications for land use planning and staging.

SMEC understands that the Utility Servicing Assessment must:

- Identify opportunities and limitations associated with water, sewer, recycled water, electricity, gas, telecommunications and high-level drainage.
- Map existing and potential future servicing infrastructure to support PSP preparation.
- Provide realistic servicing options, trunk alignment concepts, staging considerations, and land/easement requirements.
- Supply GIS-compliant mapping, diagrams, and cross-sections to the standards outlined by VPA.
- Support later phases of consultation, exhibition and panel processes

Figure 1 - Project location





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SMEC has been provided the Place-Based plan for the Precinct Structure Plan which guides information contained within this report

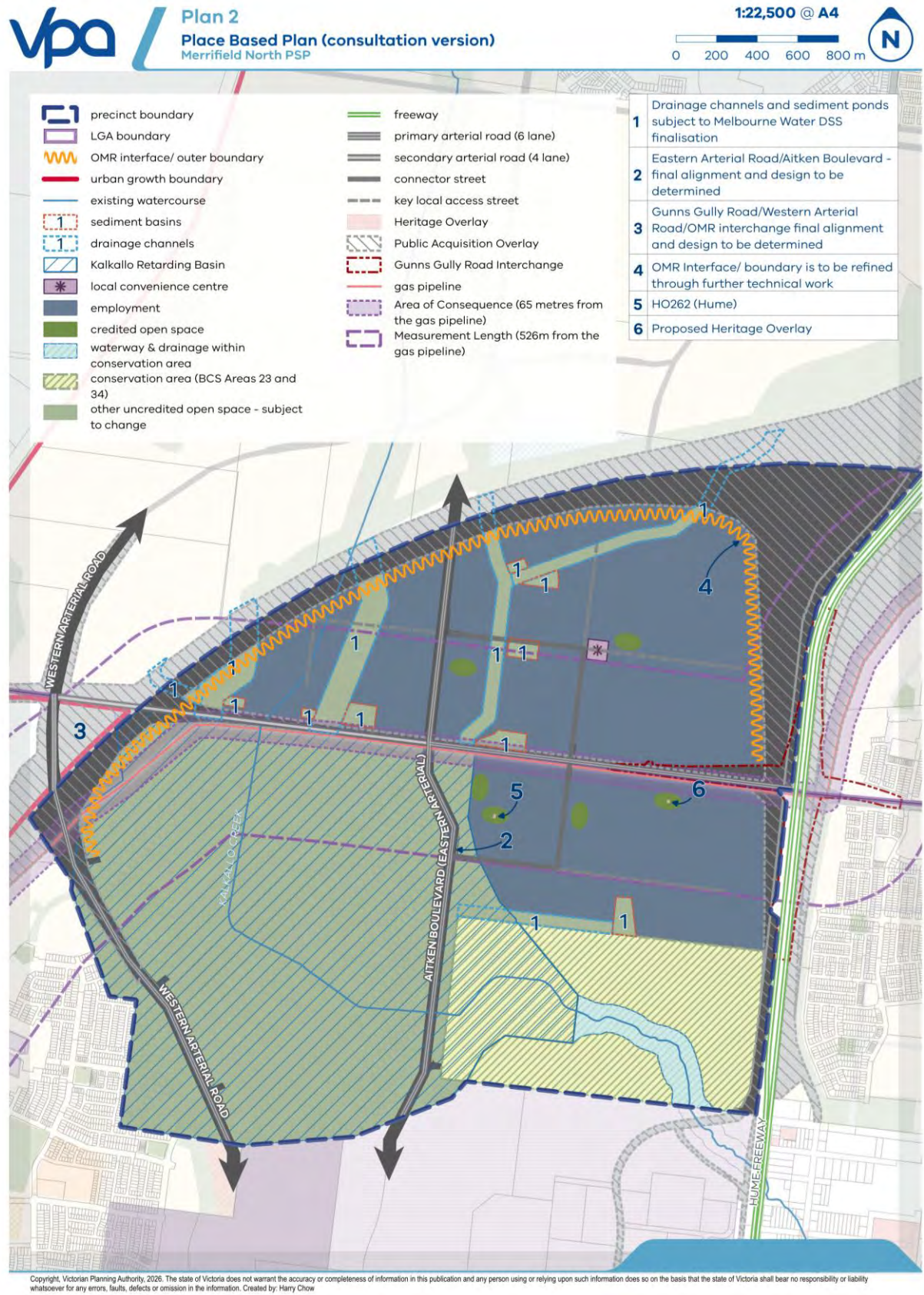


Figure 2 - VPA Place-based Plan

1.2 Purpose

The purpose of this report is to provide a high-level utility servicing review of the Merrifield North precinct to inform the preparation of Precinct Structure Plan and the requirements for the following services:

- Sewer Reticulation
- Potable Water
- Recycled Water
- Electricity
- Gas
- Any other relevant utility service infrastructure on or adjoining the Merrifield North precinct.
- Telecommunications
- Storm water drainage (noting that a separate detailed stormwater drainage and flooding assessment will be undertaken by others)

In consultation with the relevant authorities, the capacity of existing services and the likely future infrastructure requirements has been assessed by SMEC and any constraints and high-level opportunities have been identified in this report.

For avoidance of doubt, stormwater management and road infrastructure do not form part of the scope of this Servicing Plan. A stormwater management strategy is being prepared separate to this report.

The information contained within this report will support the VPA in the preparation of the Merrifield North Precinct Structure Plan (PSP).

This report plays a critical role in facilitating early engagement with Utility Service Providers (USPs) that own or operate infrastructure within the Precinct, and in providing pre-planning information to inform future development outcomes.

1.3 Background and Reference Documents

The information within this report has been collated from the following sources:

- The Northern Growth Corridors Plan (Growth Areas Authority)
- Merrifield North PSP & ICP – Place Based Plan 2 (VPA, May 2026)
- Merrifield North – Pitching Summary Report (VPA, May 2025);
- Merrifield North – Desktop Due Diligence Report (VPA, June 2025);
- Merrifield North PSP – Utility Servicing Assessment Inception Meeting Presentation (VPA, December 2025);
- Australian Gas Infrastructure Group (Gas) – Email (March 2026)
- Energy Safe Victoria - Servicing advice (received March 2026)
- Telstra – InfraCo – Advice (March 2026);
- Melbourne Water – Response (March 2026)
- NBN Co – Merrifield North PSP – Strategic Notes (received March 2026);
- Jemena – Response (March 2026)
- Mitchell Shire Council – Received (April 2026)
- Yarra Valley Water – Preliminary Servicing Advice (May 2026)
- AusNet(Electrical) – Servicing Advice (received May 2026)
- APA – Western Outer Ring Main – Environment Effects Statement (May 2021)
- IDM - Infrastructure Design Manual (Version 5.40 IDM 2022);

1.4 Key Stakeholders

During preparation of this report several key stakeholders have been requested to provide inputs. These stakeholders have been summarised in the **Error! Reference source not found.** below.

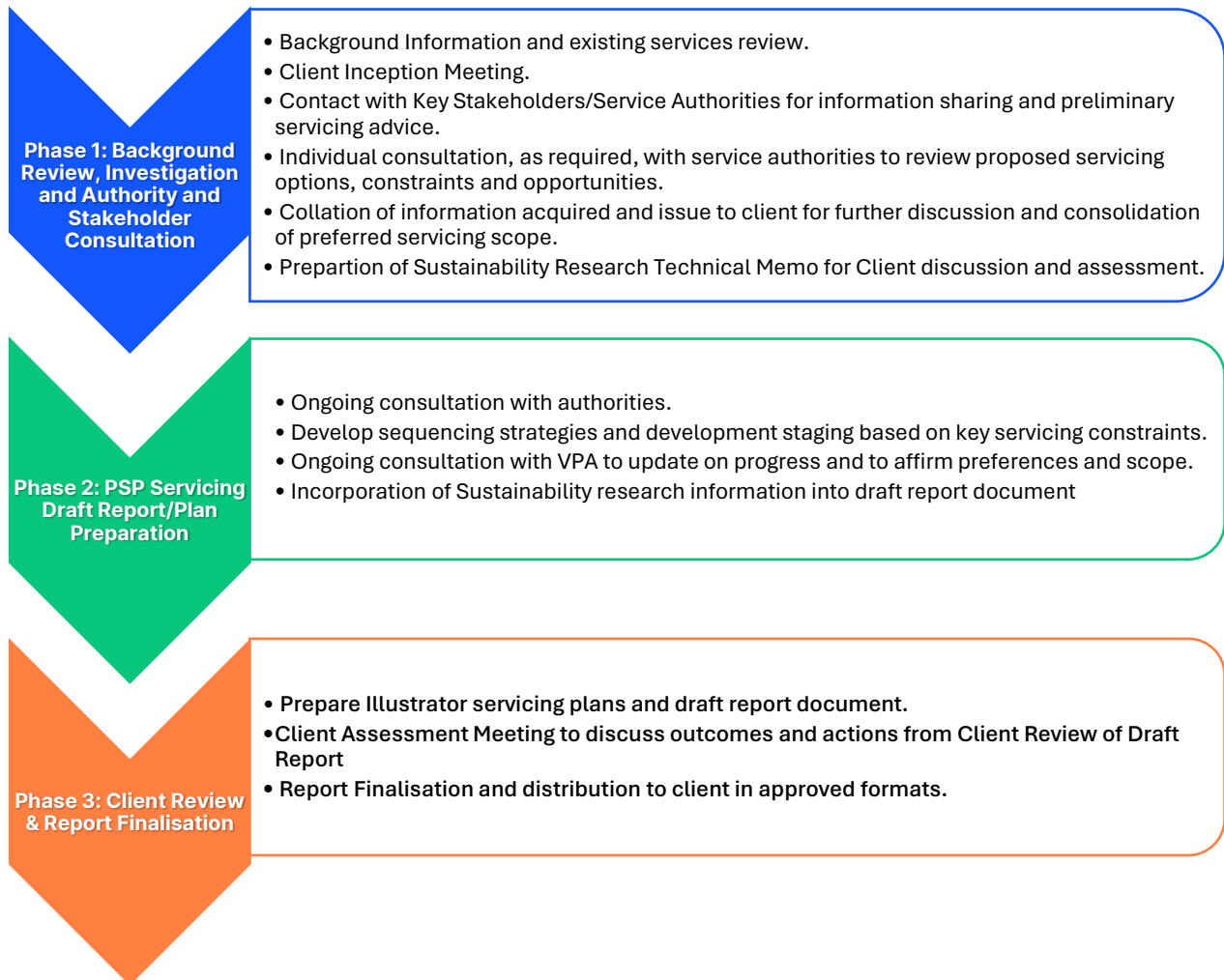
Table 1. Summary of Key Stakeholders

Service Provider	
Victorian Planning Authority	Sponsor of the Merrifield North PSP
Hume City Council	Road and Drainage Authority (South)
Mitchell Shire Council	Road and Drainage Authority (North)
Melbourne Water	Catchment Authority.
Yarra Valley Water	Sewer, Potable Water and Recycled Water Service Authority
Jemena Electricity Networks	Electrical Service Authority
AusNet Electricity Services	Electrical Service Authority
APA Group Gas Transmission	Reticulation Gas Service Authority
APA Group Gas Networks / AGIG	Reticulation Gas Service Authority
NBN Co VicTas	Communications Infrastructure Owner within PSP area
Telstra VicTas	Communications Infrastructure Owner within PSP area

2. Methodology

SMEC have prepared this utility servicing assessment report in accordance with the methodology presented in Figure 2 below.

Figure 3: Delivery Methodology



3. Sewer Servicing

Yarra Valley Water (YVW) the responsible authority for the provision of sewer infrastructure to service the Merrifield North PSP precinct. As development within the precinct area progresses, each developer will be required to extend services from the designated network connection location.

Preliminary Servicing Advice confirmation was sought from Yarra Valley Water (YVW) to ascertain their requirements to service the Merrifield North precinct.

YVW's written response is prefaced by as follows, "The following information is preliminary servicing advice and does not constitute an offer. This advice lapses within 3 months of the date of this letter. This preliminary servicing advice is based on the information provided in your enquiry. This advice may no longer be valid if there are any changes to the information provided. This advice succeeds any prior written or verbal advice provided by Yarra Valley Water (YVW). *Precinct Structure Plans have not been prepared for this area and the future development uses and lot yields are not known. This advice may change as more information on the development of this and adjacent PSP areas becomes available.*"

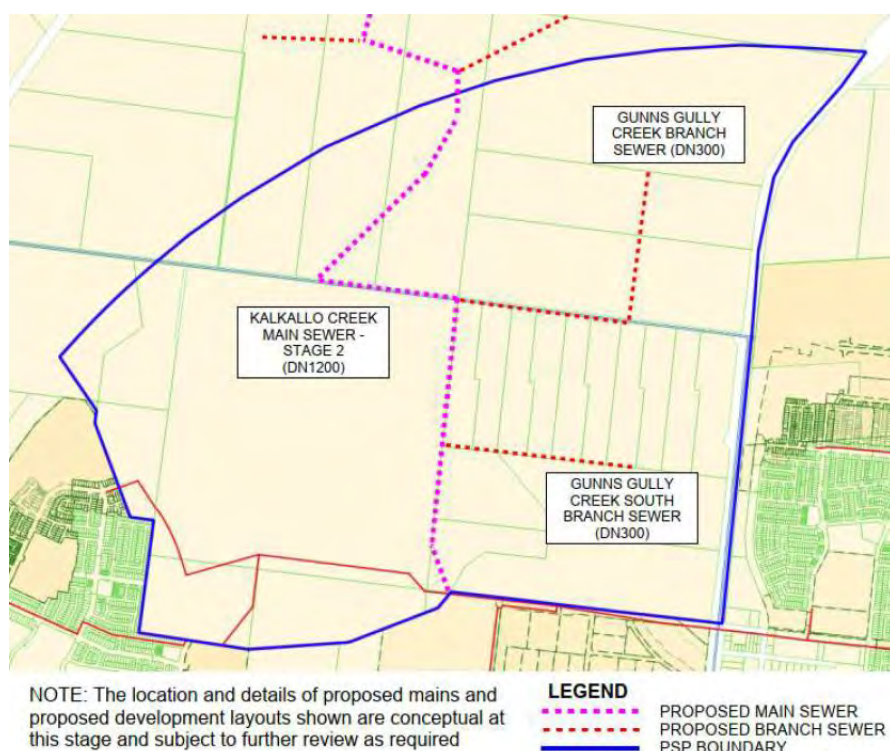
As the Merrifield North Future Structure Plan is currently being developed, YVW have advised that some of the advice may change when locations of land uses, which have impacts on water and sewer assets, are decided.

3.1 Current Conditions

Site is serviced by the Merrifield Central Branch Sewer – Section 1. This sewer follows southern boundary of the Precinct before crossing the site and connecting into Errol Boulevard. The sites intended sewer outfall is via a 1400mm Dia. Glass Reinforced Plastic (GRP) pipe built in 2018, which crosses the Hume Freeway at Cameron Street.

Moving upstream (westward) the pipe upsizes to a 1600mm dia. GRP pipe. Before downsizing to a 644mm dia. GRP pipe at maintenance structure KAL11. This structure includes a 1200mm dia. Stub which will allow connection for the RCMS Stage 2. This stub has a northern alignment and is planned to cross Kalkallo Creek and service both the Northern portion of the site (north of Gunns Gully Road) as well as crossing the future Outer Metropolitan Ring Road and service Beveridge.

Figure 4: YVW Sewer Concept Plan



3.2 Servicing Strategy

YVW's preliminary servicing advice indicates that the Merrifield North precinct will be serviced by the existing Merrifield Central Branch Sewer – Section 1 outfall which runs along the southern boundary of the precinct.

YVW have advised that the following permanent major infrastructure is required to service this development. Indicative alignments are depicted in Figure 4: YVW Sewer Concept Plan. The provided indicative catchments, sewer alignments and locations remain preliminary at the time of PSP preparation.

Table 2. YVW Major Sewer Infrastructure

Asset	Design	Build	Fund
Kalkallo Creek Main Sewer	YVW	YVW	Bring-forward costs apply (2033)*
Gunns Gully Creek South Branch Sewer	Developer	Developer	Bring-forward costs apply (2033+)*
Gunns Gully Creek Branch Sewer	Developer	Developer	Bring-forward costs apply (2033+)*

** Planned dates are not confirmed asset completion dates and may be pushed out or brought forward depending on certain circumstances.*

The Merrifield North PSP & ICP – Place Based Plan has all Employment areas north of Kalkallo Creek; the retarding basin the conservation area. Therefore at least a portion of the Kalkallo Creek Main Sewer Stage 2 (DN1200) will be required to cross the open space and service the developable Employment area.

The Kalkallo Creek Main Sewer Stage 2 will not only service the Merrifield North Precinct but extend to the north and provide an outfall to future development north of the future Outer Metropolitan Ring Road.

The Sewer Concept plan and associated Infrastructure table infer that the Gunns Gully Creek South Branch Sewer (DN300) will service the land parcel south of Gunns Gully Road. The Gunns Gully Creek Branch Sewer intended to service the parcels to the north of Gunns Gully Road, east of the Kalkallo Creek Main Sewer – stage 2.

YVW did not flag the requirement of modify or augment existing sewer assets within or outside of the precinct boundary.

4. Water Servicing (Drinking and Non-Drinking)

Yarra Valley Water (YVW) the responsible authority for the provision of water infrastructure to service the Merrifield North PSP precinct. As development within the precinct area progresses, each developer will be required to extend services from the designated network connection location.

Preliminary Servicing Advice confirmation was sought from Yarra Valley Water (YVW) to ascertain their requirements to service the Merrifield North precinct.

YVW's written response (refer **Appendix B**) is prefaced by as follows, "The following information is preliminary servicing advice and does not constitute an offer. This advice lapses within 3 months of the date of this letter. This preliminary servicing advice is based on the information provided in your enquiry. This advice may no longer be valid if there are any changes to the information provided. This advice succeeds any prior written or verbal advice provided by Yarra Valley Water (YVW). *Precinct Structure Plans have not been prepared for this area, and the future development uses and lot yields are not known. This advice may change as more information on the development of this and adjacent PSP areas becomes available.*"

As the Merrifield North Future Structure Plan is currently being developed, YVW have advised that some of the advice may change when locations of land uses, which have impacts on water and sewer assets, are decided.

4.1 Current Conditions

No water supply assets currently exist within the area of the Merrifield North Precinct. The existing infrastructure for the site and close surrounding is shown in Appendix B.

4.1.1 Drinking Water (DW)

The Precinct has several locations surrounding the site with Potable Water. The Hume Freeway boarding the eastern boundary of the site houses a 450mm dia. Mild steel cement line transfer main. The main crosses from Cameron Street across the Highway and extend beyond the northern boundary of the site.

There are several 150mm dia. Mains within the industrial estate at the south east corner of the site.

The bordering estate in the south west corner of the site has several roads with water terminating at the boundary. Errol Boulevard, Belmore Parade and Rosehill Boulevard house 150mm dia. mains, whilst Georges Blvd. Bonanza Street, Lynwood Drive, Goodwood Drive all have 100mm dia. Mains terminating at the Precincts boundary. There is no water infrastructure along Gunns Gully Road not Old Sydney Road.

4.1.2 Non-Drinking Water (NDW)

There are several 150mm dia. Mains and a 225mm dia. main within the industrial estate at the south east corner of the site. Like the potable water, the bordering estate in the south west corner of the site has several roads with recycled water terminating at the boundary. Errol Boulevard, Belmore Parade and Rosehill Boulevard house 150mm dia. mains, whilst Georges Blvd. Bonanza Street, Lynwood Drive, Goodwood Drive all have 100mm dia. mains terminating at the Precincts boundary.

4.2 Servicing Strategy

Under the current water supply servicing strategy for the Merrifield North PSP area, extensive works are required to bring drinking water (DW) and non-drinking water (NDW) supply to and through the subject land.

The subject land is planned to be serviced from the Mt Ridley Reservoir, at TWL=294m

The nearest parts of the existing DW and NDW supply networks are:

- To the east in Cloverton Boulevard (DW only) in Cloverton Estate; and
- To the south-west in Polaris Road in Merrifield Business Park.

These mains are presently supplied from Mt Ridley DW and NDW Reservoirs and in the future Bald DW and NDW Reservoirs in 2025 and 2030+ respectively.

Supply of DW and NDW to the subject land requires extension of distribution mains from the existing network. Other assets such as Pressure Reducing Stations (PRS) are required to deliver required zone pressures. Land is required to be set aside within the PSP area for the Pressure Reducing Stations.

NDW supply is mandated for residential development. NDW supply to commercial development is generally not mandated but can be supplied if available and requested by a developer.

Figure 5: YWV Dringing Water Concept Plan

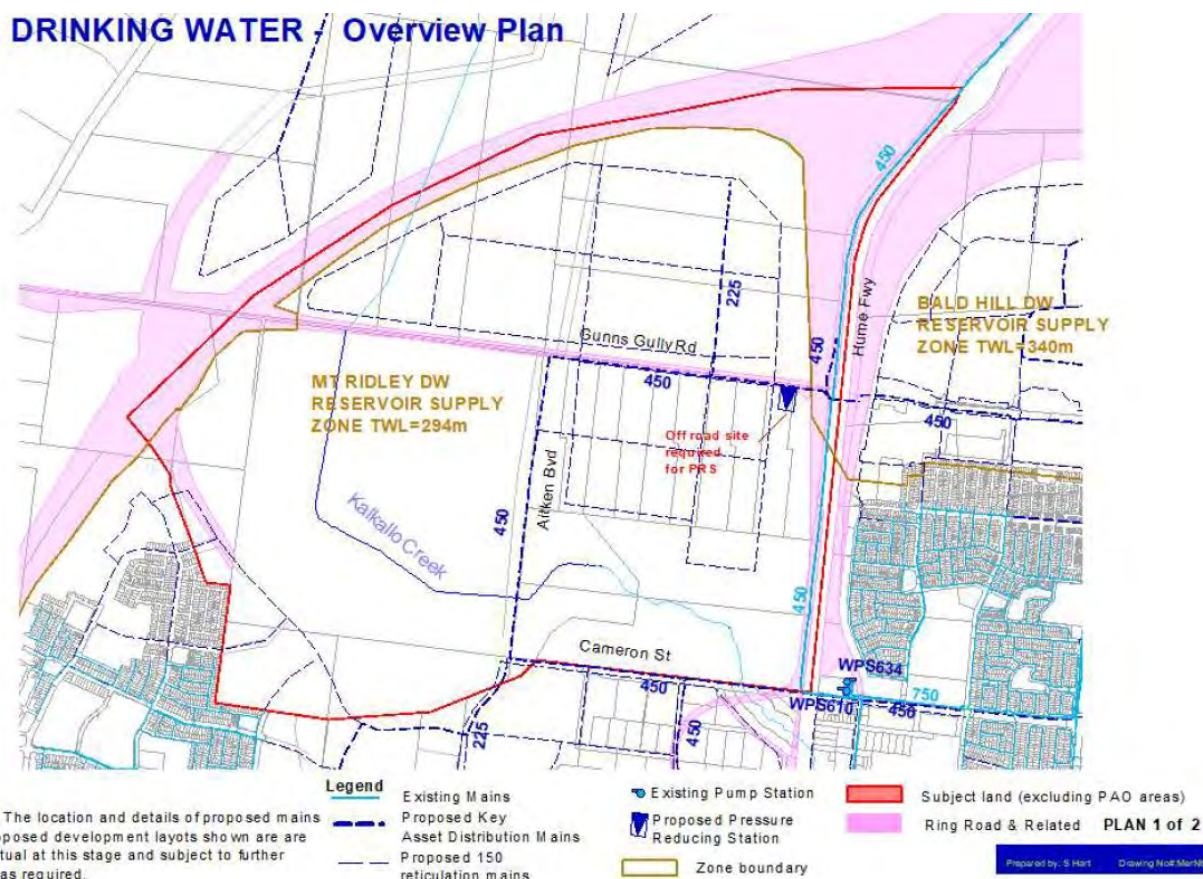
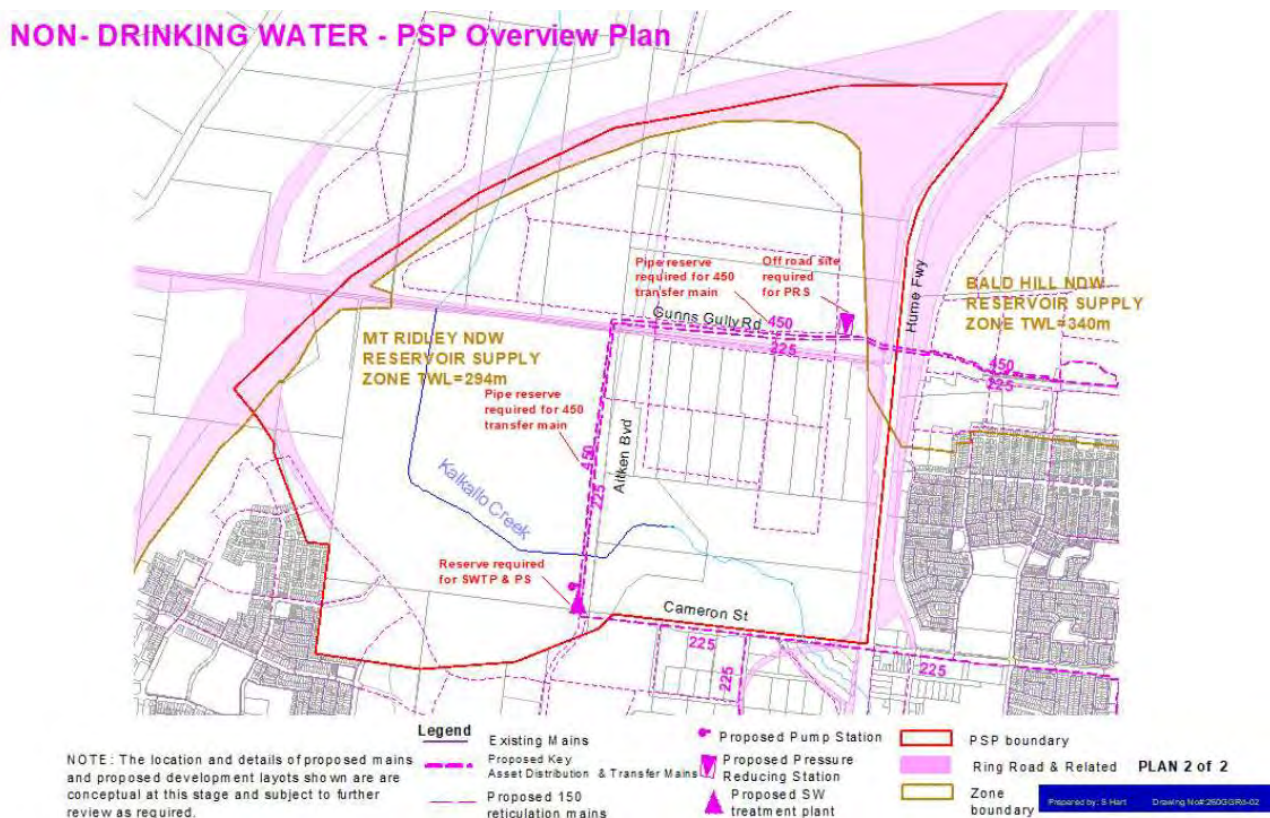


Figure 6: YWV Non-Drinking Water Concept Plan.



4.2.1 Drinking Water (DW)

The subject land can be serviced from the Mt Ridley DW Reservoir Water Supply Zone (TWL = 294m AHD). The servicing arrangements for the Mt Ridley Reservoir DW Zone in the Gunns Gully Road area west of Hume Freeway is preliminary at this stage and subject to further investigation as PSP and development details become available for the supply area.

Based on the current planning, to ultimately service the subject parcel of land with DW supply YVW would require extension of the supply network as follows:

1. Cloverton Blvd supply (from point A)
 - a. extension west of a DN450 distribution main along Gunns Gully Road including crossing the Hume Fwy) and Summerhill Road from Mt Ridley Reservoir east to the railway line;
 - b. Provision of a Pressure Reducing Station (PRS) near the Hume Fwy;
 - c. Provision of required DN150 mains along Gunns Gully Road to and through the commercial development.
2. Polaris Rd supply (from point B)
 - a. Extension northwest of DN450 Distribution main along Polaris Road, Cameron St, Aitken Boulevard extension to Gunns Gully Road.
 - b. Provision of required DN150 mains along Gunns Gully Road to and through the commercial development.

The DN450 mains and PRS are defined as a DW key assets subject to reimbursement. Depending on the timing of delivery of the assets they may be subject to “bring forward charges” if constructed out of sequence to YVW’s requirements and future water plans.

Figure 5: YVW Drinking Water Concept Plan shows existing and proposed DW mains for the Merrifield North precinct. These plans show the preliminary location for the key DW assets planned to service this area, including transfer and distribution mains, pressure reducing stations.

YVW have noted:

- Pressure Reducing Stations (PRS) require sites adjacent to accessible road where site dimensions are typically 30mx20m.
- The PRS sites and adequate road verge space for services (i.e. water mains etc) should be incorporated into the PSP to guarantee space to enable construction and future maintenance of the mains.
- Distribution and reticulation mains require adequate space allocation within Aitken Bvd, Cameron St & Gunns Gully Road reserve and Kalkallo Creek crossing structure.

4.2.2 Non-Drinking Water(NDW)

NDW can be supplied to employment/commercial development upon request. NDW can be used in commercial development for toilet flushing, laundry purposes, garden watering and irrigation purposes. Depending on the land uses from the development of the Merrifield North Employment PSP, YVW will consider mandating supply of NDW to residential development if it eventuates.

The precinct can be serviced from the Mt Ridley NDW Reservoir Water Supply Zone (TWL = 294m AHD).

1. Cloverton Boulevard supply (from point A)
 - a. Provision of Bald Hill NDW Reservoir
 - b. Installation of DN450 and DN375 mains along Cloverton Boulevard
 - c. extension west of a DN300/225 distribution main along Gunns Gully Road including crossing the Hume Fwy) and Summerhill Road from Mt Ridley Reservoir east to the railway line;
 - d. Provision of a Pressure Reducing Station (PRS) near the Hume Fwy;
 - e. Provision of required DN150 mains along Gunns Gully Road to and through the commercial development.
2. Polaris Road supply
 - a. Extension northwest of DN225 Distribution main along Polaris Road, Cameron St, Aitken Bvd extension to Gunns Gully Road
 - b. Provision of required DN150 mains along Gunns Gully Road to and through the commercial development.

The DN450-DN225 mains and PRS are defined as a NDW key assets subject to reimbursement and bring-forward costs. Figure 6: YVW Non-Drinking Water Concept Plan. shows existing and proposed NDW mains for this area and the subject land. These plans show the preliminary location for the key NDW assets planned to service this area, including transfer and distribution mains and pressure reducing stations.

- Pressure Reducing Stations (PRS) require sites adjacent to accessible road with typical site dimensions of 30mx20m.
- The PRS sites and adequate road verge space for services (i.e. water mains etc) should be incorporated into the PSP to guarantee space to enable construction and future maintenance of the mains.
- Distribution and reticulation mains require adequate space allocation within Aitken Bvd, Cameron St & Gunns Gully Road reserve and Kalkallo Creek crossing structure.
- The 450mm Transfer Main requires a pipeline reserve 7m wide. The pipeline reserve will incorporate the NDW stormwater main.

PLANNED KEY DW ASSETS

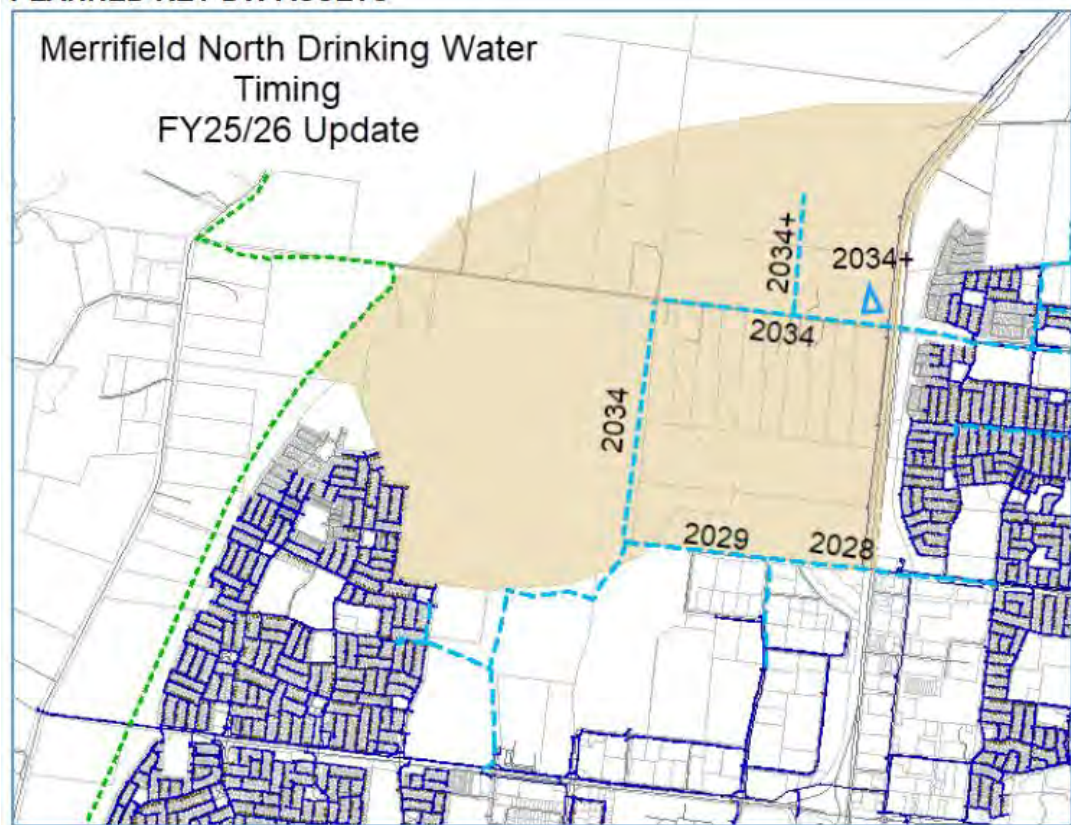


Figure 7 - Water authority planned drinking water assets

PLANNED KEY NDW ASSETS

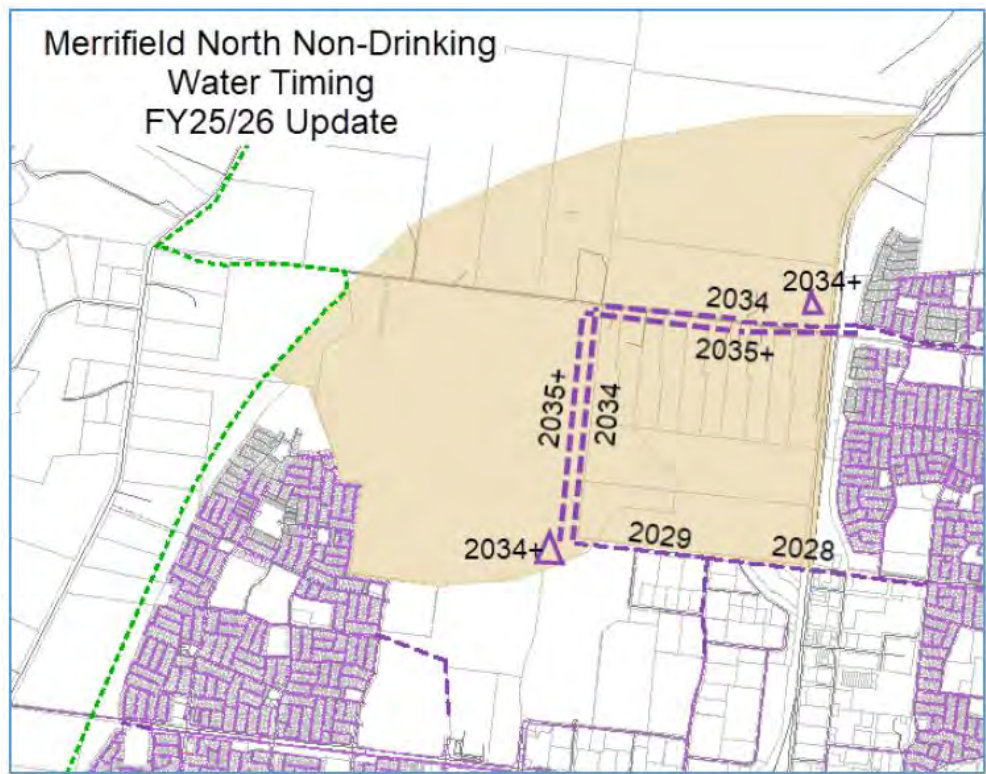


Figure 8 - Water authority planned non-drinking water assets

4.3 Integrated Water Management

YVW has been working with Melbourne Water and Hume Council to better support Integrated Water Management initiatives into developments. These initiatives may be required as part of the standards and objectives contained in Integrated Water Management - Clause 56.07 of the Victoria Planning Provisions and should consider a broad range of local scale alternative water supply, wastewater management, stormwater management and drainage options.

Options for supply to future development could include elements such as rainwater tanks, stormwater harvesting and reuse to dual pipe systems and the drinking water (aka potable) network, non-drinking (aka recycled) water from existing wastewater treatment plants and new sewer mining plants supplying dual pipe systems.

Specific IWM objectives being considered by YVW within the Merrifield North PSP are:

- Provide for the substitution of drinking water for non-drinking purposes with alternate water.
- Rainwater harvesting on commercial and industrial developments, connected to a centralised drainage system for further treatment and supply to the alternative water network.
- Centralised stormwater harvesting from drainage infrastructure to mitigate urban runoff impacts downstream and reduce flows to pre-development levels.
- Support cooling, improving local habitat and providing attractive and enjoyable blue-green spaces through integration with swamps and wetlands within the PSP.
- Contribute to the cultural and social amenity of the region.

5. Electricity

5.1 Electrical Distribution Network

The Precinct borders 2 of the 5 electricity distributors in Victoria. Majority of the precinct is operated by AusNet Electricity, however Jemina powers the Mickleham development bordering the south west corner of the site and some proportion of the sites southern and western areas. The below image identifies the border between the distribution providers.

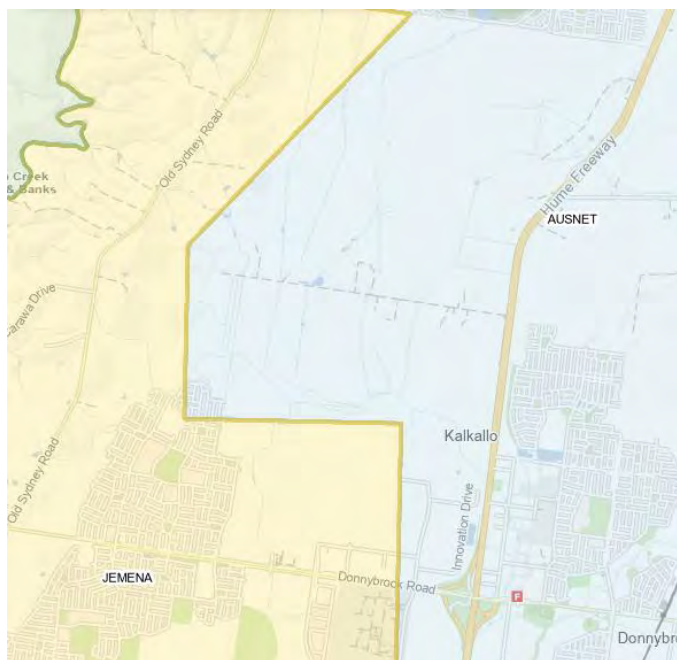


Figure 9 – Energy Victoria – Distributor Map

(<https://www.energy.vic.gov.au/households/find-your-energy-distributor>)

5.1 Current Conditions

The existing infrastructure for the site and close surrounding is shown in Appendix A.

5.1.1 Transmission

There are no Transmission lines within the precinct or adjoining parcels of land.

5.1.2 Distribution

5.1.2.1 AusNet Electricity

AusNet Electricity has two 66kV Overhead Sub-Transmission Lines within the surrounding suburbs (shown red in the image below). The first, runs along Old Sydney Road to the West of the site. The second, is located around the intersection of the Hume Freeway and Donnybrook Road. The lines provide power to the Kalkallo Zone Substation located on Innovation Drive. This Zone substation connects the distributions mains surrounding and within the precinct.

AusNet is responsible for 22kV Distribution lines within and surrounding the Precinct. There are overhead lines located on the Hume Freeway and Guns Gully Road with one of the lines extending into private property (on Guns Gully Road). To the south, the Merrifield Central Employment area is serviced with 22kV underground Distribution mains with connections back to the Kalkallo Zone Substation.

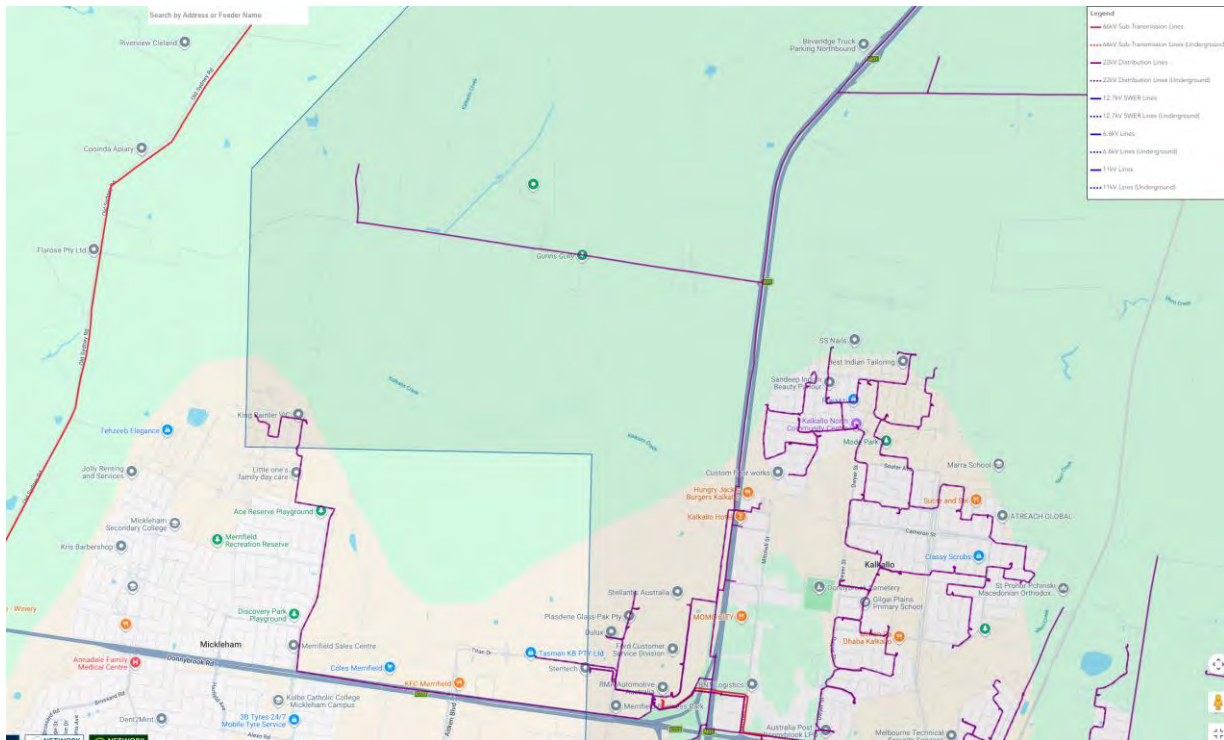


Figure 10 – AusNet GridView – Rosetta data Portal (<https://gridview.ausnetservices.com.au/>)

5.1.2.2 Jemena

The Mickleham Development to the south west is partly in the Jemena Region with one corner crossing into AusNet's area. This development is under construction and is likely that additional assets will be live when the PSP is formulated. High Voltage Lines and associated substations are littered throughout the development. Figure 11 below highlights the Constrained High Voltage Feeder locations (Orange) and Distribution Substations (D).

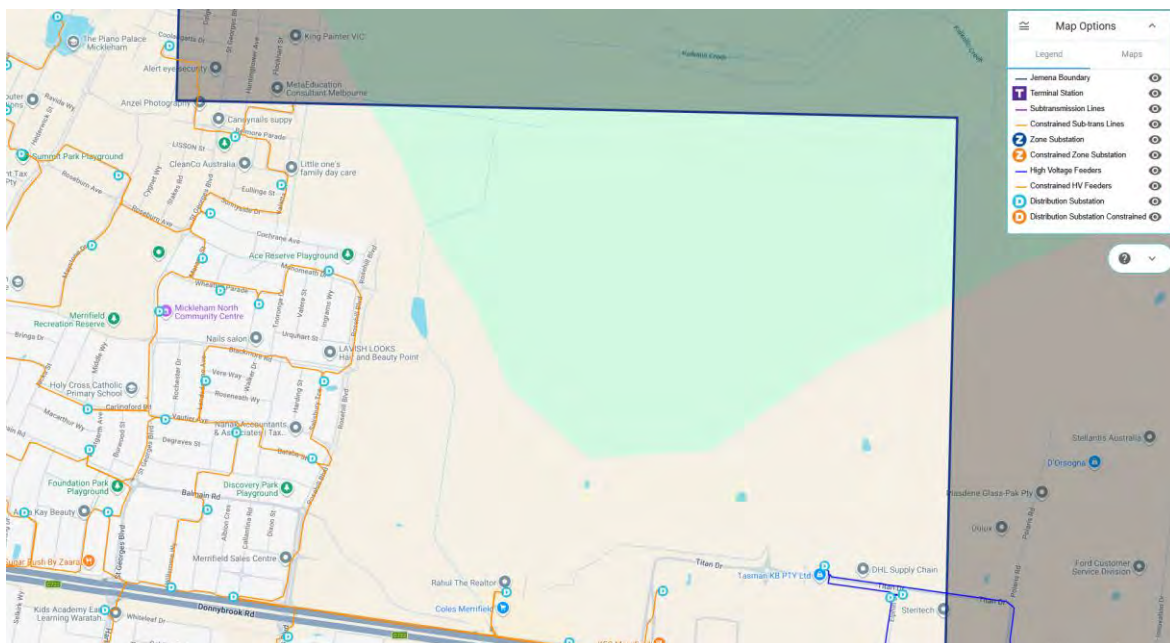


Figure 11 – Distribution Annual Planning Report – Jemena (<https://dapr.jemena.com.au/>)

5.2 Servicing Strategy

Based on preliminary advice provided by AusNet, electricity supply to the Merrifield North PSP is expected to be sourced from the Kalkallo Zone Substation (KLO), located to the south-east of the precinct and currently serving as the primary 22kV supply source to the surrounding area.

AusNet has advised that the precinct does not have direct access to Old Sydney Road and is bounded on its western side by the Jemena electricity distribution area, which influences the available network connection pathways.

AusNet currently operates the KLO 24 22kV distribution feeder along the Hume Freeway corridor toward Beveridge and beyond.

AusNet is currently delivering a new zone substation at Beveridge on Old Sydney Road. Once commissioned, this substation is expected to assume a substantial portion of the existing KLO 24 feeder load, thereby releasing capacity within the current network.

Subject to this augmentation proceeding as anticipated, AusNet has indicated that the KLO 24 feeder could be shortened prior to Beveridge and reconfigured to supply the precinct from the east via Gunns Gully Road.

AusNet has also advised that spare high-voltage ducts are available within the existing MAB development to the south of the precinct, which may enable provision of an additional feeder from the Kalkallo Zone Substation into the precinct from the south.

AusNet has noted that this advice is preliminary only and will require confirmation through its formal planning and network assessment processes.

In summary, AusNet has indicated that, subject to network augmentation, the precinct could be supplied by two 22kV feeders, which is expected to be sufficient to service typical employment precinct loads. AusNet has also noted that this preliminary advice does not include provision for developments with exceptionally high electrical demand, such as data centres.

5.2.1.1 Generic Advice

AusNet have previously advised the following regarding some of its other distribution network location:

Provision of land will be required for local kiosk substations.

Provisions for easements or reserves are required for any future substations and underground cables, should there be a preference for underground assets.

Throughout the development of the Precinct, ensuring that its existing customers are supplied with electricity is a priority and therefore planning is necessary to ensure planned shut downs are kept to a minimum.

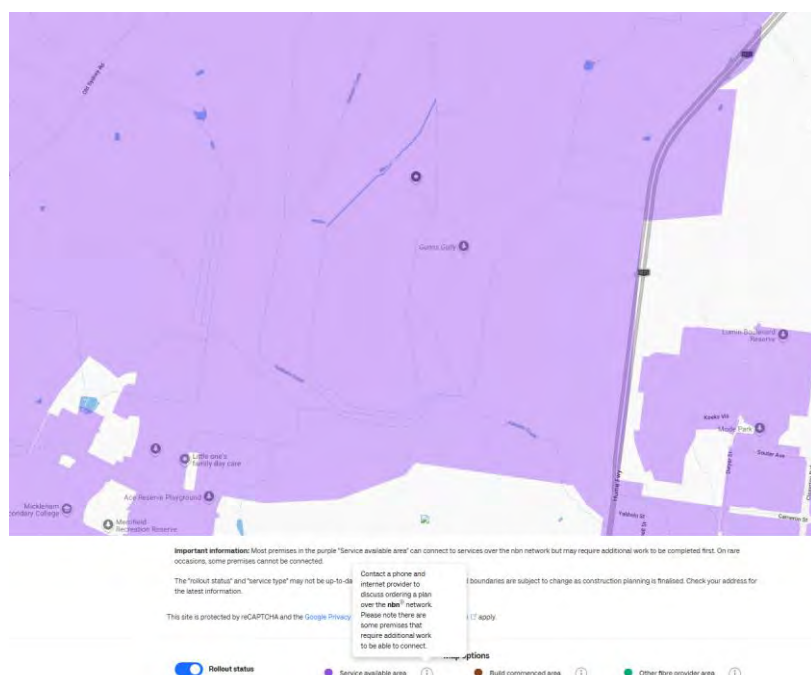
6. Telecommunications

6.1 Introduction

The Precinct is serviced by two services providers in Telstra and NBN. As of 1st January 2011, National Broadband Network Co. (NBN) is responsible for the deployment of fibre infrastructure in broad-acre developments that are within the NBN Co. long term footprint.

It will be the responsibility of the developer to provide pit and pipe infrastructure (“fibre ready”) in new any developments. The developer will be responsible for the trenching, supply and installation of pits and pipes followed by engagement of either NBN Co or a private operator, such as Opticomm, to supply and install optical fibre cables to each lot.

Figure 12 – NBN Co Network Rollout Map (Source: <https://www.nbnco.com.au/learn/rollout-map>)



6.2 Current Conditions

The existing infrastructure for the site and close surrounding is shown in Appendix A.

6.2.1 Telstra

Telstra has a range of assets located within and surrounding the Merrifield North Precinct. Pit and pipe infrastructure can be found in Guns Gully Road which provides service to several existing land parcels. There are broad range assets running along the Hume Freeway.

6.2.2 NBN

There is NBN pit and pipe assets within the Mickleham development to the south east of the Merrifield North Precinct. There are also NBN assets in the Kalkallo development to the east however are yet to be mapped on our asset plans. The Merrifield Central Employment area also has NBN assets under development which will extend to the precinct’s southern boundary in future stages.

6.2.3 Telecommunications Towers

There are two existing mobile phone towers within proximity of the Merrifield North Precinct. Locations are as follows.

- Site No: 3064002 – 1327 Hume Freeway, Mickleham – Users NBN, Optus, Telstra, Vodafone.
 - 40m Steel Triangular Lattice Tower
- Site No. 3753009 – 425 Old Sydney Road, Beveridge – User Telstra.
 - 30m Monopole

Figure 13 – Radio Frequency National Site Archive Maps (Source: <https://rfnsa.com.au>)

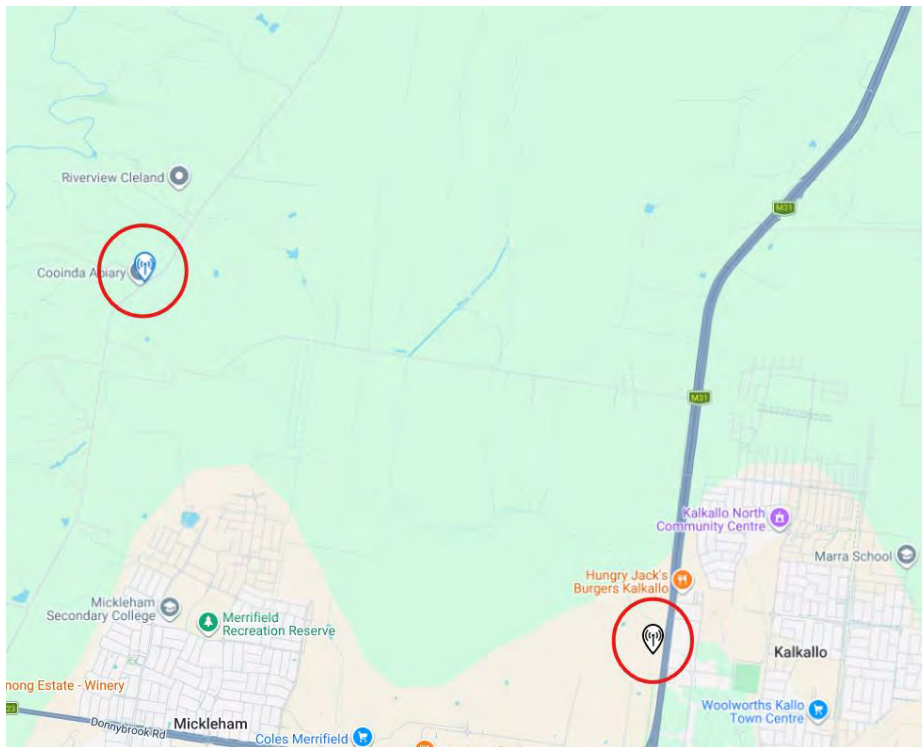


Figure 14 – Google Street View image of 3064002 (Hume Fwy.) – Oct 2025



6.3 Servicing Strategy

6.3.1 Telstra

Telstra advised that the proposed area for Merrifield North Precinct Structure Plan is a NBN Co fixed wireless with Telstra copper line obligations in-service.

If Telstra assets are impacted by the future development an enquiry must be raised with Telstra (via APRNewRequests@team.telstra.com) for Asset Protection and Relocation to review. Relocation of Telstra assets are at the disturber cost.

Any planned works in the future will be triggered by commercial agreements with developers and or individual businesses.

6.3.2 NBN

NBN has advised that any extension of the Fixed line footprint to Merrifield North Precinct will connect to the NBN co-located FAN site in 1327 Hume Fwy, Mickleham. The FAN site currently has capacity to service the Precinct. Servicing of the Precinct would be planned on a case-by-case application basis and driven primarily by customer-initiated demand. New infrastructure would be deployed utilising a mixture of existing Telstra, new NBN build also developer supplied & shared trenching arrangements.

Any new build (multiple conduit) to this precinct is planned to connect via Hume Fwy at the east side of the Precinct. It is envisioned that new pit & pipe infrastructure is required within the entire precinct.

6.3.2.1 Opportunities

NBN Co is open to working with the other Utility Service Providers (USPs), governments and other entities to cater for growth in the Precinct. NBN would also consider significant one-off investments if deemed necessary to accommodate future growth. Opportunities may arise to facilitate possible trench sharing opportunities either with Council/Road Authorities or other Utilities.

Some difficulties do exist with the NBN network being located on the Northern side of the Freeway reserve, so NBN Co would be interested in being involved in any additional service crossings that occur. NBN are constrained by boundaries such as railways, freeways and watercourses, so any additional crossings enable NBN to increase the robustness of the network.

NBN Co considers its best planning approach to cater for growth is a consistent staged rollout in a direction, e.g. out from the FAN site, and are interested in any future planning that takes place so that we can plan works on the network accordingly.

Some of the opportunities that would benefit NBN are:

- Working with other USPs when working on additional crossings of freeways, waterways and railways
- Encouraging additional space in any road restructuring and widening to enable future telecommunications work.
- Installing additional conduits and ducts for future cables where possible

7. Gas (Subject to direction of VPA)

7.1 Introduction

APA Group owns the gas transmission network and APT O&M services (APA) operates and manages the natural gas reticulation network within the Precinct on behalf of Australian Gas Networks (AGN).

AusNet Gas Services was flagged when conducting a Dial Before You Dig enquiry however no assets were in the area.

For APA - Information regarding Residential Gas and Gas Distribution networks has moved to the Australian Gas Infrastructure Group (AGIG). The operation and management of APA gas distribution networks and residential gas services have transitioned to the [Australian Gas Infrastructure Group \(AGIG\)](#).

7.2 Current conditions

The existing infrastructure for the site and close surrounding is shown in Appendix A

The Merrifield Central Employment area to the south is supplied via a 300S7 Main crossing the Hume Freeway to the south of Innovation drive. As the Industrial Estate extends north (toward Merrifield North) the roads carry 125P8 mains.

The Mickleham Development (Merrifield Estate) is supplied with a 180P8 main within St Georges Blvd. and a 125P8 main in Errol Blvd. Errol Blvd east of St Georges Blvd provides the future Merrifield North precinct with a 180mm dia. Connection to help service the site.

East of the Hume Freeway the Kalkallo Development is serviced internally and the lots and road reserves closest to Hume only contain small 63mm dia. Mains. These mains have not been mapped in the Asset Plans found in Appendix A.

7.3 Servicing Strategy

For industrial & commercial zoned areas, AGIG extend their reticulation only upon request to connect to natural gas by a customer – and supply is extended based upon their specific demand and pressure requirements.

AGIG do not speculatively extend gas supply into Employment Zones as if reticulation is supplied, it may not be sufficient for specific customer needs or there may be no uptake in connections leaving AGIG with stranded assets.

For any extension to the site, usual industry practice is for the initial developer who requires the service to deliver this (known as backhaul). We understand that there are current discussions in the industry with respect to a precinct approach whereby costs may be apportioned across several developments for shared backhaul assets.

The Victorian Government has also finalised the Building Electrification Regulations in late December 2025. The new regulations confirm:

- The continuation of gas cooking and gas heating in existing owner-occupied homes, including the ability to replace these gas appliances at end of life.
- [Class 8](#) buildings will remain eligible to connect to the gas network.
- From 1 January 2027, all new homes and most new commercial buildings will need to be built all-electric.
- From 1 January 2027, existing commercial buildings cannot receive a new connection to gas (class 8 buildings are exempt from this requirement).
- From 1 March 2027, gas hot water systems in existing homes (specifically [Class 1](#) and [Class 2](#) residential buildings) must be replaced with electric alternatives when they reach end-of-life.

8. Other Services

8.1 Gas Transmission Pipeline

APA Group is responsible for the Western Outer Ring Main (WORM) gas pipeline which runs through the precinct. The section of pipe is referred to as Section 3 – Mickleham Road to Donnybrook (KP28 – 46.9). This is a 500mm Dia. Steel Pipeline which runs along Guns Gully Road before diverting south westerly when approaching the future public acquisition overlay at the OMR. This pipeline is situated primarily in private property easements.

The Area of Consequence for the WORM pipeline has been determined to be 65 metres each side of the pipeline, which is significantly less than the measurement length (ML). The Notification Area, within which APA seeks ongoing visibility of Sensitive Use related planning applications to assess if they are compatible with the pipeline design, will be the Area of Consequence. APA will continue to have statutory responsibilities pursuant to AS 2885 outside the area of consequence and within the ML.

Mainline Valve: MLV3 would be constructed to the south of Gunns Gully Road and would be in a chain wire fenced compound (approximately 12 metre x 12 metre). The land for the MLV compound would be located within the easement area but would be subdivided and acquired by APA.

In Section 3, the pipeline construction would be predominately co-located with the Public Acquisition Overlay (PAO) for the future OMR/E6 Transport corridor, or within existing road reserves, before joining the Victorian Northern Interconnect (VNI) existing easement.

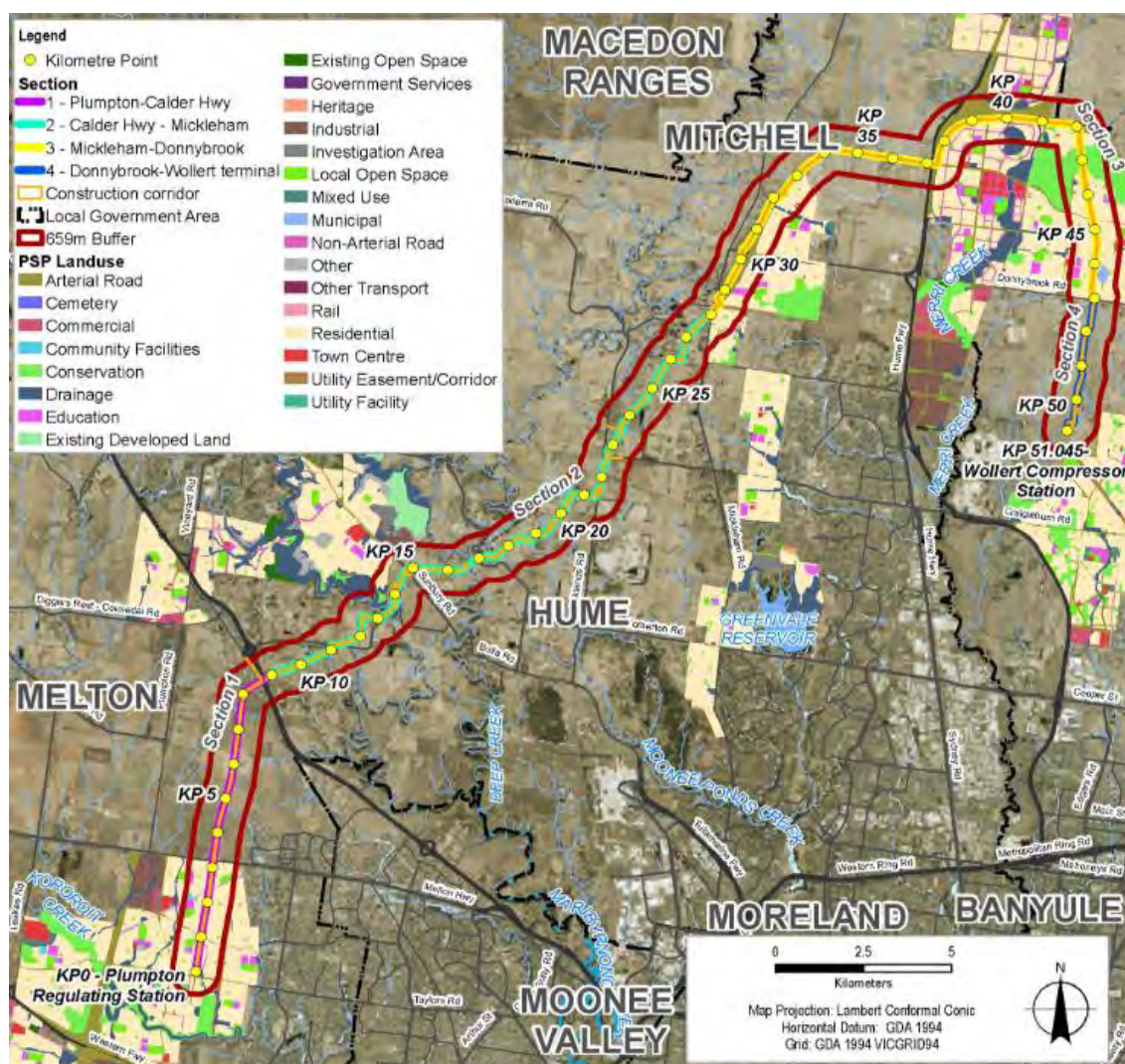


Figure 15 - WORM alignment (APA Group)

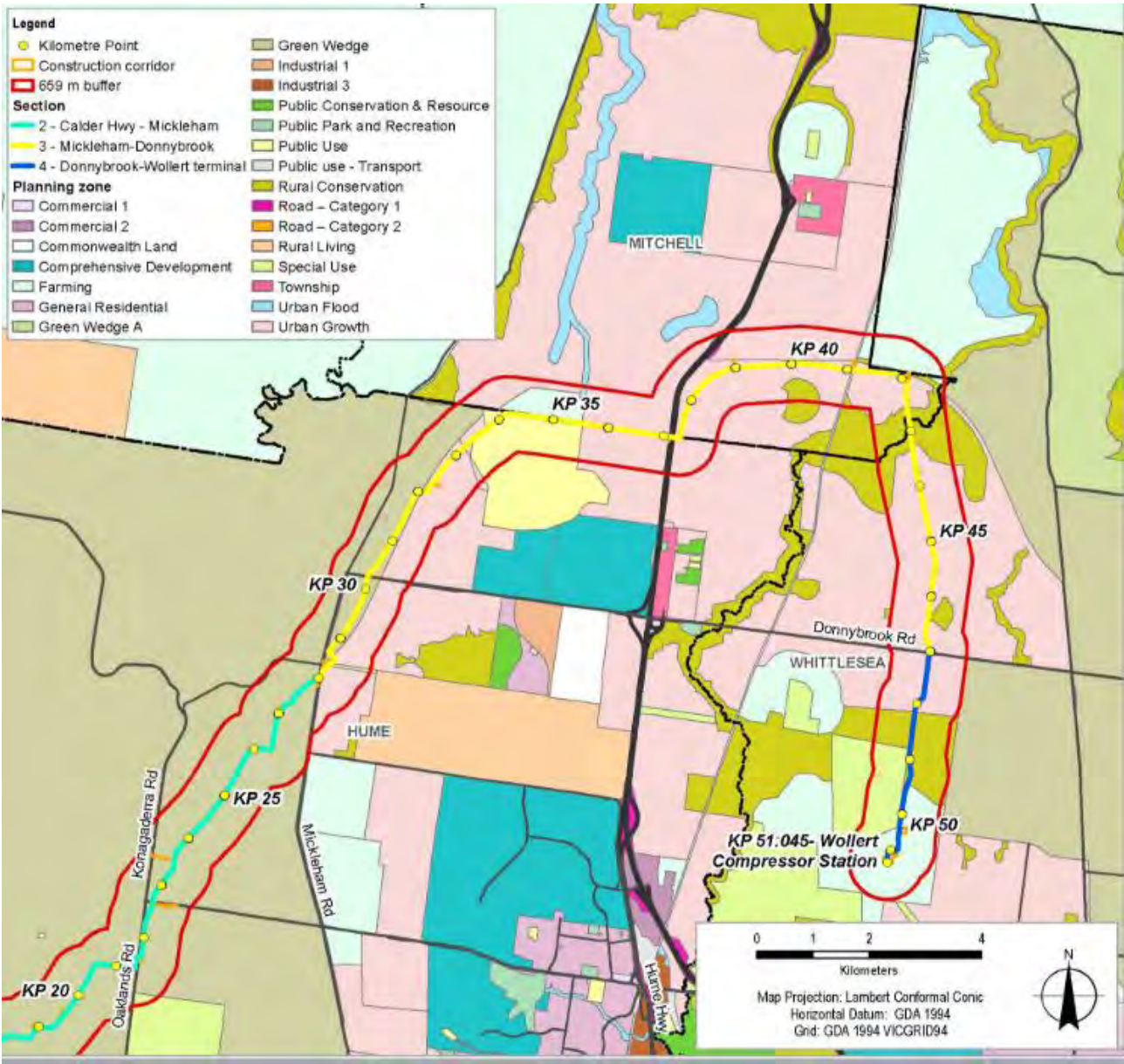


Figure 16 - WORM Section 3 planning zones (APA Group)

8.1.1 Transmission

APA Group stated that the easement associated with the transmission pipeline allows for access to the existing pipeline and any future duplication if required. APA Group does not typically permit road reserves or any utility infrastructure to be located within the easement, other than perpendicular utility service crossings approved by APA Group.

Energy Safe Victoria were contacted regarding the pipeline and provided advice. The PSP will require a pipeline location class change from R1 to T1. And therefore, APA may require a Safety Management Study to be conducted in relation to the location class change.

Where there is a location class change from rural to urban some (not necessarily all) layout requirements generally sought by pipeline operators, include:

- The pipeline easement should be located within a linear reserve.
- Road crossings of a pipeline should be minimised. (*i.e.: new road crossings of a pipeline should be at a 90-degree angle*).
- Sensitive uses, including schools, aged care, child care, children's playground should be located outside the pipeline measurement length or area of consequence.
- Lots directly adjacent to the pipeline reserve should be separated by a local road or additional reserve and these lots should be a lower density (*i.e.: to reflect a low-risk approach*) compared to lots that are further away.
- Construction management and other pipeline protection requirements are likely to be required.
- Waterway crossings or drainage basins crossing the pipeline will require additional pipeline protection measures.

In locations where the new pipeline is proposed in existing PSPs, the pipeline is designed in accordance with AS/NZS 2885 with consideration to current land use. APA seeks to minimise impacts on existing or new PSPs and growth areas by providing for development planned in PSPs to continue, while allowing safety to be assessed case by case where relevant for sensitive uses as defined in AS 2885 that are proposed to be located within the Area of Consequence.

The pipeline easement provides an opportunity to increase open space and amenity within new urban areas. With the ongoing pressure to urbanise peri-urban and rural areas, green corridors can add value for growing communities. While APA would encourage the establishment of active open space within its easements, it would ultimately be the decision of the landowner as to whether to landscape noting this would be in accordance with APA's Site Planning and Landscape National Guidelines. The easement could accommodate a range of public spaces including shared use paths for pedestrians and cyclists and landscape furniture such as seats and fitness equipment that would benefit the community in line with the PSPs. APA's Site Planning and Landscape National Guidelines (APA, 2020) outline the preferred urban design and landscape outcomes for APA's easements

9. Typical Cross-Sections

Placement of utilities within road reserves is dictated by the requirements of the individual service authorities with consideration to future access for maintenance, cover for asset protection and clearance between other services to ensure safety and potential for future augmentation. Other ancillary requirements including depth of services to protect tree root zones may also be considered.

Table 3 is presented below which provides indication of typical utility placement and service authority appetite for alternative locations.

Table 3: Service Placement Guidelines

	Under Pedestrian Pavement	Under Nature Strips	Under Street Trees	Under Kerb	Under Road Pavement	Within Allotments
Sewer	Preferred	Possible	Not Preferred ²	No	Possible	Possible ⁴
Potable Water	Not Preferred	Preferred	Not Preferred ²	No	Possible ³	No
Recycled Water	Not Preferred	Preferred	Not Preferred ²	No	Possible ³	No
Electricity	Possible ⁶	Preferred	Not Preferred ²	No	Not Preferred	No
Telecommunications	Possible ⁷	Preferred	Not Preferred ²	No	No	No
Drainage	Not Preferred	Possible	Not Preferred ²	Preferred	Possible	Not Preferred
Trunk Services	Possible	Possible	Not Preferred ²	Possible	Possible	No

Notes.

1. Trees are not to be placed directly over property service connections.
2. In accordance with IDM SD630 a tree root zone of 0.6 m depth must be applied where services exist in nature strips. Any service installation shall be at a greater depth than the tree root zone.
3. Placement of services under road pavement is typically not preferred by authorities. However, consideration may be given to placement of services beneath parking bays and bicycle lanes.
4. Rear Easement sewer and drainage lines are common within allotments. Less common are sewer and drainage easements within front setback of allotment.
5. Property connections under hard services require Fitzroy boxes for future maintenance operations.
6. Subject to Power authority approval.
7. Pits are to be placed either wholly within the footpath or wholly within the nature strip.

Items listed as “Possible” are typically not favoured by service authorities but may be considered by service authority on a case-by-case basis.

10. Staging Recommendations and Developer Implications

10.1 Proposed Development Sequence

The proposed development sequencing for the Merrifield North precinct should consider the following:

- Location of existing services.
- Location of proposed trunk services.
- Siting of major drainage facilities (although not the subject of this Services Plan reporting).
- Ability to connect to an ultimate drainage outfall.
- Road connections to facilitate suitable “entry” points to initial development.
- Developer landholding split and readiness of developers to initiate development.
- Location of proposed open space.
- Delivery of Yarra Valley Water Infrastructure (DW/NDW feeder mains and pressure reducing stations)

Yarra Valley Water trunk infrastructure planned for the Merrifield North Precinct, along with Councils assets (major roads and drainage) will play a major part in formulating the development sequencing for the precinct.

Typically, Yarra Valley Water general principles in determining an Infrastructure Sequencing Plan for services (sewer and water) within a growth area are as follows:

- Maximising the use of any spare capacity in existing infrastructure adjacent or proximate to a growth area.
- Servicing lots on land abutting existing infrastructure.
- Maximising servicing of lots which are located in the same gravity catchment / water supply zone to any existing or newly constructed infrastructure which services the catchment.
- For parcels of land (in single developer ownership), prioritising the portion which is situated in the appropriate catchment for development.
- Where the “spare capacity” in existing infrastructure has been consumed - the most efficient and economic augmentation of the system is preferred. The preferred augmentation is one which delivers the most developable lots per dollar invested (i.e. Lowest \$NPC/lot). This is likely to produce a priority order of augmentations over the life of the project.

10.2 Initial Locations for Development

The initial locations for development should consider the following:

- Land which abuts established major roads (Gunns Gully Road Road);
- Land which is owned by Developers with an ability to fund trunk infrastructure, DCP main drainage and roadworks, reimbursable YVW assets.

In general, the servicing requirements for electricity, communications and gas, are typically less vital in development staging, however this should be confirmed as part of development supply requests.

10.3 Servicing Requirements and Constraints of Individual landholdings

The staging of the individual landholdings within the Merrifield North precinct will be largely influenced by the provision of Trunk Sewer and Water infrastructure (noting that drainage asset delivery is not part of the scope of this report – which is another key influencer to staging).

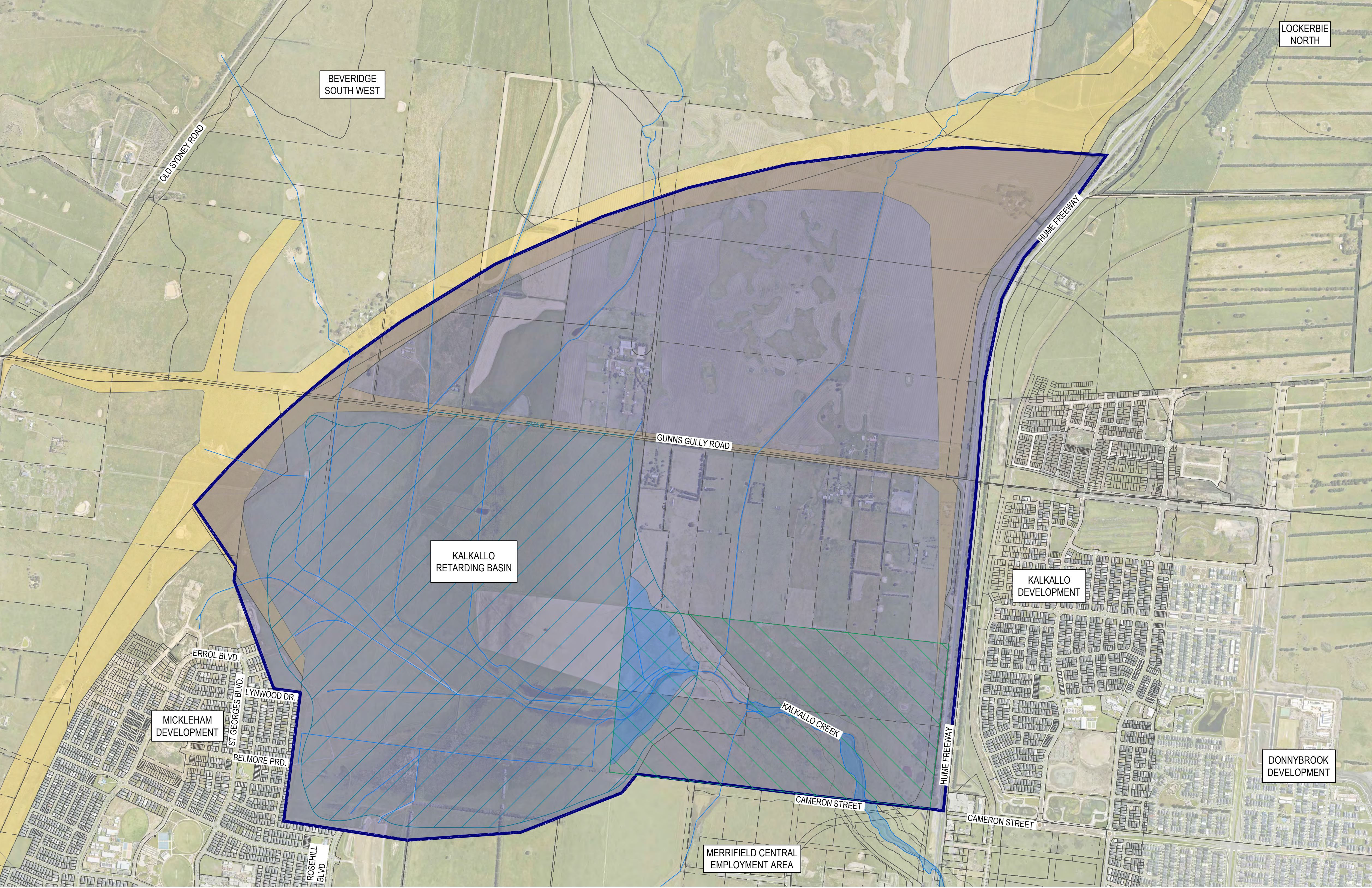
The trunk infrastructure required to service each of the major landholdings has been presented in **Appendix A**.

These sketches also detail the capital works expected to be delivered by YVW. Further detailed discussion on the key servicing considerations and constraints for each of the landholdings is ongoing.

All developments can be serviced provided the critical downstream infrastructure (including that within other landholdings) is supplied. Outfall drainage, sewer and water trunk infrastructure are considered the critical assets for commencement of any development.

Appendix A

Servicing Layout Plans

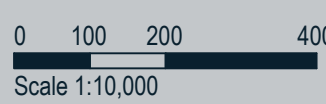


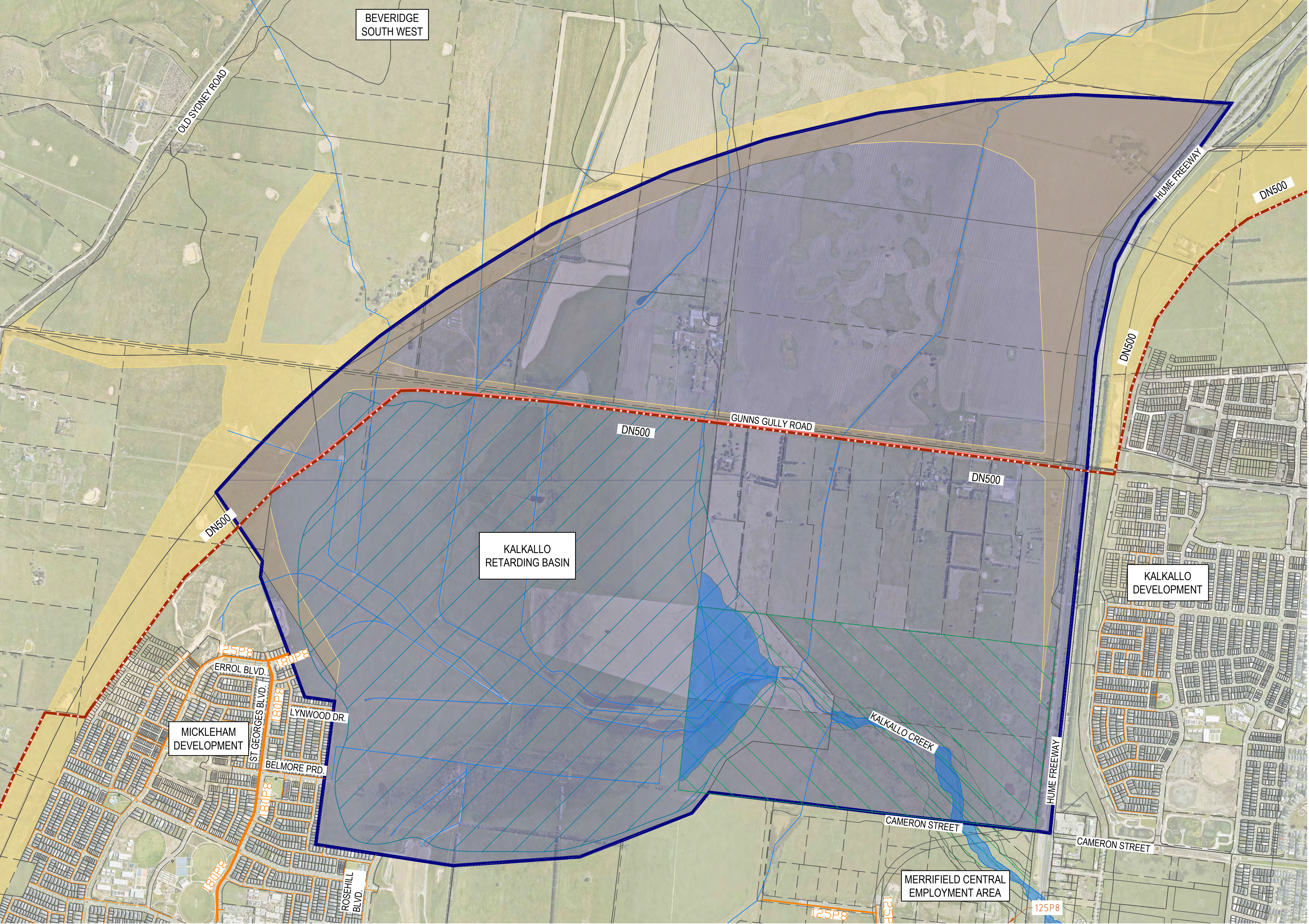
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	WATERCOURSE
	WATERBODY
	KALKALLO RETARDING BASIN (INDICATIVE ONLY)
	CONSERVATION AREA

MERRIFIELD NORTH PSP

LOCALITY PLAN

Date Issued: 19.03.26 | Revision: A
Drawn by: K.SHRESTHA | Checked by: J.ALLISON
Project Number: 30043588E | Drawing Number: 3588E-SK-001





LEGEND	
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	CONSERVATION AREA

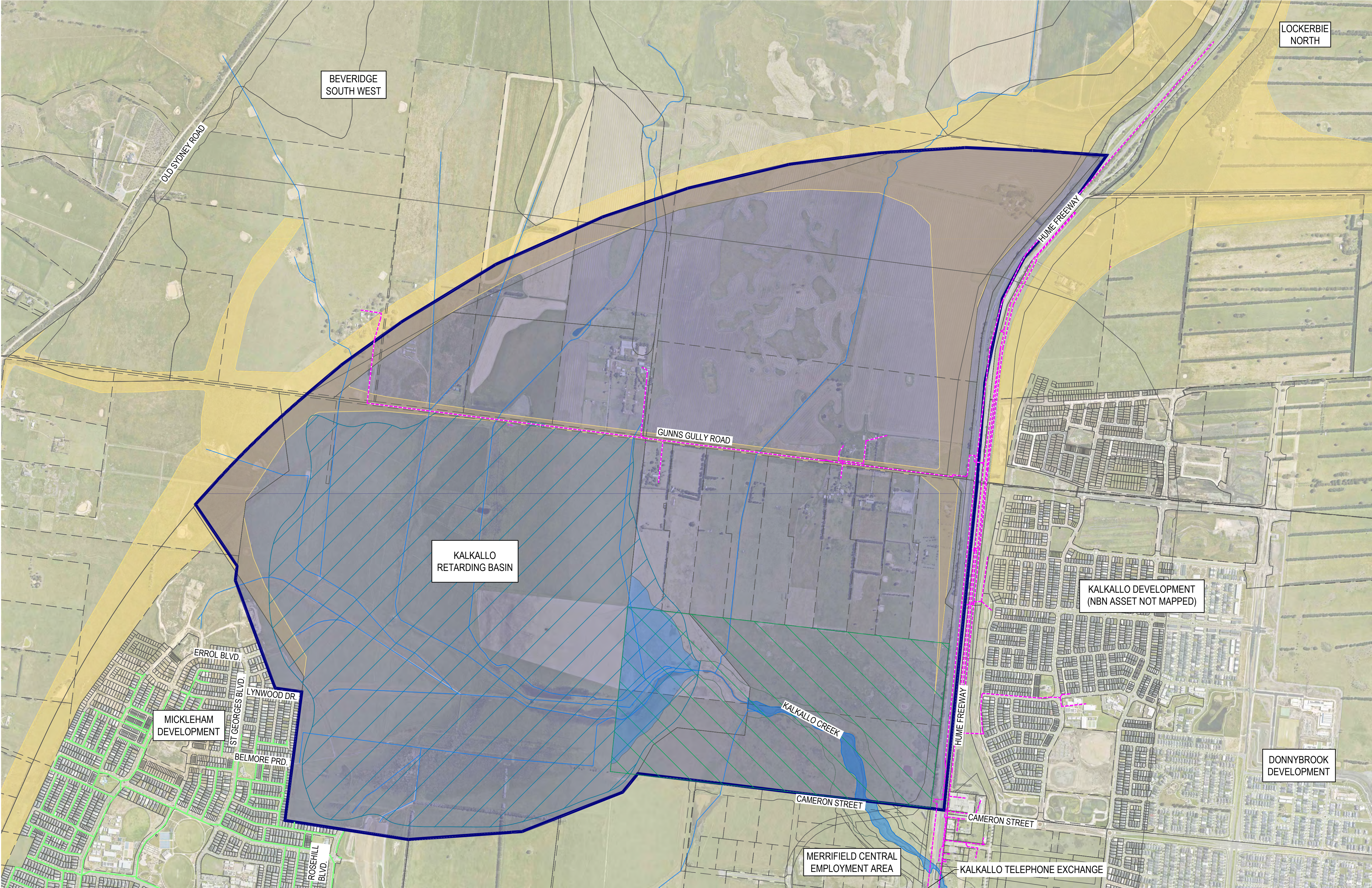
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MERRIFIELD NORTH PSP

APA GAS ASSETS

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Project Number: 30043588E | Drawing Number: 3588E-SK-002





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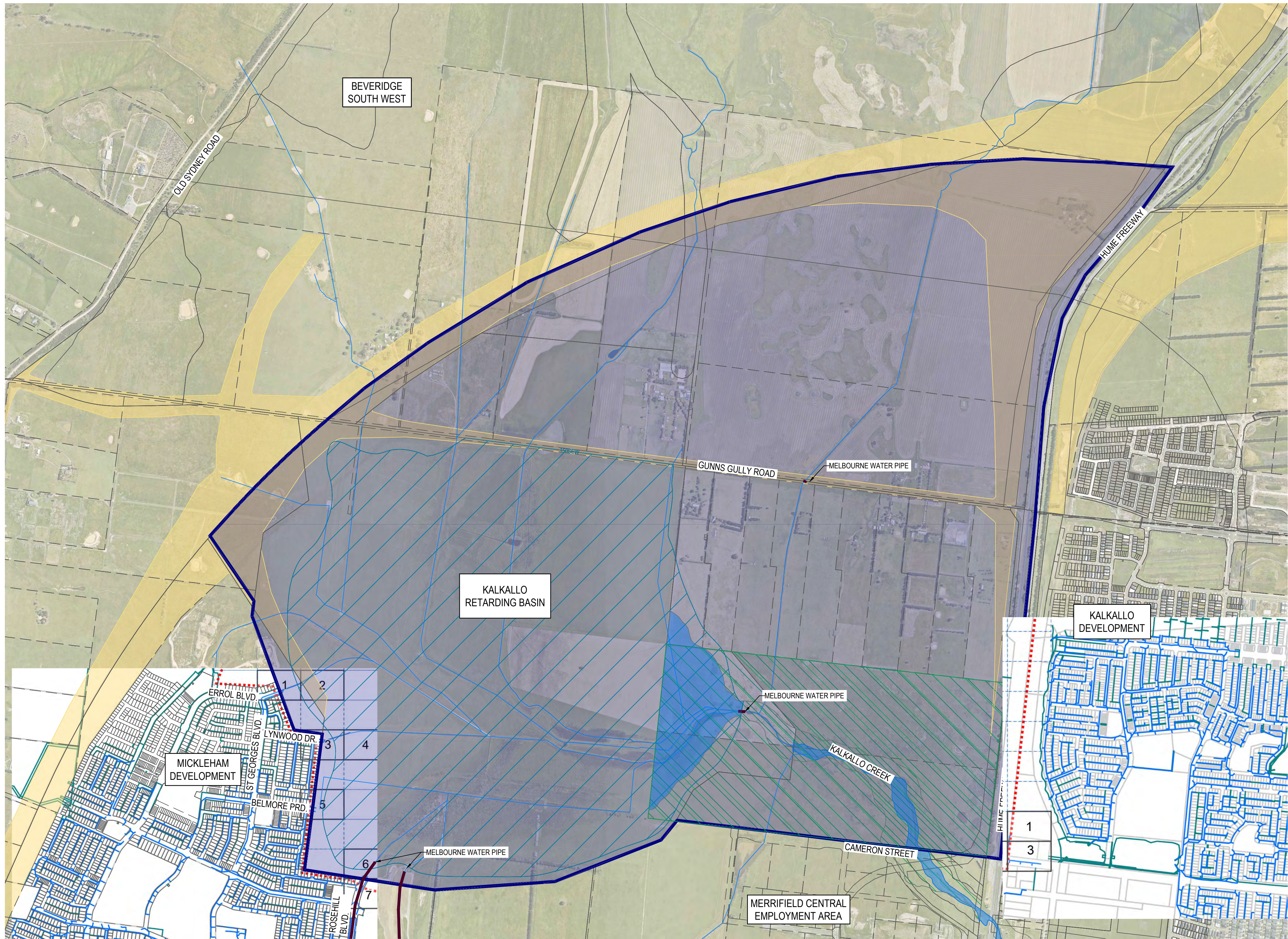
MERRIFIELD NORTH PSP

TELECOMMUNICATION ASSETS

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Project Number: 30043588E | Drawing Number: 3588E-SK-003



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	WATERBODY
	DRAINAGE PIPE
	KALKALLO RETARDING BASIN (INDICATIVE ONLY)
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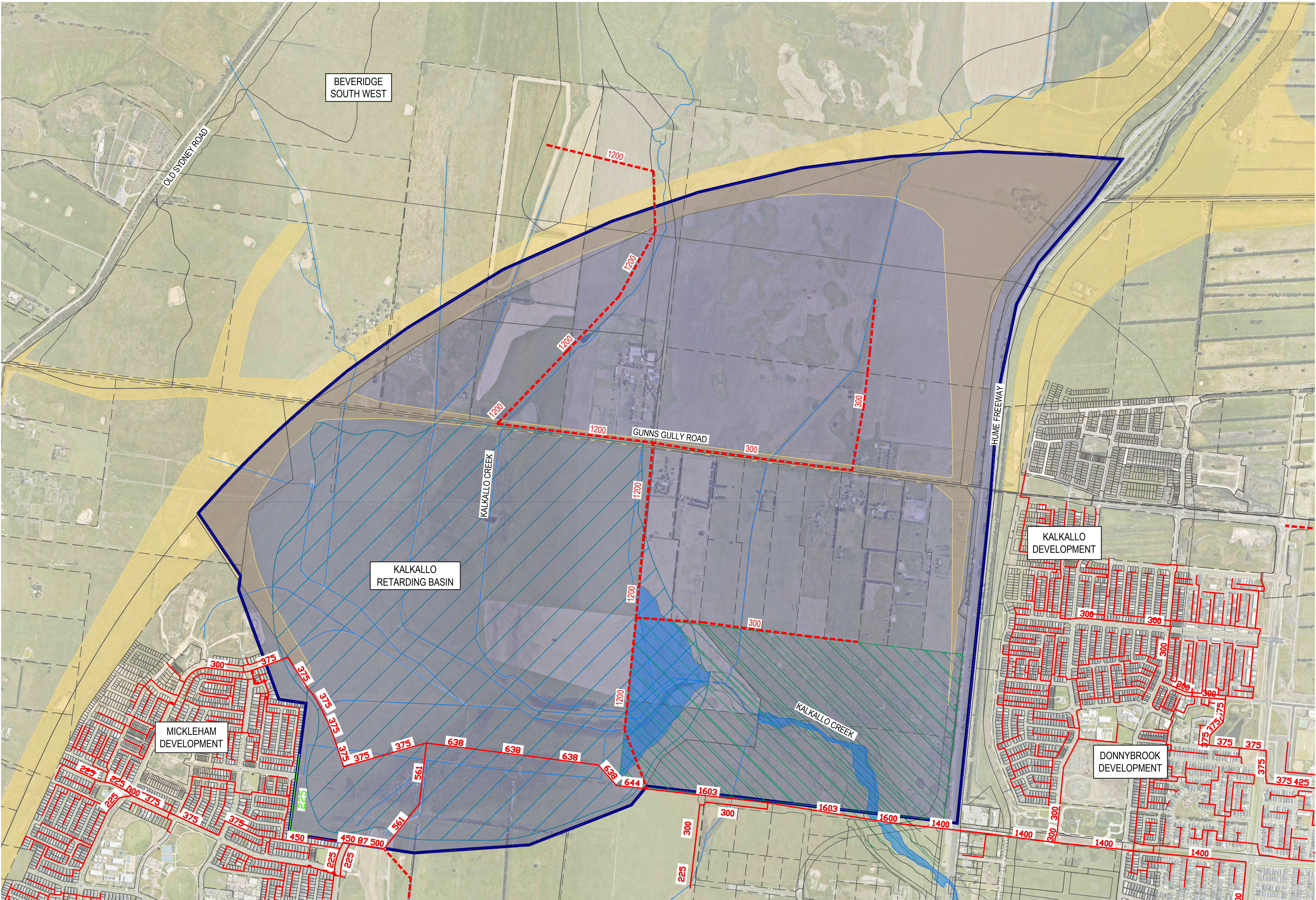
MERRIFIELD NORTH PSP

STORMWATER DRAINAGE ASSETS

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Project Number: 30043588E | Drawing Number: 3588E-SK-004



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	PLANNED SEWER PIPES
	SEWER PIPES
	PLANNED PRESSURE SEWER PIPE
	KALKALLO RETARDING BASIN (INDICATIVE ONLY)
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MERRIFIELD NORTH PSP

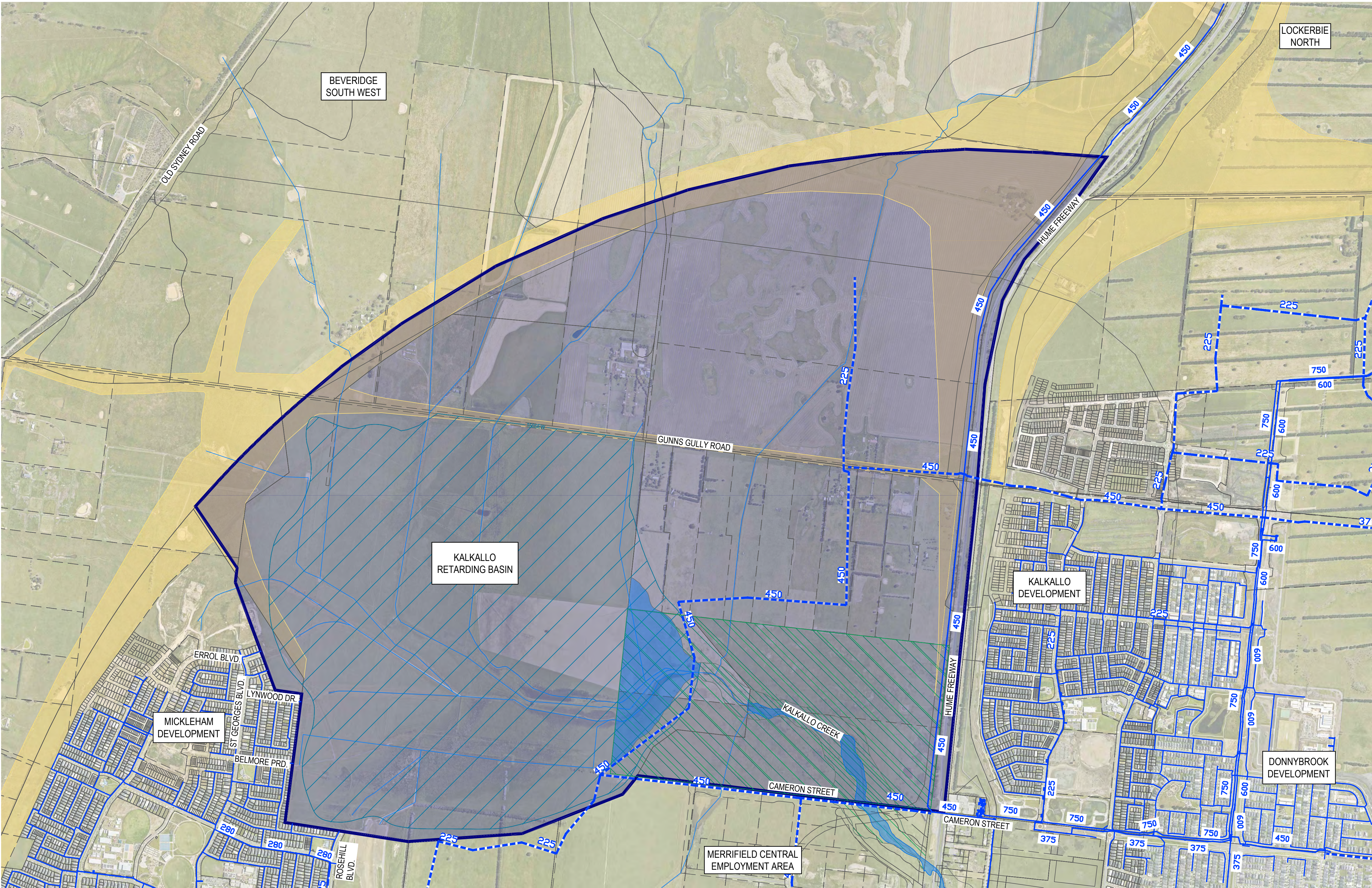
SEWER ASSETS - EXISTING AND PLANNED

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Drawn by: K.SHRESTHA | Checked by: J.ALLISON
Project Number: 30043588E | Drawing Number: 3588E-SK-005



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	WATERCOURSE
	WATERBODY
	PLANNED WATER PIPES
	WATER PIPES
	KALKALLO RETARDING BASIN (INDICATIVE ONLY)
	CONSERVATION AREA

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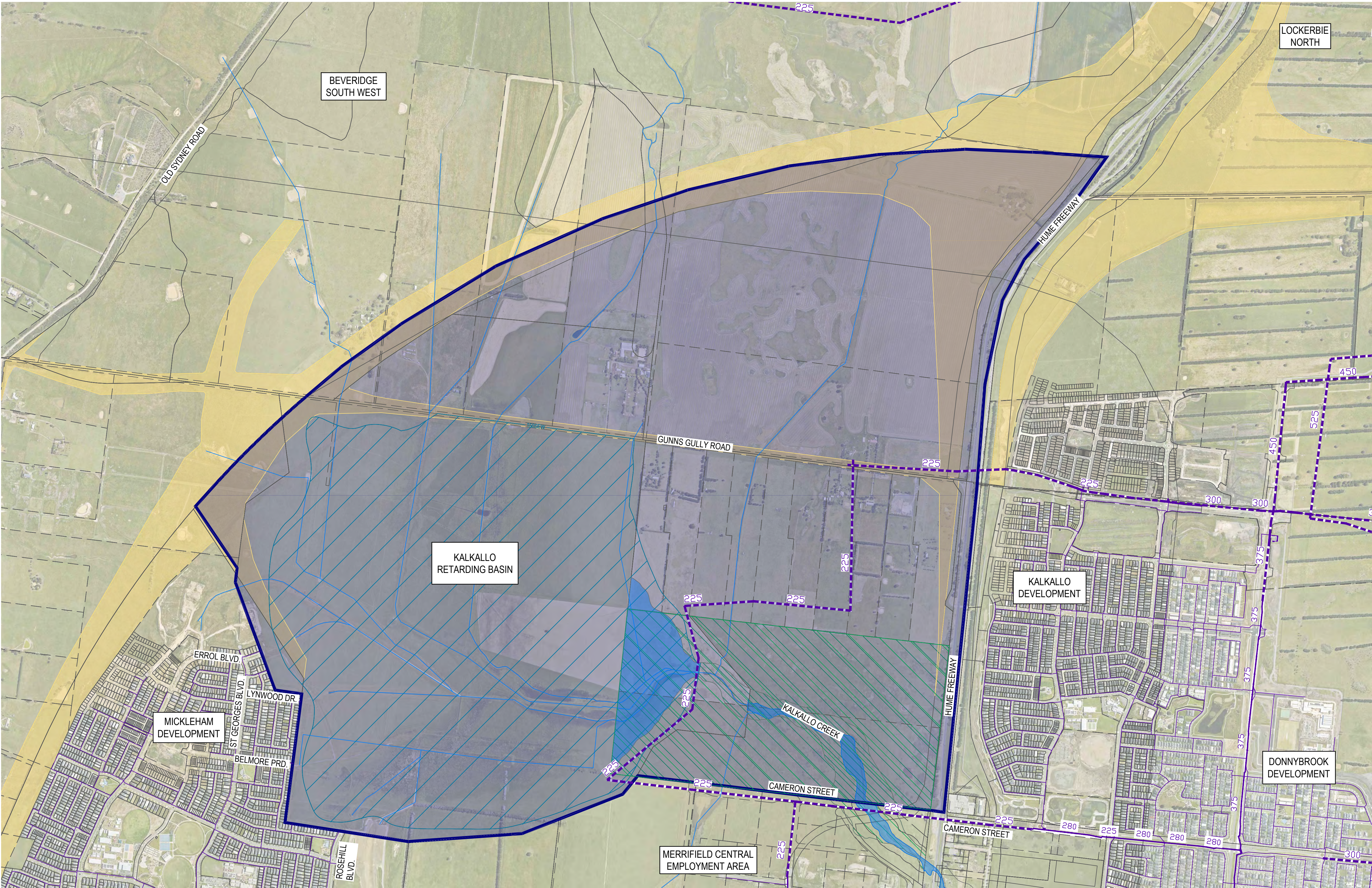
MERRIFIELD NORTH PSP

POTABLE WATER ASSETS - EXISTING AND PROPOSED

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Drawn by: K.SHRESTHA | Checked by: J.ALLISON
Project Number: 30043588E | Drawing Number: 3588E-SK-006



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Scale 1:10,000



LEGEND	
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	WATERCOURSE
	WATERBODY
	PLANNED NDW PIPES
	NDW PIPES
	KALKALLO RETARDING BASIN (INDICATIVE ONLY)
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MERRIFIELD NORTH PSP

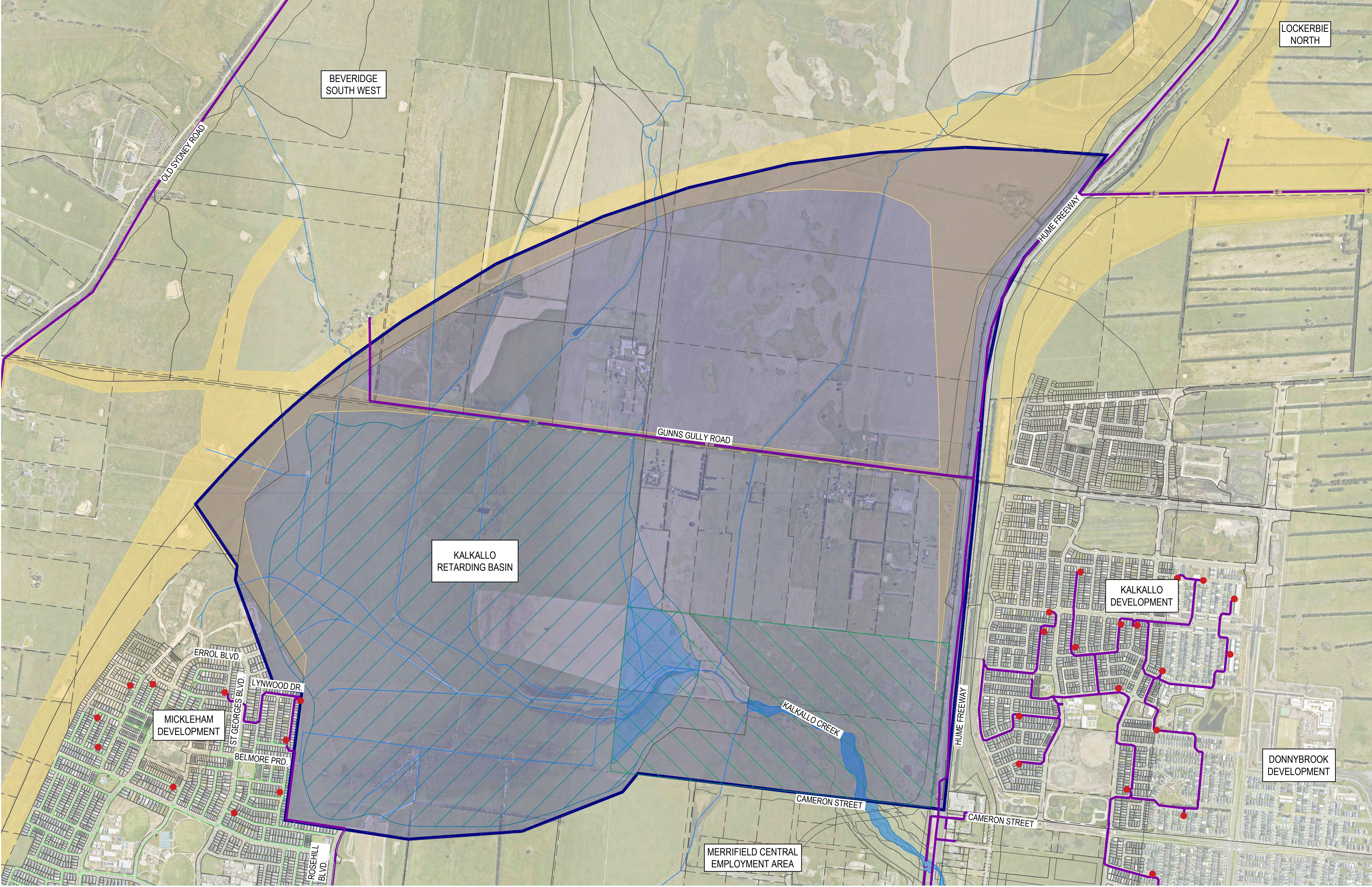
RECYCLED WATER ASSETS - EXISTING AND PROPOSED

Date Issued: 19.03.26 | Revision: A
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Project Number: 30043588E | Drawing Number: 3588E-SK-007



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LEGEND	
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	AUSNET ELECTRICAL
	AUSNET ASSETS
	ELECTRICAL SUBSTATION
	JEMINA ASSETS
	KALKALLO RETARDING BASIN (INDICATIVE ONLY)
	CONSERVATION AREA

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MERRIFIELD NORTH PSP

ELECTRICAL ASSETS

Date Issued: 19.03.26 | Revision: A
Drawn by: K.SHRESTHA | Checked by: J.ALLISON
Project Number: 30043588E | Drawing Number: 3588E-SK-008



0 100 200 400
Scale 1:10,000



Appendix B

Water Authority Advice



26 June 2026

Attn: SMEC

C/O: Joshua Allison

Application ID: 709140

Property Address: 155 GUNNS GULLY ROAD MICKLEHAM 3064

Preliminary Servicing Advice

The following information is preliminary servicing advice and does not constitute an offer.

This advice lapses within 3 months of the date of this letter.

This preliminary servicing advice is based on the information provided in your enquiry.

This advice may no longer be valid if there are any changes to the information provided.

This advice succeeds any prior written or verbal advice provided by Yarra Valley Water (YVW).

If you have any enquiries, please e-mail us at easyACCESS@yvw.com.au or visit our website <https://www.yvw.com.au/help-advice/develop-build> for further information. Alternatively, you can contact us on 1300 651 511.

Yours sincerely,

A handwritten signature in grey ink that reads "Joe Gargaro".

Joe Gargaro

Divisional Manager, Development Services

709140 PRELIMINARY SERVICING ADVICE MERRIFIELD NORTH PRECINCT STRUCTURE PLAN

GENERAL

This Preliminary Servicing Advice, hereafter referred to as 'advice', is based on information provided prior to the Merrifield North Precinct Structure Plan (PSP) being gazetted.

Precinct Structure Plans have not been prepared for this area and the future development uses and lot yields are not known. This advice may change as more information on the development of this and adjacent PSP areas becomes available.

The following information is preliminary servicing advice and does not constitute an offer. This advice expires within 3 months of date of letter / advice to customer.

This advice succeeds any prior written or verbal advice provided by YVW.

Unless otherwise instructed, all works are to be constructed in accordance with the Water Standards Association of Australia - Water Supply Code of Australia WSA 03-2011-3.1 Melbourne Retail Water Agencies Edition - Version 2.

The designer should note that Clause 1.2.3 of WSA 03-2011-3.1 Melbourne Retail Water Agencies Edition - Version 2 requires the designer to comply with YVW's Water Supply Servicing plans prior to any works.

A Concept Plan in accordance with Clause 1.2.3 of Water Supply Code WSAA 03-2011 3.1 has been provided.

The minimum size reticulation main for industrial and commercial estates is DN150. This is established to ensure adequate flow rates and residual pressures, including a contribution to basic firefighting capability and is in accordance with clause 3.1.2 of the Melbourne Retailer's edition of the Water Supply Code WSAA 03-2011 3.1

All mains DN375 and greater are strictly non tapping mains (even if parallel duplicate mains are not shown on the plans provided) and shall be isolated from tapping mains via valving as per clause 6.2.5.2. All valves on mains larger than DN375 shall be metal wedge, including offtake valves.

Incremental Financing Costs will be charged where a development requires an asset sooner than planned by YVW. The charges allow Yarra Valley Water to recover financing costs associated with bringing forward the asset. The Essential Services Commission considers that it is appropriate for Yarra Valley Water to determine the extent of the Incremental Financing Costs by comparing the time the Developer requires the works against YVW's asset sequencing plans.

The planned timing of assets on the attached documents is subject to review. Updated planned dates will be provided at the commencement of the financial year, and will be available on YVW's GIS.

This advice is given for servicing subject demands and subject land/area only. If subject demands change or supply proposal changes, then additional or changed conditions may apply. All assets to be constructed will be at the expense of the developer.

The developer must ensure that any design of their development integrates with the current planned YVW water supply strategies, including provision of required key assets.

YVW has been working with Melbourne Water and Hume Council to better support Integrated Water Management initiatives into developments. These initiatives may be required as part of the standards and objectives contained in Integrated Water Management - Clause 56.07 of the Victoria Planning Provisions and should consider a broad range of local scale alternative water supply, wastewater management, stormwater management and drainage options. Options for supply to future development could include elements such as rainwater tanks, stormwater harvesting and reuse to dual pipe systems and the drinking water (aka potable)

network, non-drinking (aka recycled) water from existing wastewater treatment plants and new sewer mining plants supplying dual pipe systems.

Specific IWM objectives being considered within the Merrifield North PSP are:

- Provide for the substitution of drinking water for non-drinking purposes with alternate water
- Rainwater harvesting on commercial and industrial developments, connected to a centralised drainage system for further treatment and supply to the alternative water network
- Centralised stormwater harvesting from drainage infrastructure to mitigate urban runoff impacts downstream and reduce flows to pre-development levels
- Support cooling, improving local habitat and providing attractive and enjoyable blue-green spaces through integration with swamps and wetlands within the PSP
- Contribute to the cultural and social amenity of the region.

SUMMARY SERVICING ADVICE

No water supply assets currently exist within the area of the subject land. Under the current water supply servicing strategy for the Merrifield North PSP area, extensive works are required to bring drinking water (DW) and non-drinking water (NDW) supply to and through the subject land.

The subject land is planned to be serviced from the Mt Ridley Reservoir, at TWL=294m

The nearest parts of the existing DW and NDW supply networks are:

- a. approx. 4km the east in Cloverton Boulevard (DW only) in Cloverton Estate; and
- b. approx. 4km to the south-west in Polaris Road in Merrifield Business Park.

These mains are presently supplied from Mt Ridley DW and NDW Reservoirs and in the future Bald DW and NDW Reservoirs in 2025 and 2030+ respectively.

Supply of DW and NDW to the subject land requires extension of distribution mains from the existing network. Other assets such as Pressure Reducing Stations (PRS) are required to deliver required zone pressures. Land is required to be set aside within the PSP area for the Pressure Reducing Stations.

NDW supply is mandated for residential development. NDW supply to commercial development is generally not mandated but can be supplied if available and requested by a developer.

DRINKING WATER (DW) ADVICE

1. MT RIDLEY RESERVOIR SUPPLY (for land south of OMRR)

The subject land can be serviced from the MT RIDLEY DW RESERVOIR Water Supply Zone at a TWL = 294 (m) AHD. Under normal operating conditions the ultimate maximum applicable HGRL for the proposed development is 294 (m) AHD and the minimum Dry Summer Day HGRL is 292(m) AHD. For water hammer, an additional 20m pressure is to be allowed for in the design of all water assets, including fixtures and thrust blocks.

NOTE: the servicing arrangements for the Mt Ridley Reservoir DW Zone in the Gunns Gully Road area west of Hume Freeway is preliminary at this stage and subject to further investigation as PSP and development details become available for the supply area.

Based on the current planning, to ultimately service the subject parcel of land with DW supply would require extension of the supply network as follows:

1. Cloverton Bvd supply (from point A)
 - a. extension west of a DN450 distribution main along Gunns Gully Road including crossing the Hume Fwy) and Summerhill Road from Mt Ridley Reservoir east to the railway line;
 - b. Provision of a Pressure Reducing Station (PRS) near the Hume Fwy;
 - c. Provision of required DN150 mains along Gunns Gully Road to and through the commercial development.
2. Polaris Rd supply (from point B)
 - a. Extension northwest of DN450 Distribution main along Polaris Road, Cameron St, Aitken Boulevard extension to Gunns Gully Road
 - b. Provision of required DN150 mains along Gunns Gully Road to and through the commercial development.

The DN450 mains and PRS are defined as a DW key assets subject to reimbursement and bring-forward costs (see relevant comments in General above and timings on DW asset plans below).

Refer to attached Water Supply Concept Plan 1 and asset plan showing existing and proposed DW mains for this area and the subject land. These plans show the preliminary location for the key DW assets planned to service this area, including transfer and distribution mains, pressure reducing stations and pumping stations.

- Pressure Reducing Stations (PRS) require sites adjacent to accessible road.
- PRS site dimensions are typically 30mx20m.
- The PRS sites and adequate road verge space for services (i.e. water mains etc) should be incorporated into the PSP to guarantee space to enable construction and future maintenance of the mains.
- Distribution and reticulation mains require adequate space allocation within Aitken Bvd, Cameron St & Gunns Gully Road reserve and Kalkallo Creek crossing structure.

NON-DRINKING WATER (NDW) ADVICE

1. MT RIDLEY RESERVOIR SUPPLY

Depending on the land uses from the development of the Merrifield North Employment PSP, YVW will consider mandating supply of NDW to residential development if it eventuates. NDW can be supplied to commercial development upon request. NDW can be used in commercial development for toilet flushing, laundry purposes, garden watering and irrigation purposes.

If required, the subject land can be serviced from the MT RIDLEY NDW RESERVOIR Water Supply Zone at a TWL = 294 (m) AHD. Under normal operating conditions the ultimate maximum applicable HGRL for the proposed development is 294 (m) AHD and the minimum Dry Summer Day HGRL is 289(m) AHD. For water hammer, an additional 20m pressure is to be allowed for in the design of all water assets, including fixtures and thrust blocks.

1. Cloverton Bvd supply (from point A)
 - a. Provision of Bald Hill NDW Reservoir
 - b. Installation of DN450 and DN375 mains along Cloverton Boulevard
 - c. extension west of a DN300/225 distribution main along Gunns Gully Road including crossing the Hume Fwy) and Summerhill Road from Mt Ridley Reservoir east to the railway line;
 - d. Provision of a Pressure Reducing Station (PRS) near the Hume Fwy;
 - e. Provision of required DN150 mains along Gunns Gully Road to and through the commercial development.
2. Polaris Rd supply (from point B)
 - a. Extension northwest of DN225 Distribution main along Polaris Road, Cameron St, Aitken Bvd extension to Gunns Gully Road

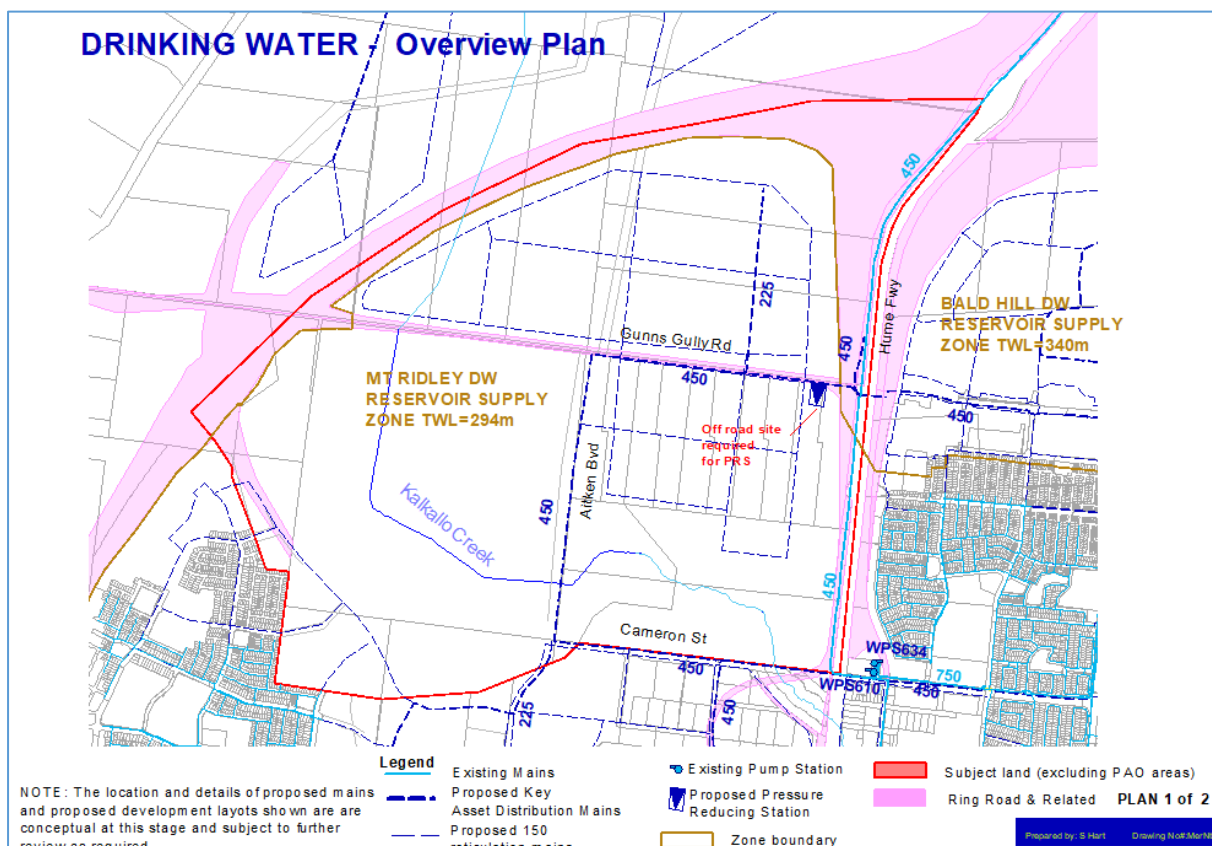
- b. Provision of required DN150 mains along Gunns Gully Road to and through the commercial development.

The DN450-DN225 mains and PRS are defined as a NDW key assets subject to reimbursement and bring-forward costs.

Refer to attached Water Supply Concept Plan 2 and asset plan showing existing and proposed NDW mains for this area and the subject land. These plans show the preliminary location for the key NDW assets planned to service this area, including transfer and distribution mains and pumping stations.

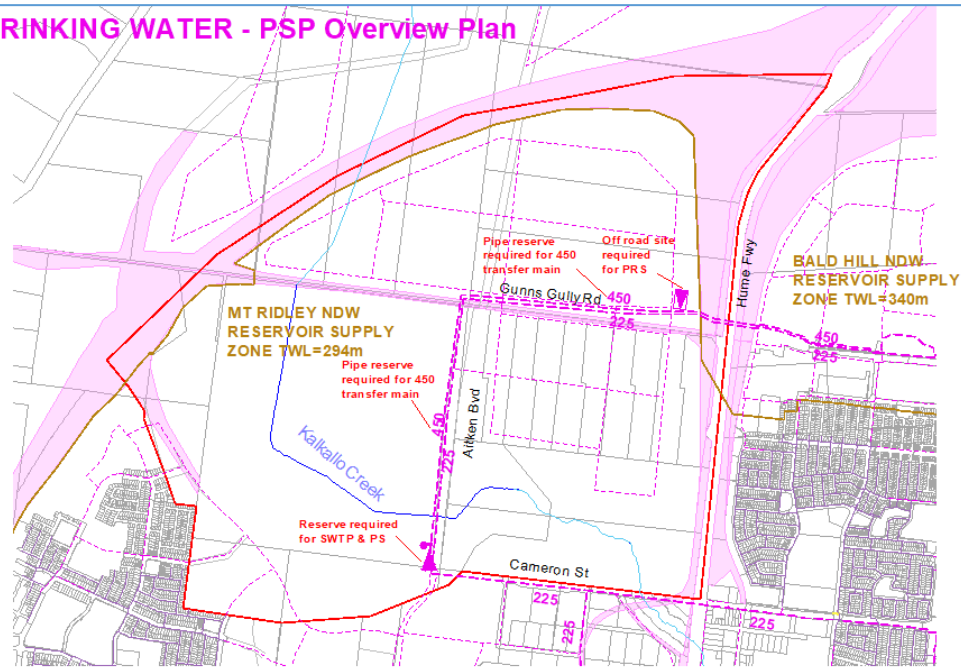
- Pressure Reducing Stations (PRS) require sites adjacent to accessible road.
- PRS site dimensions are typically 30mx20m.
- The PRS sites and adequate road verge space for services (i.e. water mains etc) should be incorporated into the PSP to guarantee space to enable construction and future maintenance of the mains.
- Distribution and reticulation mains require adequate space allocation within Aitken Bvd, Cameron St & Gunns Gully Road reserve and Kalkallo Creek crossing structure.
- The 450mm Transfer Main requires a pipeline reserve 7m wide. The pipeline reserve will incorporate the NDW stormwater main.

Water Concept Plan 1



Water Concept Plan 2

NON- DRINKING WATER - PSP Overview Plan



NOTE: The location and details of proposed mains and proposed development layouts shown are conceptual at this stage and subject to further review as required.

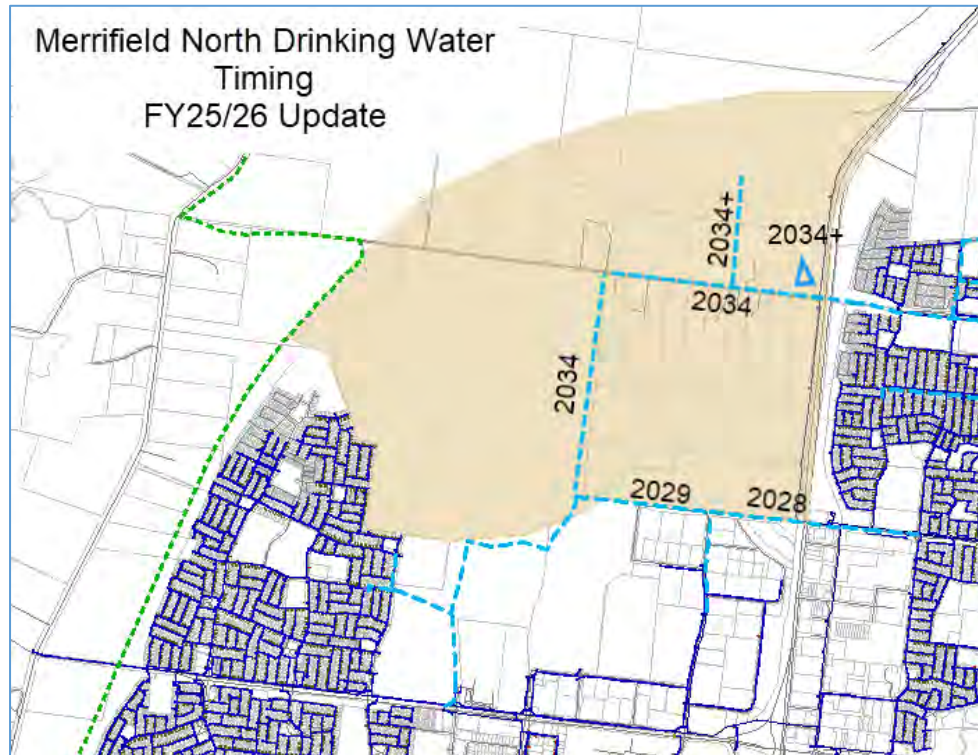
Legend

- | | | |
|--|------------------------------------|---------------------|
| Existing Mains | Proposed Pump Station | PSP boundary |
| Proposed Key Asset Distribution & Transfer Mains | Proposed Pressure Reducing Station | Ring Road & Related |
| Proposed 150 reticulation mains | Proposed SW treatment plant | Zone boundary |

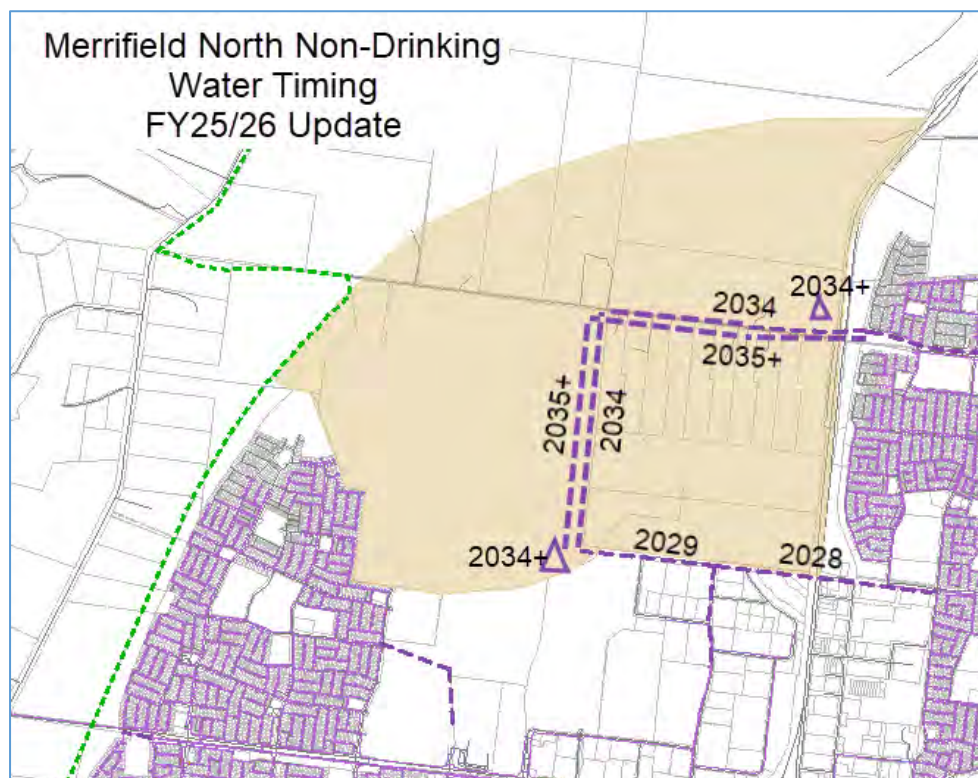
PLAN 2 of 2

Prepared by: S Hart Drawing No: 20000204-02

PLANNED KEY DW ASSETS



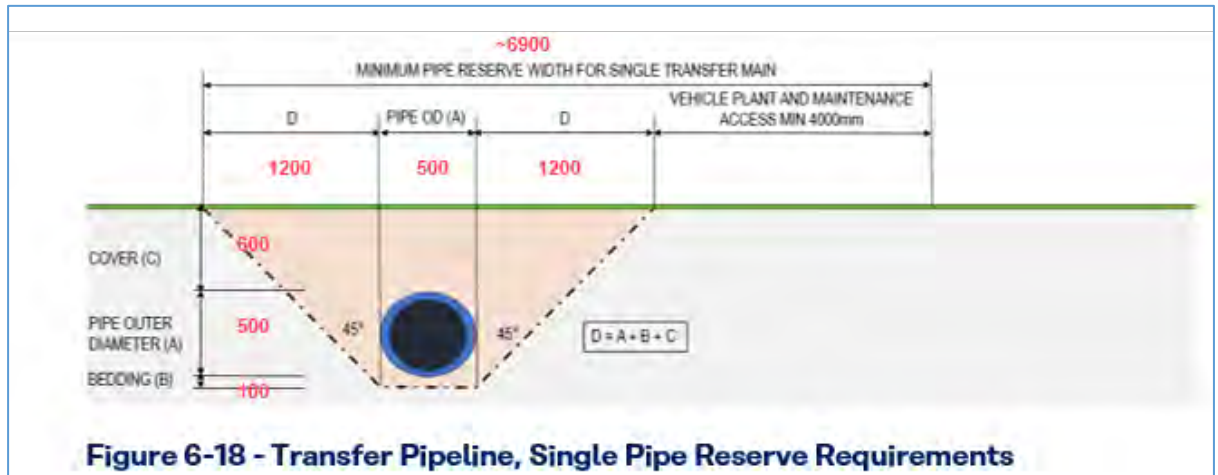
PLANNED KEY NDW ASSETS



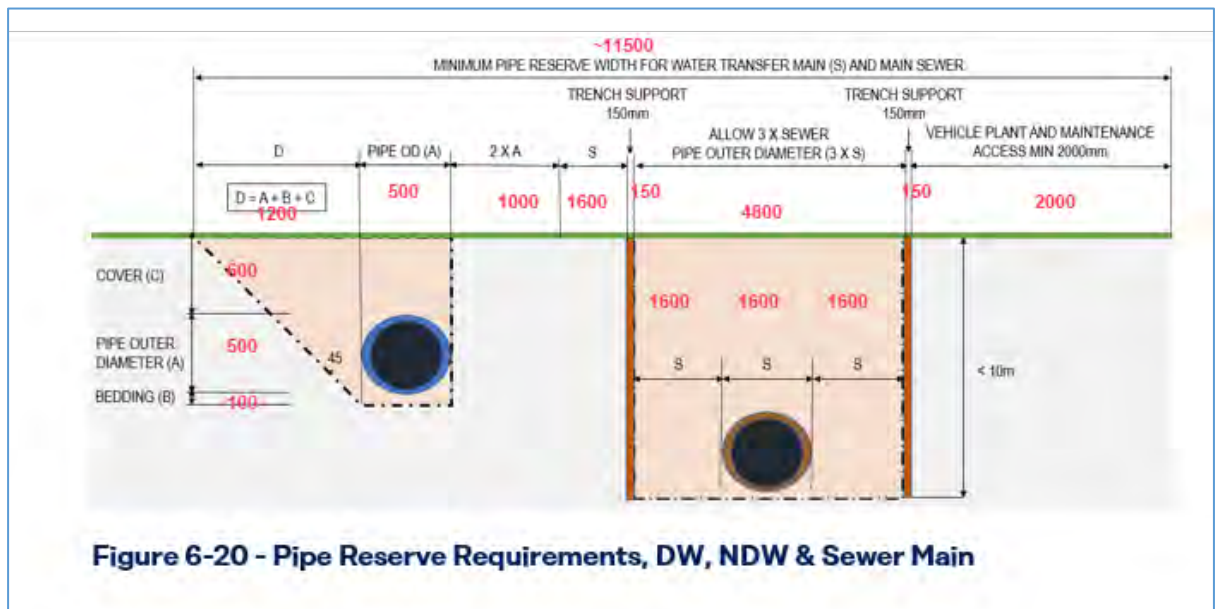
1.1.1 Merrifield North PSP – Pipe Reserve

Yarra Valley Water would agree to the Kalkallo Creek Main Sewer and the Non-Drinking Water main to co-locate within the same reserve which could be then used for community use.

Below are the reserve widths for separate and co-located assets, as well as community uses for the reserve.



1.1.2



Community Use of Pipe Reserves

The transfer mains are key assets and critical for supply to large population areas.

Their unavailability can cause widespread loss of water supply to customers. Pipe reserves are created for the sole use of these mains to be protected from third party activity and maintain uninterrupted service to Yarra Valley Water customers.

The following requirements apply for pipe reserves

- Unrestricted access must be provided to all areas of the pipe reserve.
- Yarra Valley Water consent and approval must be sought prior to the installation of shared user paths
- Water mains can become blocked and damaged by tree roots, disrupting services to the community, and involving costly repairs. Yarra Valley Water consent and approval must be sought prior to planting trees within a pipe reserve or within 5 meters of an asset (from the outside edge of asset).

- Where community uses are planned, future maintenance must be agreed with Yarra Valley Water and Council before development proceeds.

Community uses within or adjacent to pipe reserve are generally acceptable as follows:

1. *Landscaping*

- Low vegetation, grass, gardens, and shrubs are permitted
- Small to medium trees are permitted.
- Large trees with the root systems that may affect the pipe are not desirable. Preference is for smaller tree species with less evasive root systems.
- Trees must be planted on the opposite side of the pipe reserve to where the main is aligned.
- Any trees planted on the pipe reserve must be installed with root barriers and shall be installed on the side facing the transfer main. When correctly installed root barriers can help prevent or limit the impact of tree roots on surrounding infrastructure by reducing root growth beyond the barrier or diverting root growth away from the barrier.
- Structures for shelter, exercise equipment and seating etc. shall be placed at intervals of 250-500m clear of pipeline area. These structures shall be designed such that they can be easily dismantled and removed.
- A reinforced shared pathway shall be placed in an area clear of the pipelines. No reinforced path is allowed to be located longitudinally over Yarra Valley Water's transfer mains. Any reinforced concrete shall be installed at a minimum offset of 1m from the outer edge of the asset. The path that crosses the transfer main shall be minimised as much as practicable and shall be unreinforced.

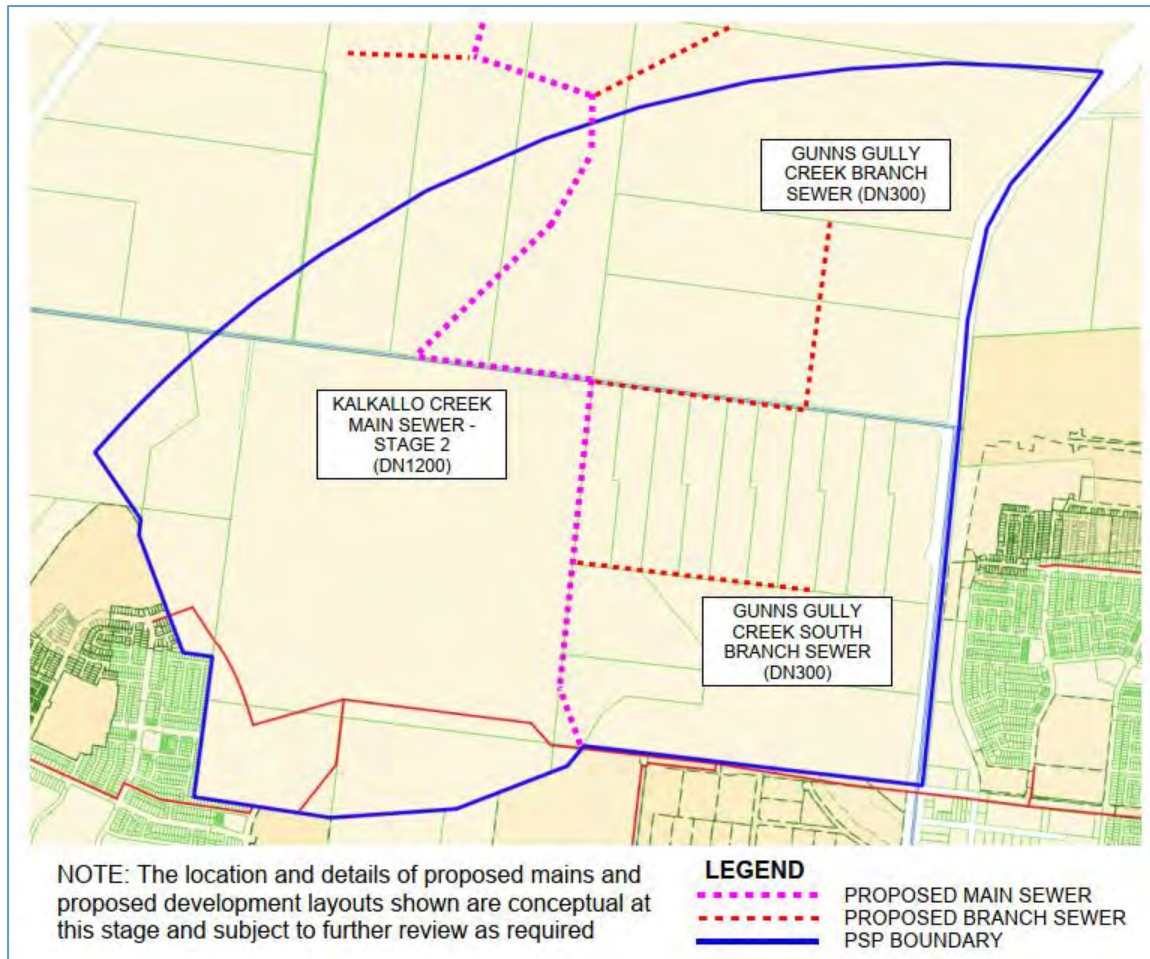
2. *Access Road Crossings*

- Access road crossings must provide adequate cover and protection for the transfer main both during and post development works.
- A minimum of 1,200mm is required over pipes greater than DN900. The developer shall consult with Yarra Valley Water on any other special cover or protection requirements over the main.
- Bollards are required along the street interfaces with the pipe reserve and need to be easily removable by Yarra Valley Water maintenance crews if emergency access is required.

3. *Maintenance*

- Council shall accept the management responsibility for surface maintenance of its assets, such as grassed areas, vegetation, trees, shared pathway, and structures, existing on the pipe reserve area.

Note that details of the required works to service the Merrifield North Precinct Structure Plan as shown on the plan are outlined in writing below.



General Notes

- Upon application for a formal offer to undertake sewerage works and/or connect to the existing Yarra Valley Water system, conditions relating to the design and construction of the works in accordance with MRWA Standards and Codes will be provided via a Conditions of Connection Response, or a Development Deed.

Major Works

The following permanent major infrastructure is required to service this development;

Asset	Design	Build	Fund
Kalkallo Creek Main Sewer	YVW	YVW	Bring-forward costs apply (2033)
Gunns Gully Creek South Branch Sewer	Developer	Developer	Bring-forward costs apply (2033+)
Gunns Gully Creek Branch Sewer	Developer	Developer	Bring-forward costs apply (2033+)

The above works are generally indicated on the attached plan. Note that sewer alignments are indicative only. Planned dates are not confirmed asset completion dates and may be pushed out or brought forward depending on certain circumstances.

- Temporary servicing strategies such as education will be considered if it is efficient to do so and the timing of permanent works is not consistent with development rates.

Partial Lot Control

- Partial lot control is not allowed for this development. The developer may apply for partial lot control, however YVW reserves the right to deny the request.

Proceeding with Major Works

To undertake the major reticulation works that are detailed above, you will need to engage an Accredited Consultant. Please refer to the list of Accredited Consultants which is attached at the end of this document.

The Accredited Consultant will be able to enter into an agreement to construct the assets as detailed above by signing a Development Deed with Yarra Valley Water.

Build Over Easement / Within Close Proximity to YVW Assets:

Please ensure all necessary clearances are maintained from YVW assets. [Click here to view the Build Over Easement Guidelines](#), these should be taken into consideration in the design stage of the development.

Application Forms:

To receive an offer from YVW, you will need to submit an application to us - [click here to submit an online application](#).

Fees Advice:

Application Fees, Products & Services, and New Customer Contributions may be applicable to this development. [Click here to view the current fees and charges](#).

Accredited Consultant List for Land Development

Effective from 21 April 2026 - Land developers may engage consultants from this list to undertake the engineering design and audit services for which the consultant is accredited.

Only accredited consultants are permitted to undertake these services within Yarra Valley Water's area of responsibility.

Engineering Design and Audit Service Categories Legend (D=Design / A=Audit)	
See end of document for detailed definitions and further information	
SD1 & SA1	Reticulation/Branch Sewers ≤DN280 or ≤5m deep
SD2 & SA2	Branch/Main Sewers >DN280 and/or >5m deep
SD3 & SA3	Pressure Sewer
SA7	Live Sewer
SA10	Live Sewer Non-Entry
WD1 & WA1	Reticulation Water Mains ≤DN280
WD2 & WA2	Distribution Water Mains >DN280

Company	Contact Number	Accredited Engineering Design Services					Accredited Audit Services						
Arcadis Australia Pacific Pty Ltd Level 32, 140 William Street Melbourne VIC 3000	(03) 8623 4000	SD1	SD2		WD1	WD2	SA1	SA2				WA1	WA2
A T & L and Associates Pty Ltd Level 24, 570 Bourke Street Melbourne VIC 3000	0416 055 488	SD1			WD1		SA1					WA1	
Aurecon Level 8, Aurecon Centre, 850 Collins Street Melbourne VIC 3000	(03) 9755 3277						SA1	SA2		SA7		WA1	
Axiom Consulting Engineers Pty Ltd 6 Webster Street Ballarat VIC 3350	(03) 5331 2688	SD1	SD2	SD3	WD1		SA1		SA3	SA7		WA1	
Beveridge Williams & Co Pty Ltd 1 Glenferrie Road Malvern VIC 3144	(03) 9524 8840	SD1	SD2	SD3	WD1	WD2	SA1	SA2	SA3	SA7	SA10	WA1	WA2
Bonacci Group Pty Ltd 50 Hoddle Street Abbotsford VIC 3067	(03) 9418 4000						SA1			SA7		WA1	
BPD 1/19 Cato Street Hawthorn East VIC 3123	(03) 8823 2300	SD1	SD2	SD3	WD1	WD2	SA1	SA2	SA3	SA7		WA1	WA2
Charlton Degg Pty Ltd Suite 1, Level 1, 84 Mt Eliza Way Mount Eliza VIC 3930	(03) 9775 4555	SD1	SD2	SD3	WD1	WD2	SA1	SA2	SA3	SA7	SA10	WA1	WA2
Charter Keck Cramer Pty Ltd Level 19, 8 Exhibition Street Melbourne VIC 3000	(03) 8102 8931	SD1	SD2		WD1	WD2	SA1	SA2				WA1	WA2

Company	Contact Number	Accredited Engineering Design Services					Accredited Audit Services						
Civil & Landscape Design Factory 10, 1-3 Eastspur Court Kilsyth VIC 3189	0412 934 044	SD1	SD2	SD3	WD1	WD2	SA1					WA1	WA2
Colliers Engineering & Design Level 1, 1-5 Nantilla Road Notting Hill Vic 3168	(03) 9562 7424	SD1	SD2		WD1	WD2	SA1	SA2		SA7		WA1	WA2
Cossill & Webley Consulting Engineers Level 20/390 St Kilda Road Melbourne VIC 3004	(03) 8548 1560	SD1	SD2		WD1	WD2	SA1	SA2	SA3	SA7		WA1	WA2
Craig Civil Design Pty Ltd 3 Codrington Street Cranbourne VIC 3977	(03) 5995 4388	SD1			WD1		SA1		SA3			WA1	
Creo Civil Consultants Pty Ltd Level 7, 176 Wellington Parade East Melbourne VIC 3002	0400 098 724	SD1	SD2		WD1	WD2	SA1	SA2		SA7		WA1	WA2
CREO STRUCTURES PTY LTD Level 7, 176 Wellington Parade East Melbourne VIC 3002	0422 177 120	SD1	SD2		WD1	WD2							
Dalton Consulting Engineers Pty Ltd Level 3, 678 Victoria Street Richmond VIC 3121	(03) 9813 7400	SD1	SD2	SD3	WD1	WD2	SA1	SA2	SA3	SA7		WA1	WA2
David Fairbairn Consulting Engineer/Town Planner 9 Roslyn Street Brighton VIC 3186	0427 316 006						SA1					WA1	
DPM Civil Engineering Pty Ltd 22 Business Park Drive Notting Hill VIC 3168	(03) 9538 5000	SD1	SD2	SD3	WD1	WD2	SA1	SA2		SA7		WA1	WA2
Egis Consulting Pty Ltd Level 18, 530 Collins Street Melbourne 3000	(03) 9203 9000	SD1	SD2		WD1	WD2	SA1	SA2		SA7		WA1	WA2
GHD Level 8, 180 Lonsdale Street Melbourne VIC 3000	(03) 5273 1820	SD1	SD2		WD1		SA1		SA3			WA1	
GPR Consulting Pty Ltd Suite 217, 202 Jells Road Whealers Hill VIC 3150	0456 634 727	SD1	SD2		WD1	WD2	SA1	SA2				WA1	WA2
Interflow Pty Ltd 42 Koornang Road Scoresby VIC 3179	(03) 9212 6700				WD1	WD2							
J.D. Civil Engineers Pty Ltd 4 Wotan Drive Epping VIC 3076	0421 785 951	SD1			WD1		SA1					WA1	
JCA Land Consultants Suite 9, 303 Maroondah Hwy Ringwood VIC 3134	(03) 9735 4888	SD1	SD2		WD1		SA1	SA2	SA3		SA10	WA1	
Kellogg Brown & Root Pty Ltd Level 3, 441 St Kilda Road Melbourne VIC 3004	(03) 9828 5333	SD1	SD2	SD3	WD1	WD2	SA1	SA2	SA3	SA7		WA1	WA2
KLM Spatial Suite 1, Building 2/3 Ordish Rd Dandenong South VIC 3175	(03) 9794 1600	SD1	SD2	SD3	WD1	WD2	SA1	SA2	SA3	SA7	SA10	WA1	WA2
Klopfer Dobos Pty Ltd 166 Hoddle Street Abbotsford VIC 3067	(03) 9415 3000	SD1			WD1		SA1	SA2		SA7		WA1	WA2
Lambert Rehbein Ground Floor, Suite 1, 55 Walsh Street West Melbourne Vic 3003	(03) 9328 4166	SD1	SD2		WD1								
Lanco Group Pty Ltd Level 2, Suite 26, 20 Enterprise Drive Bundoora Vic 3083	1300 152 626	SD1	SD2	SD3	WD1	WD2	SA1	SA2	SA3	SA7		WA1	WA2
Marcon Infrastructure Group Pty Ltd 13/326 Settlement Road Thomastown Vic 3074	(03) 9354 2882	SD1	SD2		WD1		SA1	SA2		SA7		WA1	
Marshal Melbourne Pty Ltd Suite 201, Level 2, 448 St.Kilda Road Melbourne Vic 3004	(03) 9860 0380	SD1	SD2		WD1	WD2	SA1	SA2	SA3	SA7	SA10	WA1	WA2

Company	Contact Number	Accredited Engineering Design Services					Accredited Audit Services						
Meinhardt Infrastructure and Environment Pty Ltd Level 12, 501 Swanston Street Melbourne Vic 3000	(03) 8676 1200	SD1	SD2		WD1	WD2							
Millar Merrigan 2/126 Merrindale Drive Croydon Vic 3136	(03) 8720 9500	SD1	SD2	SD3	WD1	WD2	SA1	SA2	SA3	SA7		WA1	
Moodie & Associates 79 Banksia Street Eaglemont Vic 3084	(03) 9459 5561	SD1			WD1		SA1					WA1	
Paroissien Grant & Associates Pty Ltd 10/131 Bulleen Road Balwyn North Vic 3104	(03) 9859 6400	SD1		SD3	WD1		SA1	SA2			SA10	WA1	
Precinct Land Consultants Pty Ltd Unit 2/9 Ross St Aspendale Vic 3195	0419 357 992	SD1	SD2		WD1		SA1	SA2	SA3			WA1	WA2
Range Consulting Pty Ltd L1 366 Bridge Rd Richmond VIC 3121	0431 262 128	SD1	SD2		WD1	WD2							
Reeds Consulting Pty Ltd Level 6, 440 Elizabeth Street Melbourne Vic 3000	(03) 8660 3000	SD1	SD2	SD3	WD1	WD2	SA1	SA2	SA3	SA7	SA10	WA1	WA2
SJE Consulting 613 Plenty Road Preston Vic 3072	0488 333 846	SD1	SD2	SD3	WD1		SA1	SA2	SA3	SA7		WA1	WA2
SMEC Australia Pty Ltd Tower 4, Level 20, 727 Collins Street Docklands Vic 3008	(03) 9869 0896	SD1	SD2	SD3	WD1	WD2	SA1	SA2	SA3	SA7	SA10	WA1	WA2
Spiire Australia Pty Ltd Level 6, 414 La Trobe Street Melbourne Vic 3000	(03) 9993 7950	SD1	SD2		WD1	WD2	SA1	SA2	SA3	SA7		WA1	WA2
Stantec Australia Pty Ltd L22, 570 Bourke Street Melbourne Vic 3000	(03) 8554 7064	SD1	SD2	SD3	WD1	WD2	SA1	SA2	SA3	SA7		WA1	WA2
T.J. Puszka & Associates Pty Ltd Unit 2, 284 Warrigal Road Glen Iris Vic 3146	(03) 9888 9714	SD1	SD2	SD3	WD1		SA1	SA2				WA1	
Taylor Stizza 8/270 Ferntree Gully Road Notting Hill Vic 3168	(03) 9501 2800	SD1	SD2	SD3	WD1	WD2	SA1	SA2	SA3	SA7		WA1	WA2
Terraco Pty Ltd 9 Jewell Court East Bendigo VIC 3550	(03) 5442 5799	SD1		SD3			SA1		SA3				
The Fidus Group Po Box 2305 Templestowe Vic 3107	0422 991 538	SD1			WD1		SA1					WA1	
Tomkinson Group 57 Myers Street Bendigo Vic 3552	0448 036 966	SD1			WD1		SA1	SA2	SA3	SA7	SA10	WA1	WA2
Trident Civil Engineering Pty Ltd 18 The Skyline Sunbury VIC 3429	0421 500 169	SD1	SD2	SD3	WD1	WD2	SA1	SA2	SA3	SA7	SA10	WA1	WA2
UDEC Pty Ltd Unit 18 (Lvl 1), 75 Lorimer St Docklands VIC 3008	0423 701 557	SD1	SD2	SD3	WD1	WD2	SA1	SA2	SA3	SA7		WA1	WA2
Urban Design and Management Pty Ltd Office 1, Level 1, 114 Evans Street Sunbury Vic 3429	(03) 9971 6300	SD1	SD2		WD1	WD2	SA1	SA2		SA7	SA10	WA1	WA2
Van Der Meer Consulting Level 6, 379 Collins Street Melbourne VIC 3000	0422 459 153	SD1	SD2	SD3	WD1		SA1					WA1	
Verve Projects Pty Ltd Ground Floor 207-213 Waverley Road Malvern East VIC 3145	(03) 8573 1500	SD1	SD2		WD1	WD2	SA1	SA2		SA7	SA10	WA1	WA2
Wallbridge Gilbert Aztec Level 2, 31 Market Street South Melbourne Vic 3205	(03) 9696 9522						SA1			SA7		WA1	
Woodward Land & Civil 2/6 Adolph St Cremorne VIC 3121	0403 090 178	SD1	SD2		WD1	WD2	SA1	SA2		SA7		WA1	

Engineering Design Service Categories covered by this Accreditation

WD1 – Reticulation Water Main Design ≤DN280

Design of reticulation drinking and non-drinking water pipelines ≤DN280 including all pipes, fittings and structures

WD2 – Distribution Water Main Design >DN280

Design of distribution drinking and non-drinking water pipelines >DN280 including all pipes, fittings and structures

SD1 – Reticulation/Branch Sewer Design ≤DN280 or ≤5m deep

Design of gravity reticulation/branch sewers ≤DN280 or ≤5m deep including all pipes, fittings and structures

SD2 – Branch/Main Sewer Design >DN280 and/or >5m deep

Design of gravity branch/sewer mains >DN280 and/or >5m deep including all pipes, fittings and structures

SD3 – Pressure Sewer System Design

Design of pressure sewer reticulation networks ≤DN300 including all of the pressure network components and property branches up to and including the boundary kits

Engineering Design Service Functions

Functions for engineering design services include hydraulic, survey (where specified), drafting, geotechnical, structural, mechanical, electrical, materials and other specialist functions required for land development.

Accredited consultants will be required to:

- Prepare detailed design compatible with the Development Deed
- Yarra Valley Water's concept plan and design parameters (as detailed in the Codes and/or Yarra Valley Water requirements)
- Coordinate other design specialists
- Organise production of design documentation
- Advise the land developer on technical matters relating to the services
- Visit the site where necessary
- Submit justification and obtain prior written approval from Yarra Valley Water for any variation from the Codes and/or Yarra Valley Water's requirements

Subconsultants

Consultants must ensure that their subconsultants are accredited with Yarra Valley Water in the appropriate engineering design services category for the subcontracted part of the project.

Consultants engaging a subconsultant for which there is no engineering design services category requiring Yarra Valley Water accreditation are responsible for ensuring that the subconsultant has appropriate qualifications, expertise and experience.

Specialised Services

Consultant accreditation is not required for specialised services that are not included in the engineering design categories in this document.

Consultants must ensure that any specialised consultant they engage is appropriately qualified, with adequate expertise and experience to carry out the services required.

Audit Service Categories covered by this Accreditation

WA1 – Reticulation Water Main Construction Auditing

Auditing of construction of reticulation drinking and non-drinking water pipelines ≤DN280 including the supply, installation, testing and commissioning of all pipes, fittings and structures.

WA2 – Distribution Water Main Construction Auditing

Auditing of construction of reticulation drinking and non-drinking water pipelines >DN280 including the supply, installation, testing and commissioning of all pipes, fittings and structures.

SA1 – Reticulation/Branch Sewer Construction Auditing

Auditing of construction of gravity sewerage mains ≤DN280 or ≤5m deep including the supply, installation, testing and commissioning of all pipes, fittings and structures.

SA2 – Branch/Main Sewer Construction Auditing

Auditing of construction of gravity sewerage mains >DN280 and/or >5m deep including the supply, installation, testing and commissioning of all pipes, fittings and structures.

SA3 – Pressure Sewer System Construction Auditing

Auditing of construction of pressure sewer reticulation networks ≤DN300 including all of the pressure network components and property branches up to and including the boundary kits.

SA7 – Any Live Sewer Construction Auditing

- Audit of Major Live Sewer Works including connection of gravity sewer pipelines ≤DN300 to an existing live gravity sewerage system. Modification to an existing live gravity sewerage system such as realigning a pipeline.
- Installation of property service branches to an existing live sewer gravity system ≤ DN300.
- Installation of property service branches into an existing live gravity sewer maintenance structure which is connected to sewers ≤DN300. Repair and/or modification of existing property service branches.
- Installation and connection of short gravity sewer system ≤25m in length and ≤DN300.
- Installation of new maintenance structures on existing live gravity sewer systems ≤DN300.
- Repair or modification of existing maintenance structures on an existing live gravity sewer system ≤DN300 (i.e. changes to M/H cover levels).

SA10 – Live Sewer Non-Entry Works

- Sewer maintenance structure inspections
- CCTV Inspections

Audit Service Functions

As part of undertaking audit services, accredited consultants will be required to:

- Undertake auditing in accordance with the audit schedule to obtain confidence that the works are completed in accordance with the relevant Codes and/or Yarra Valley Water requirements relating to the works.
- Document accurate records of compliance with the audit schedule and observations made on the worksite.
- Undertake a sufficient level of auditing to confirm that the works are completed:
 - in accordance with any OHS and environmental legislation, regulations, codes, guidelines or Standards
 - in a consultative manner to ensure all interested parties clearly understand the requirements and impact of the works.
- Issue a written non-conformance notice where there has been a breach of:
 - compliance with MRWA Standards
 - any OHS and environmental legislation, regulations, codes, guidelines or Standards
 - any quality, OHS or environmental management systems
- Witness all inspection and testing activities relevant to the works in accordance with:

- Australian Standards
 - MRWA Standards
 - OHS legislation, regulations, codes, guidelines or Standards
 - Local government codes of practice
 - Road authority codes of practice
 - Yarra Valley Water requirements
- Witness all acceptance testing activities performed on the sewerage and water supply assets installed on the worksite.
- Respond to enquiries and/or complaints relating to the works



Contact us

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 **yvw.com.au/faults**

 **TTY Voice Calls** 133 677
 **Speak and Listen** 1300 555 727

For language assistance

العربية 1300 914 361
廣東話 1300 914 361

Ελληνικά 1300 931 364
普通话 1300 927 363

For all other languages call our
translation service on **03 9046 4173**



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