

Melton East

Precinct Structure Plan



/ April 2026

ACKNOWLEDGEMENT OF COUNTRY

We proudly acknowledge the Wurundjeri Woi-wurrung community and their rich culture and pay our respects to their Elders past and present.

We recognise the intrinsic connection of Traditional Custodians to Country and acknowledge their contribution to the care and management of land, water, and resources.

We embrace Reconciliation and working towards the equality and equity of outcomes and ensure Wurundjeri voices are heard.



▲ Description of artwork

Aaron (Gunaikurnai) 'Movements Between the Five Clans' 2019, acrylic on canvas.

'The tracks are going between the five clans of the Gunaikurnai and the hands are the symbols of my spirit travelling around the campsites.'

This artwork was created through programs provided by the Torch. The Torch provides art, cultural and arts industry support to Indigenous offenders and ex-offenders in Victoria. The Torch aims to reduce the rate of re-offending by encouraging the exploration of identity and culture through art programs to define new pathways upon release.

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1.0 CONTEXT

1.1 How to read this document

The precinct structure plan (PSP) guides land use and development where a planning permit is required under the Urban Growth Zone (Clause 37.07 of the Melton Planning Scheme), or any other provision of the Melton Planning Scheme that references this PSP.

Part 1 – Context

Part 1 contains the contextual overview of the PSP document and the function of individual components as well as infrastructure contributions required to deliver the precinct.

Part 2 – PSP outcomes

Part 2 contains the outcomes this PSP is seeking to achieve.

A planning application and subsequent planning permit must implement the outcomes of the PSP.

The outcomes are expressed as:

- The **Vision** - the overarching unique place-based outcome intended for this PSP.
- The **Purpose** - how the PSP will facilitate the vision for the precinct.
- The **Place-based Plan** - outlines the intended urban structure for the precinct.

Part 3 – Implementation

Part 3 contains the strategic land use context and place-making elements to be implemented for the precinct and responds to each of the seven 20-minute neighbourhood hallmarks.

Each hallmark is implemented according to the following sub-structure:

- **PSP objectives:** The PSP identifies a set of place-based objectives to achieve the vision and purpose for the precinct. These provide the guidance required to achieve the specific outcomes sought for each of the seven hallmarks within the precinct. A responsible authority may consider alternative strategies to achieve the vision and objectives. Alternative strategies must demonstrate how they will achieve the vision and objectives of the PSP.
- **PSP implementation and delivery:** The PSP provides guidance in the form of plans, tables and diagrams to help with interpretation and implementation of the requirements and guidelines.
- **Place-based requirements:** PSP Requirements must be adhered to in developing the land. Where they are not demonstrated in a permit application, requirements will usually be included as a condition on a planning permit whether or not they take the same wording as in the structure plan. A requirement may reference a plan, table or figure in the structure plan.

- **Place-based guidelines:** The PSP Guidelines express how discretion will be exercised by the responsible authority in certain matters that require a planning permit. The responsible authority may consider an alternative to a guideline if it is satisfied that an application for an alternative, implements the outcomes. A guideline may include or reference a plan, table or figure in the PSP.

Any objective, requirement or guideline applies to the whole PSP, and not just to the hallmark under which it is nested. Meeting these requirements and guidelines will implement the vision, purpose and objectives of the PSP.

Part 4: Appendices

Part 4 contains the technical and administrative information required to support the implementation of the strategic land use context and place-making elements of the PSP. It includes tables, plans, diagrams and definitions. These include:

- Precinct infrastructure plan and table
- Summary land use budget and property-specific land use budget
- Cross-sections
- Activity centre performance requirements & guidelines
- Various concept plans (e.g., activity centre, Biodiversity Conservation Strategy [BCS] conservation area, etc)
- Glossary

Not every aspect of land use, development or subdivision is addressed in this PSP. A responsible authority may manage development and issue permits as relevant under its general discretion. The *Generally in Accordance Guidance Note* is available on the VPA website to provide direction in the application of discretion where a PSP applies.

Development must comply with all other relevant Acts and approvals.

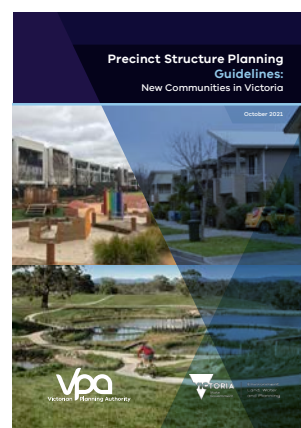
1.2 Function of the PSP

The function of the PSP is to:

- Provide the planning conditions for delivery of dwellings, community facilities and industrial land.
- Identify and where appropriate, provide the shared funding for a diverse range of open spaces and community infrastructure.
- Ensure development will generate the necessary population to support investment in critical infrastructure.
- Preserve and protect important natural landmarks such as Kororoit Creek and Seasonal Herbaceous Wetland (BCS Conservation Area 15).

1.3 Regional context

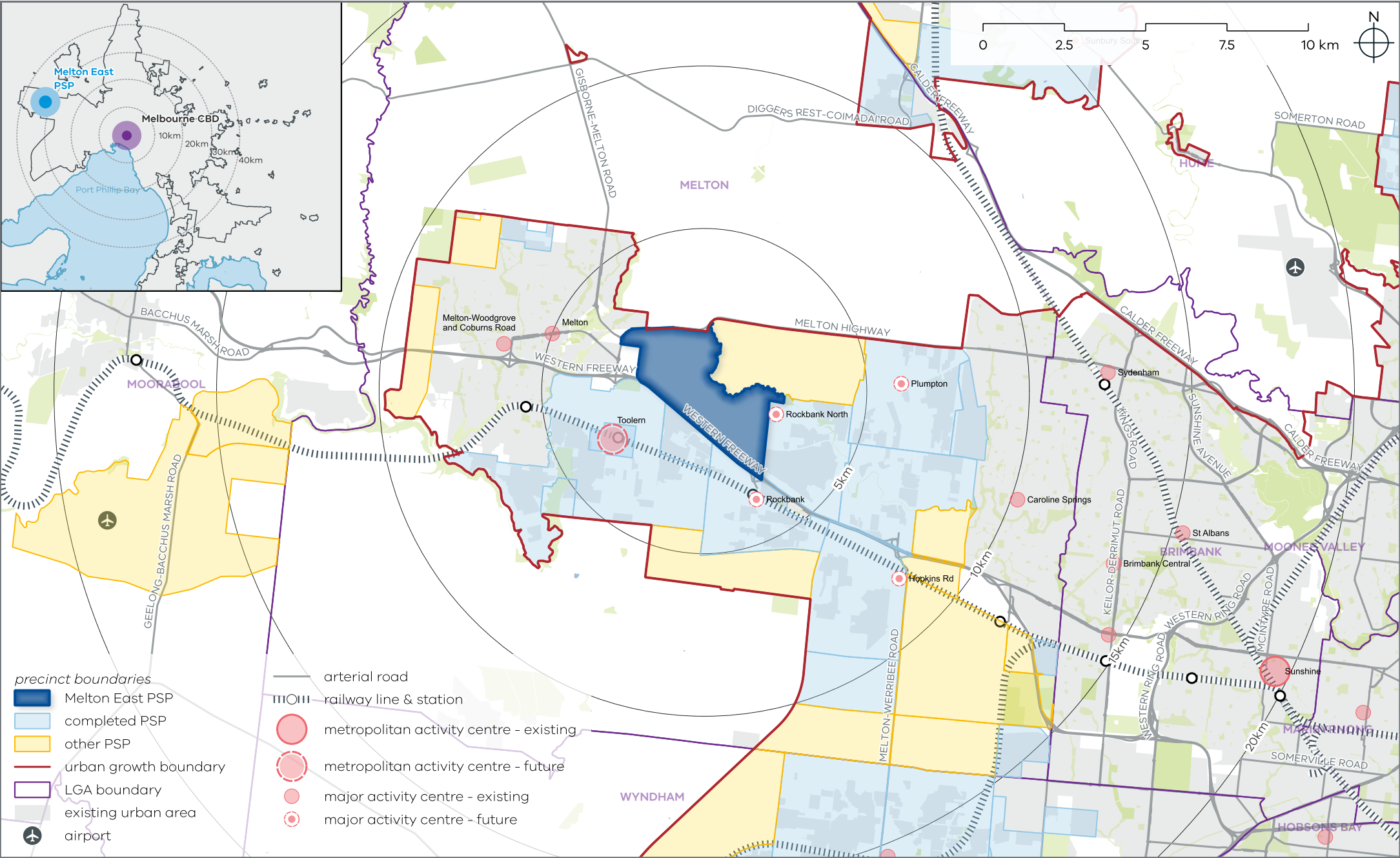
The Melton East PSP is located within the West Growth Corridor, 35km north-west of Melbourne and to the east of the existing Melton township. Several completed PSPs, including Melton North, Toolern, Paynes Road, Rockbank and Rockbank North surround the site, resulting in the PSP being considered an infill PSP within a growth corridor setting.



▲ *PSP Guidelines* refers to the ***Precinct Structure Planning Guidelines: New Communities in Victoria***, available on the [VPA website](#)

Plan 1 – Regional Context

Melton East Precinct Structure Plan



1.4 Precinct features

The precinct is bounded by Kororoit Creek to the north-east, Western Freeway to the south, Leakes Road to the east and the Melton Highway to the north-west. The PSP will complement existing surrounding development through the provision of residential and commercial opportunities. The precinct is included in the Melbourne Strategic Assessment (MSA) area and includes BCS conservation areas along Kororoit Creek.

1.5 Cultural & historical context

1.5.1 Cultural context

The Registered Aboriginal Party (RAP) for the precinct area under the Aboriginal Heritage Act 2006 is Wurundjeri Woi-wurrung Cultural Heritage Aboriginal Corporation (WWCHAC).

WWCHAC is the RAP for and on behalf of Wurundjeri People. Wurundjeri Woi-wurrung People are recognised as the Traditional Custodians of their lands and waters across greater western and northern Melbourne. The VPA has consulted with WWCHAC and the Traditional Custodians of the land to help ascertain the important cultural values that signify the precinct.

We proudly acknowledge the Wurundjeri Woi-wurrung community and their rich culture and pay our respects to their Elders past and present.

We recognise the intrinsic connection of Traditional Custodians to Country and acknowledge their contribution to the care and management of land, water, and resources.

We embrace Reconciliation and working towards the equality and equity of outcomes and ensure Wurundjeri voices are heard.

1.5.2 Historical context

Post-contact heritage sites are also abundant within the Melton East PSP including dry-stone walls, heritage cottages and a Nissen Hut. The PSP has planned for these heritage places to be incorporated into civic precincts to highlight their connection to community.

1.6 Strategic policy context

This PSP is informed by:

- The Planning Policy Framework set out in the Melton Planning Scheme
- The [West Growth Corridor Plan](#)
- *Victoria's Housing Statement – The decade ahead 2024-2034*
- [Plan Melbourne 2017–2050](#)
- *The Biodiversity Conservation Strategy and Sub Regional Species Strategies for Melbourne's Growth Areas* (Department of Environment, Land, Water and Planning, June 2013)
- The [Precinct Structure Planning Guidelines: New Communities in Victoria](#) (VPA, 2021)

1.7 Infrastructure contributions plan (ICP)

This PSP is supported by the Melton East Infrastructure Contribution Plan (the ICP) incorporated into the Melton Planning Scheme.

The ICP sets out the essential infrastructure requirements and expected contributions arrangements delivered as part of the planning permit process.

1.8 Background information

The Melton East PSP Background Report provides detailed information relating to the precinct, including its local and metropolitan context, history, landform and topography, biodiversity, drainage, open space, transport infrastructure, employment, and community facilities. The report details the technical information and rationale that has informed the place-based decisions and planning outcomes expressed in this PSP.

The technical studies are available at [Melton East PSP – website](#).

2.0 PSP OUTCOMES

2.1 PSP vision

Melton East will be a sustainability-focused precinct delivering a network of walkable, safe and attractive neighbourhoods which leverage the natural beauty of the Kororoit Creek conservation area and wetlands. As an important piece in the Melton Economic Corridor located along the Western Freeway, the PSP will unite the surrounding precincts and key destinations, including Cobblebank Metropolitan Activity Centre, Aintree Major Town Centre and the Melton Township.

2.2 PSP purpose

Melton East PSP will plan for approximately 1,600 jobs and 11,662 dwellings, harmoniously blending the natural environment and modern urban living. The future Melton East community will be diverse, inclusive, engaged and contribute to the creation of a vibrant neighbourhood.

The long-term conservation of significant flora and fauna areas within the precinct being the BCS conservation areas located along the Kororoit Creek and Seasonal Herbaceous Wetland will be distinct assets of the community. Public open space, active transport routes and community facilities will be located in proximity to protect and enhance these natural assets. Communities will be designed to support connectivity and transitioning between the built environment and natural landscapes, integrating water sensitive urban design principles where appropriate to deliver a green and climate resilient precinct.

Future communities will be supported to live affordably and sustainably by planning for diversity of housing and walkable neighbourhoods. The new urban form will support Neighbourhood Activity Centres, community services and public open space, while providing for high amenity, connectivity and social inclusion. Modern urban living will be supported by the ability to live locally, work from home and easily access shopping, entertainment and meet daily needs. Melton East will provide a strong connection to surrounding areas to ensure there are local employment opportunities.

The precinct will be designed to accommodate future climate risks with flexibility to implement emerging technologies. Subdivision design will have regard to the integrated water management, including harvested stormwater systems to enhance sustainability outcomes. The Seasonal Herbaceous Wetland that provides habitat for the Growling Grass Frog is a key ecological resource to conserve and enhance, providing amenity value and educational opportunities.

By planning in consultation with WWCHAC and other key stakeholders, the precinct will identify and celebrate important Aboriginal cultural heritage connections with Country. Community, transport and drainage infrastructure will respond to cultural sensitivities and the existing landscape.

Future residents will benefit from a network of active transport shared user paths that provide links to public open space areas and the services they need to live locally, including four activity centres. Public transport connections and a well-integrated arterial road network will enable residents to travel within and around the precinct.

2.3 General notes

Progressive Certainty

The Melton East PSP includes land set aside for development services scheme assets.

- Any change to the size, type, staging or location of DSS assets, will be considered by the responsible authority as being generally in accordance if those DSS assets achieve the intended performance standards and are approved by Melbourne Water in respect of drainage matters.
- Should the land required for the delivery of these assets be reduced with the written consent of Melbourne Water post-gazetted of this PSP, then that surplus land may be used and developed in accordance with the applied zoning of that land under Schedule 13 of the Urban Growth Zone.
- Any increases in NDHA are subject to Section 5.3 of the Melton East Infrastructure Contributions Plan – which sets out the process for changes to the land use budget.

Kangaroo management

Kangaroos occupy land within the Melton East Precinct Structure Plan boundary. Landowners are responsible for managing risks caused by wildlife on their land and for ensuring land use change (kangaroo habitat removal) does not contravene the Wildlife Act 1975 and Prevention of Cruelty to Animals Act 1986.

Authorisation from the Department of Energy, Environment and Climate Action is required under the Wildlife Act 1975 for any proposal to undertake lethal control, wilful disturbance or trapping of wildlife.

Cultural Heritage

The areas identified on [Plan 10](#) and [Plan 11](#) of the PSP have Aboriginal cultural values (Plan 10) as highlighted within the Cultural Values Assessment, 2024, or predicted archaeological sensitivity (Plan 11) as highlighted within the *Aboriginal Cultural Heritage Impact Assessment 2024*. Developers are encouraged to engage early with the Registered Aboriginal Party (RAP) to address Aboriginal cultural heritage and values considerations.

Any development must comply with the *Aboriginal Heritage Act 2006* (VIC) and all relevant statutory requirements. While native vegetation designated as “native vegetation that may be removed” on [Plan 8](#) may be removed without a planning permit, the removal of this vegetation prior to the approval of a Cultural Heritage Management Plan may amount to an offence under the *Aboriginal Heritage Act 2006*.

Any increase in NDHA resulting from the outcomes of an approved Cultural Heritage Management Plan is subject to Section 5.3 of the *Melton East Infrastructure Contributions Plan* – which sets out the process for changes to the land use budget.

Area of flood risk

The ‘Area of flood risk’ identifies land in the precinct previously within the Urban Floodway Zone (UFZ) where further assessment by Melbourne Water is required before the land may be developed for residential purposes.

[Plan 3](#) excludes the Area of flood risk from an amenity area as the land is not developable for residential purposes until Melbourne Water have completed further assessment of the Kororoit Creek. Once this assessment has been completed, land within the Area of flood risk may be considered an Amenity Area if it is a logical inclusion based on land use arrangements within the place based plan.

Any new development in the Area of flood risk is subject to the application requirements and decision guidelines set out in the Melton Planning Scheme, specifically within Schedule 13 to the Urban Growth Zone.

Plan 2 – Place Based Plan

Melton East Precinct Structure Plan

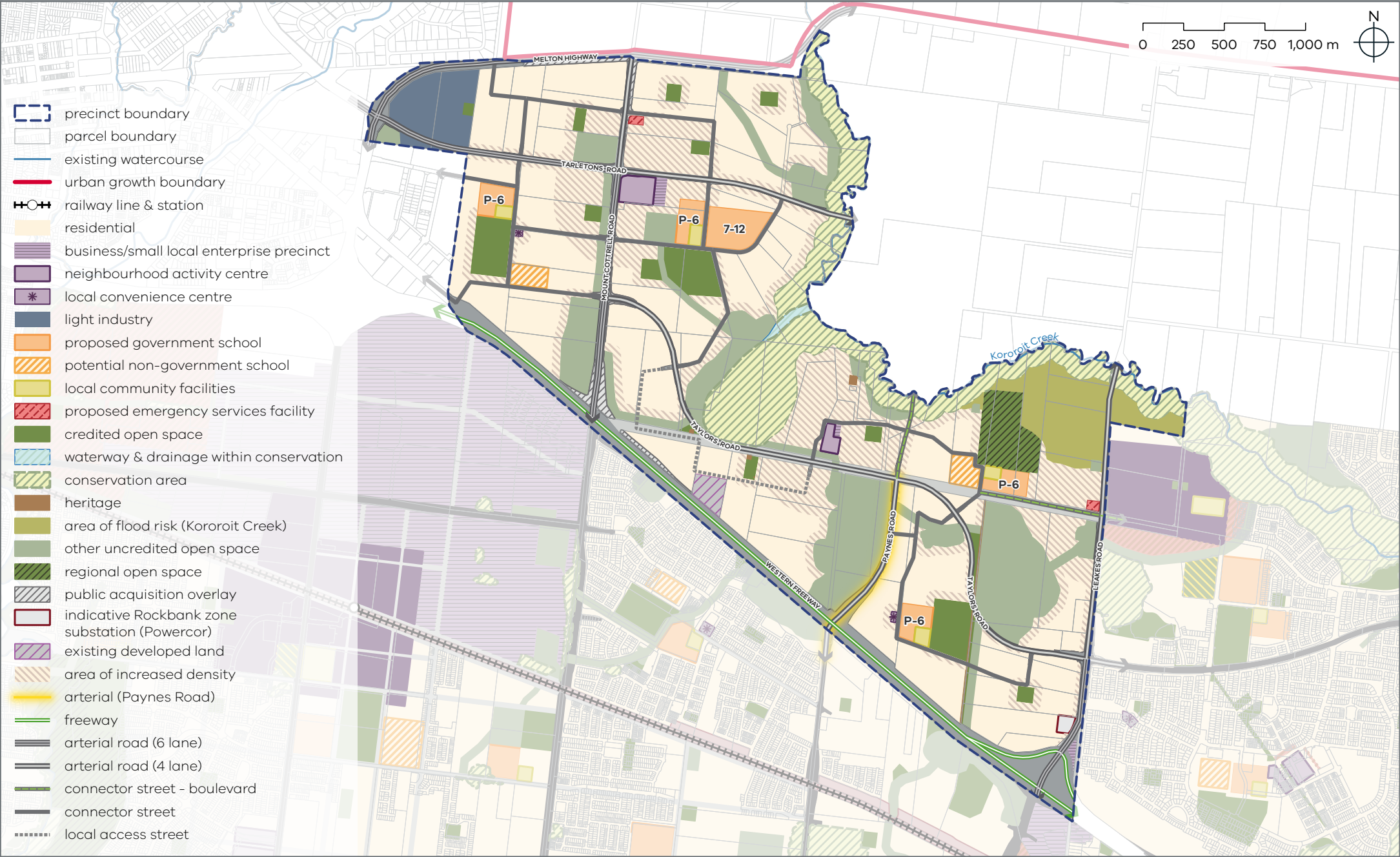
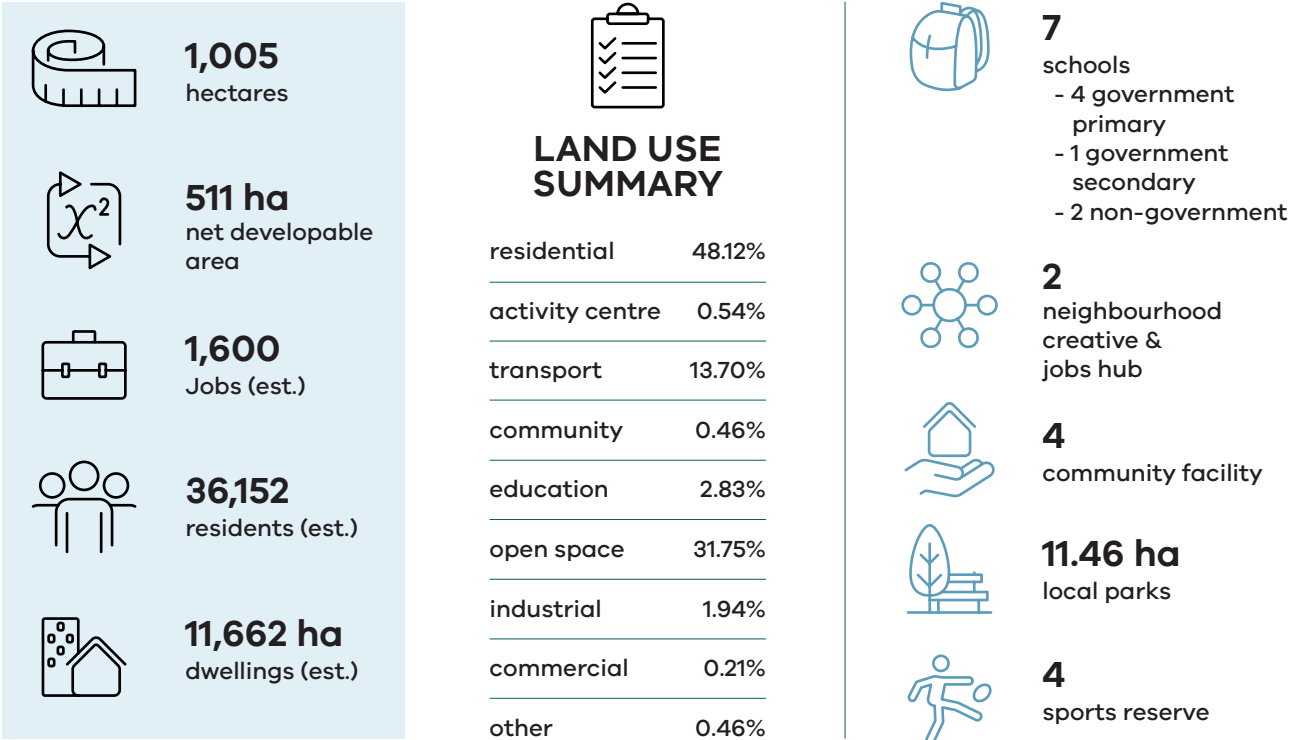
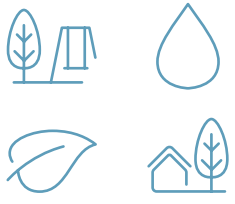


Figure 1 — PSP performance summary



	Target No.	PSP targets	achieved %	target %
Viable densities				
 	T1	Dwelling density per NDHA in amenity areas	30	30
	T2	Dwelling density per NDHA accross the PSP	24	20
 	Other performance targets*			
	T3	Housing diversity		
	T4	Affordable housing		
Safe, accessible & well connected				
  	T9	Public transport in walking distance	100	95
	Other performance targets*			
	T5	Arterial road network		
	T6	Off-road cycle paths		
	T7	Footpaths		
	T8	Pedestrian and cyclist crossing		
Connect people to jobs & higher order services				
 	Other performance targets*			
	T10	Job density		

High quality public realm		Target No.	PSP targets	achieved %	target %
	T11		Minimum open space targets		
			– Total residential credited open space	7	10
			– Local residential park	2	3-5
			– Sports reserve	5	5-7
			– Employment local park	2.3	2
	T12		Open space in walking distance		
			– Dwellings within 800m of sports reserve or open space	79	100
			– Dwellings within 400m of local park	91	95
			Other performance targets*		
			T13 Tree canopy coverage		
			T14 Passively irrigated street trees		
			T15 Good solar orientation		
			T16 Conservation areas		
			T17 Integrated water management solutions		

Services & destinations

	T18	Education & community facilities in walking distance		
		– Dwellings within 800m of government primary school	79	70
		– Dwellings within 3,200m of government secondary school	100	100
		– Dwellings within 800m of community hub	77	80
		– Dwellings within 800m of health facility	100	80

Thriving local economies

	T19	Activity centre in walking distance	81	80-90
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Infrastructure coordination

	Other performance targets*			
		T20 Basic & essential infrastructure		

* Targets achieved at the planning permit stage

Note: See Melton East Precinct Structure Plan - Amendment C244 Background Report - March 2025 for a discussion of the place-based response to PSP Guidelines target metrics.

3.0 IMPLEMENTATION

3.1 Viable densities



3.1.1 Objectives – Viable densities

Table 1 – Place-based objectives - Viable densities

OBJECTIVES

O1	To ensure subdivision and development delivers contextually responsive, and attractive urban form that is well integrated with the surrounding environment.
O2	To facilitate subdivision and development that contributes to delivery of higher density and diversity of housing options.
O3	To provide higher density development within walkable catchments to areas of amenity, including around key destinations such as activity centres, open space, and active and public transport networks.
O4	To provide a range of housing options that will support a diverse and inclusive community.
O5	To inform an estimated target for the voluntary provision of affordable housing, including social housing, in accordance with affordable housing policy, evidence, and guidance.
O6	To promote and facilitate environmentally sustainable and climate resilient housing.

3.1.2 Requirements and guidelines - Viable densities

Table 2 – Place-based requirements and guidelines - Viable densities

REQUIREMENTS

R1	Residential subdivision and development must be generally in accordance with the density, distribution and diversity targets set in Plan 3 and Table 3 to the satisfaction of the responsible authority. Residential subdivision and development that can demonstrate how target densities can be achieved over time may be considered.
R2	Subdivision applications for residential development must suitably demonstrate: – A diverse neighbourhood character by providing a range of lot sizes, frontage widths and dwelling types; – Potential dwelling yield; – Active interfaces with the adjacent street, open space, waterways and drainage reserves; – Servicing arrangements; – Treatments for sensitive interfaces; – Lot widths, depths and layouts (including for super-lots) that balance the provision of smaller housing typologies with appropriate provision of service infrastructure, vehicle access and street tree planting; to the satisfaction of the responsible authority.
R3	On lots proposed adjacent to an acoustic wall, dwellings must front an internal road which runs directly parallel to the acoustic wall unless otherwise agreed with the responsible authority. See Appendix 7 for areas which may require noise attenuation measures.
R4	Lots with frontage widths of less than 7.3 metres must be designed to ensure the provision of canopy street trees, streetscape sharing, servicing infrastructure and on-street car parking to the satisfaction of the responsible authority.
R5	Lots must front waterways, connector streets and open space (including local parks and easements), unless the lot abuts a bushfire hazard setback area shown on Plan 9 or otherwise agreed to by the responsible authority.
R6	Development adjacent to the BCS conservation area must be in accordance with Conservation Area Concept Plan in Appendix 6 .

GUIDELINES

- G1** Residential subdivisions within amenity areas should demonstrate how a minimum of three housing typologies can be achieved. Where a residential subdivision is of a scale unsuitable to support three housing typologies, the subdivision may rely on other typologies within the area if the proposed development will contribute to housing diversity in the vicinity.
- G2** The design of subdivision and built form should respond to the local context and features identified in the *Melton East PSP Landscape and Visual Impact Assessment* (Urbis, October 2022) in a way that reinforces the legibility of the urban structure, creates focal points and places of interest and contributes to local identity.
- G3** Residential development that makes a contribution towards meeting the estimated precinct demand for affordable housing, including social housing, referenced in [Table 4](#) for the Melton East precinct should be encouraged. This can also include affordable private market housing.
- G4** Affordable housing, including social housing, where provided should be encouraged in areas where services, public transport and community facilities will be provided.
- G5** Affordable housing, including social housing, where provided should consider meeting the needs of the local community including housing type, size and income ranges.
- G6** Specialised housing forms, such as lifestyle communities, retirement living, or aged care should:
- Respond to and integrate with adjoining development, avoiding inactive interfaces, blank facades and high fencing to the public realm;
 - Be accessible by public transport and shared path networks; and
 - Not present a barrier to movement through the surrounding road, public transport, pedestrian and active transport movement network.

Table 3 – Housing density and diversity

Amenity area	
Housing catchment area	Applies to land within 400m walkable catchments of Neighbourhood Activity Centres and Major Activity Centres, 50m walkable catchment of open space, local convenience centres, the Principal Public Transport Network and future public transport corridors (Leakes Road and Tarletons Road). Amenity area also applies to logical inclusions based on land use arrangement within the place-based plan.
Minimum density	Average of 30 dwellings or more per NDHA.
Target typologies	Typologies To support delivery of diverse housing outcomes in amenity areas, planning applications should enable opportunities to deliver a mix of different housing typologies which should include, but is not limited to: – Apartment developments – Attached multi-unit developments/townhouse developments – Semi-detached/duplex style developments (e.g. Small Lot Housing Code products) – Mixed-use 'shop-top' type development above Neighbourhood Activity Centre land
	Decision guidance – Low to mid-rise developments should be prioritised around schools, the periphery of amenity areas, and adjoining Kororoit Creek, natural wetlands and conservation areas. – Small Lot Housing Code products should be located abutting other amenity areas however the provision of higher densities (and associated housing typologies) should be safeguarded in future waves of development. – Social and affordable housing and key worker accommodation should be located around key destination hubs and close to the bus capable roads. – Medium-high density residential development of more than 30 dwellings per hectare is encouraged within and around neighbourhood activity centres and near the Rockbank North Major Activity Centre. – Subdivision applications should provide a mix of three (3) housing typologies, where possible. Fragmented parcels or smaller parcels within the precinct could consider a reduction in the provision of housing typologies.

Balance area	
Housing catchment area	Applies to land which is located outside of the nominated amenity areas
Target density	Average of 20 dwellings or more per NDHA.
Target typologies	Typologies To support delivery of diverse housing outcomes in balance areas, planning applications should enable opportunities to deliver at least two (2) different housing typologies. The mix of dwelling typologies should include, but is not limited to: – Attached townhouse development – Semi-detached/duplex style development – Detached traditional style housing – Multi-unit low-rise social and affordable housing – Retirement living – Small Lot Housing Code products (in limited cases) Decision guidance – Housing in the balance area should generally comprise detached and semi-detached typologies, however, more intensive forms of development may be provided in proximity to areas of higher amenity, or where it can be demonstrated that a positive contribution will be made to the emerging place identity.

Table 4 – Estimated affordable housing demand guidance

Affordable Housing		
% of total dwellings	12.03%	
Subsidised Market Housing		Social Housing
% of total dwellings	2.47%	9.56%

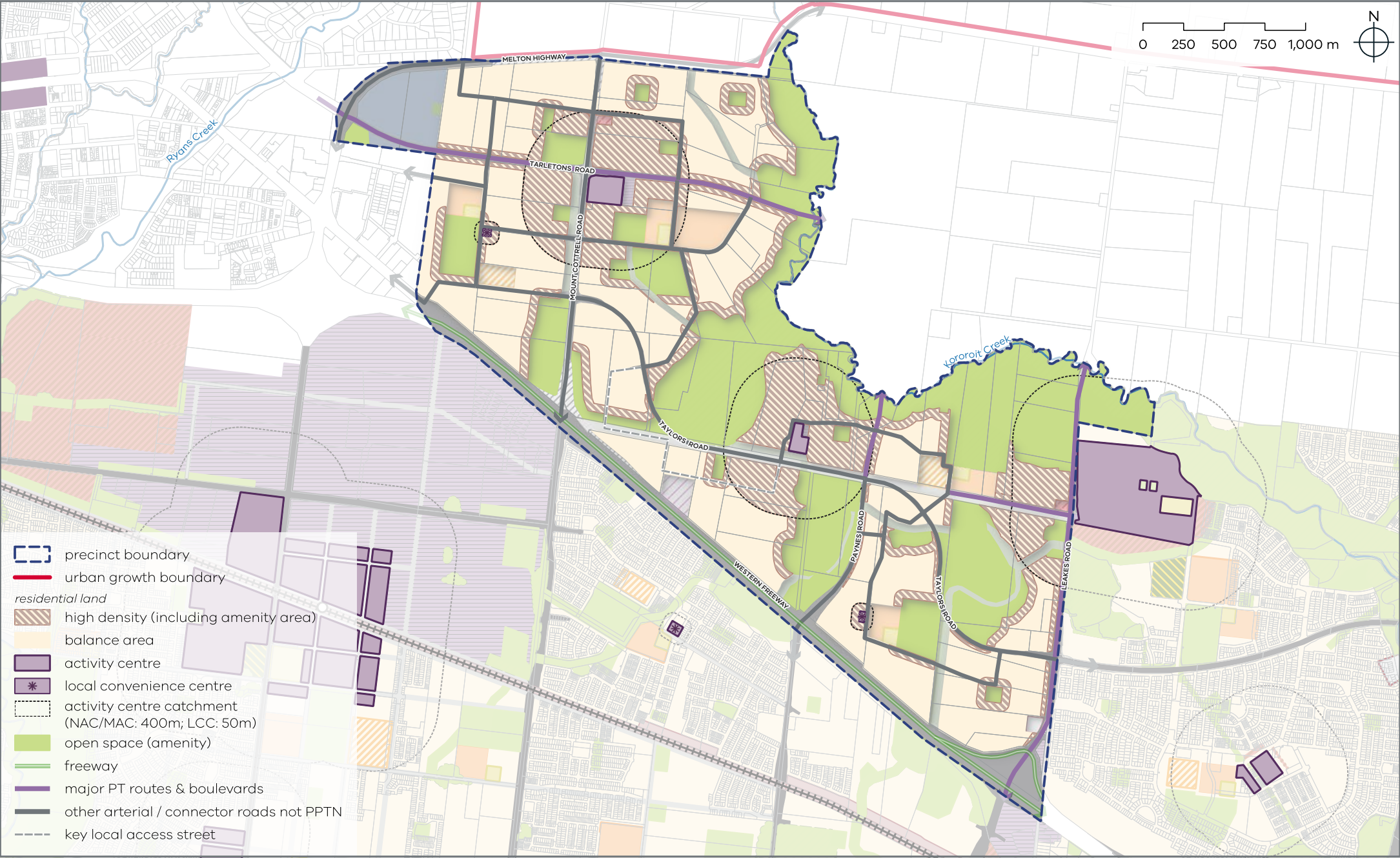
Table 5 – Dwelling yields

Housing Catchment Area	NDHA	Dwellings/NDHA	No. of Dwellings
High density (including amenity area)	182.5	30	5,476
Balance area	301.1	20	6,023
Town Centre	5.4	30	163
TOTAL	489.1	23.8	11,662
Anticipated population at 3.1 persons per dwelling			36,152

Note: Minor discrepancies in numbers due to rounding.

Plan 3 – Housing

Melton East Precinct Structure Plan



3.2 Safe, accessible and well-connected



3.2.1 Objectives – Safe, accessible and well-connected

Table 6 – Place-based objectives - Safe, accessible and well-connected

OBJECTIVES

O7	To provide a transport network that is integrated with adjoining established areas.
O8	To establish safe and accessible connections to the activity centres, community facilities, schools, open spaces and the Kororoit Creek Corridor.
O9	To deliver a safe, accessible and walkable neighbourhood and ensure the transport network is efficient for its anticipated users.
O10	To encourage and support active and public modes of transport within the precinct and reduce reliance on private vehicles.

3.2.2 Requirements and guidelines – Safe, accessible and well-connected

Table 7 – Place-based requirements and guidelines - Safe, accessible and well-connected

REQUIREMENTS

R7	Design of all subdivisions, streets and arterial roads must provide: – A permeable, direct and safe street network prioritising walking and cycling, particularly to key destinations such as schools, town centres and open space; – Safe and convenient crossing points on connector roads and local streets at all intersections and on key desire lines as well as crossing waterways; – Safe pedestrian crossings of arterial roads at all intersections, at key desire lines, and on regular intervals appropriate to the function of the road and public transport provision; – Safe and convenient transition between on and off-road bicycle networks; – Convenient access and maximised connections to regional and local destinations such as town centres and open space for effective integration with neighbouring properties, parkland and sports reserves; – Direct and convenient walking access to public transport services; – Demonstrate how any proposed dedicated shared paths will integrate and connect in a safe and convenient manner; – Passive surveillance of public open space and transport corridors; to the satisfaction of the responsible authority.
R8	All roads must be designed and constructed generally in accordance with Plan 4 , and relevant cross sections in Appendix 5 and functional layout plans, unless otherwise agreed by the relevant authority.
R9	Roads and intersections shown as bus capable on Plan 4 must be constructed to accommodate ultra-low-floor buses to the satisfaction of the responsible authority.
R10	Any changes required to the design of roads and intersections in the PSP at the time of development must be accommodated within the land identified on Appendix 2 and Plan 4 Movement Network, ensuring the ICP does not contribute to additional land as a result of detailed design.

REQUIREMENTS

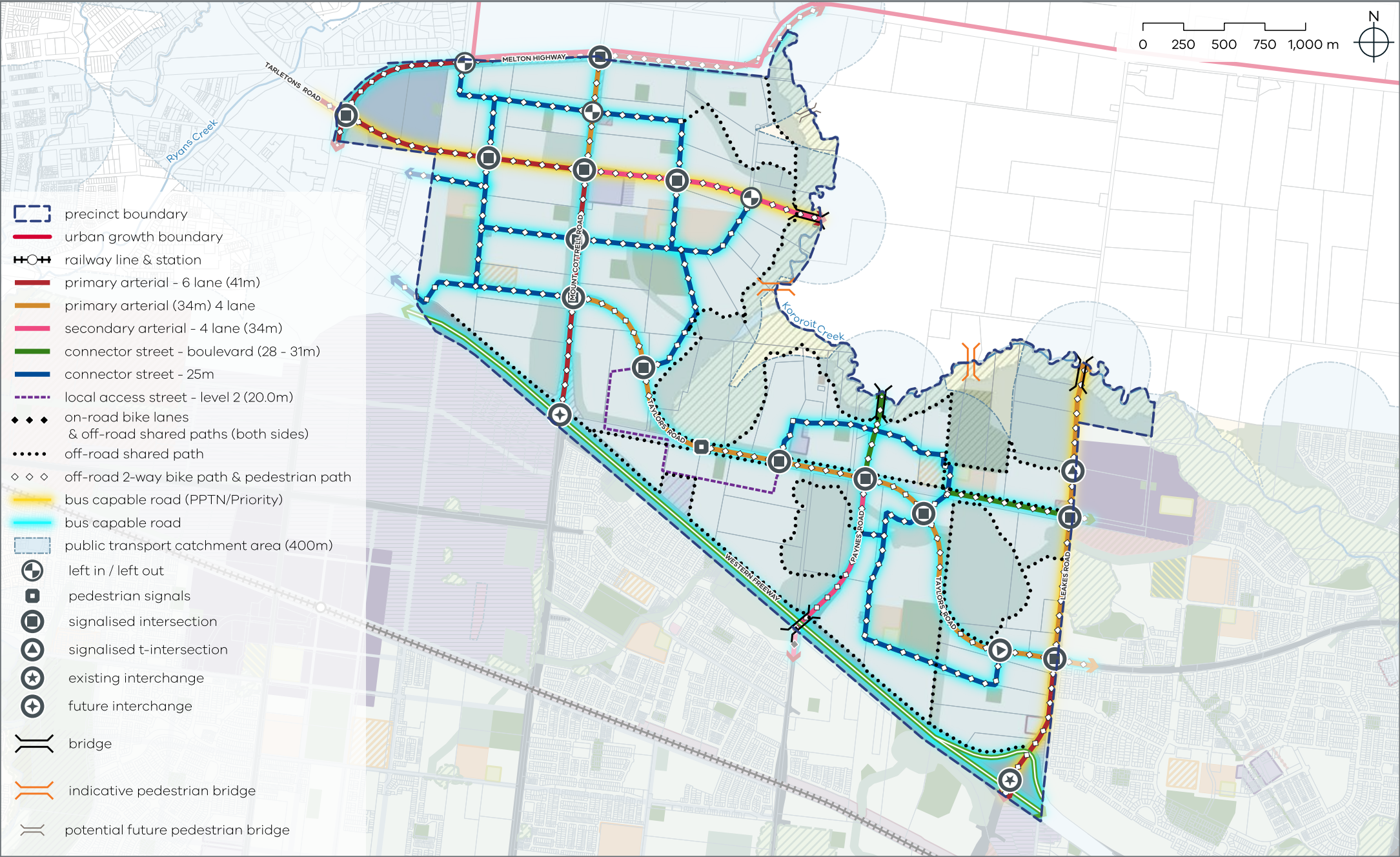
- R11** Vehicular access to lots fronting arterial roads must be from service roads, internal loop roads and/or rear laneways.
- R12** Lighting must be installed along pedestrian, cyclist and shared user paths identified in [Plan 4](#), linking to key destinations, unless otherwise agreed by the responsible authority.
- R13** Where a connector street or local access street crosses a waterway, the proponent must construct a culvert to the satisfaction of the responsible authority.
- R14** Road bridges within the precinct and to areas outside the precinct must include pedestrian and cyclist paths (and/or shared path as identified in [Plan 4](#)).
- R15** Pedestrian bridges must be designed and constructed generally in accordance with [Appendix 6](#) and have regard to appropriate flood mitigation standards to the satisfaction of the responsible authority and Melbourne Water.
- R16** Development of land identified as 'existing developed land' must not create opportunities for vehicles to access the Western Freeway from within the PSP area.

GUIDELINES

- G7** A variety of cross sections should be used in subdivision layouts for connector road and local streets, to create differentiation, sense of place and neighbourhood character.
- Alternative cross sections for connector road and local streets should ensure that:
- Relevant minimum road reserve widths for the type of street are maintained;
 - Sufficient provision is made for street tree planting to achieve 30% canopy tree coverage in the public realm (excluding areas dedicated to biodiversity, native vegetation, conservation and drainage assets);
 - The performance characteristics of standard cross sections are maintained, including provision for pedestrian and cycle use;
- to the satisfaction of the Responsible Authority.
- G8** Alternative cross sections may be considered for arterial roads where supported by a movement and place assessment, to the satisfaction of the relevant road authority and the responsible authority.
- G9** Alternative footpath or shared path approaches may be used where they enhance walkability and permeability and respond to the purpose of the place and character of the urban form to the satisfaction of the responsible authority.
- G10** Slip lanes should be avoided in areas of high pedestrian activity (including schools and Neighbourhood Activity Centres) and only be provided at intersections between connector streets and arterial roads where they are necessitated by high traffic volumes with pedestrian priority crossings.
- G11** Design and delivery of connector roads should avoid disruptions to the active transport network and ensure the consistent placement of street trees through:
- Use of rear loaded lots with laneway access;
 - Provision of vehicle access from side streets;
 - Minimising driveway crossovers; and
 - Any other design measures as appropriate.
- G12** Laneway design and layout should:
- Provide clear sightlines into, along and through the laneway;
 - Be permeable and activated with opportunities for passive surveillance;
 - For laneways longer than 70 metres in length or L or T style arrangements, ensure passive surveillance is provided to the laneway via direct line of site from a habitable room on an adjoining rear loaded dwelling; and
 - Provide mid-block pedestrian links in laneways that are longer than 80 metres.
- G13** Pedestrian and cyclist crossings should be provided generally in accordance with those indicated in [Plan 4](#).
- Additional pedestrian and cyclist crossings should be provided every 800m where appropriate, along arterial roads, waterways, and any other accessibility barriers.

Plan 4 – Movement Network

Melton East Precinct Structure Plan





3.3 Connect people to jobs and higher order services

3.3.1 Objectives – Connect people to jobs and higher order services

Table 8 – Place-based objectives - Connect people to jobs and high order services

OBJECTIVES

- | | |
|-----|---|
| O11 | To provide a small mixture of industry and business that reduce the need for local workers to travel out of the region for employment. |
| O12 | To ensure the structure of employment land is well-integrated with the surrounding environment and the location, scale and intensity of commercial and industrial activity is compatible with adjoining land uses. |
| O13 | To facilitate investment in a local and regional economy within a network of highly accessible activity and employment centres. |
| O14 | To facilitate a public transport network that supports access to high intensity uses and higher order services with connectivity to destinations such as the Cobblebank Train Station, Rockbank Train Station, Melton Train Station and future Paynes Road Train Station. |
| O15 | To provide access to jobs and services along active transport and public transport routes. |

3.3.2 Requirements and guidelines – Connect people to jobs and higher order services

Table 9 – Place-based requirements and guidelines - Connect people to jobs and high order services

REQUIREMENTS

- | | |
|-----|---|
| R17 | Subdivision and development involving the delivery of employment land must contribute to: <ul style="list-style-type: none">– A form, scale and intensity of land use and activity that is compatible with adjacent land uses.– Adaptable and changing uses, regeneration, and intensification initiatives– A range of lot sizes to cater to a diverse mix of businesses |
| R18 | Applications for subdivision, use and buildings or works of any land wholly or partly located in the local town centre shown on Plan 5 , must: <ul style="list-style-type: none">– Contribute to a design response generally in accordance with Appendix 3; and– Where appropriate, demonstrate how the use contributes to delivering local jobs anticipated in Table 10. Anticipated employment generation table. |
| R19 | Safe and easy access for pedestrian and cycle trips must be provided to the activity centres through the layout and design of the surrounding street and path network and any adjacent at grade car parking. |
| R20 | Bus stops must be provided which enable convenient pedestrian access to Neighbourhood Activity Centres, Local Convenience Centres, schools, community facilities, active open space reserves and the light industrial precinct to the satisfaction of the Head, Transport for Victoria. |

GUIDELINES

- G14** Subdivision and development of employment land should:
- Provide a transition in scale and intensity between employment-oriented areas and sensitive land use areas (e.g. residential);
 - Deliver a high-quality, high amenity setting attractive to businesses and workers;
 - Provide car parking efficiently through the use of shared and consolidated parking areas, including multi-level parking;
 - Locate car parking and loading facilities to the side or rear of any buildings. Any visitor car parking and access areas in the front setback area should be set back a minimum of 3 metres from any local street frontage to enable provision of sufficient landscape strips at the street frontage; and
 - Ensure any large expanses of continuous wall visible to the street have appropriate articulation and other elements to provide relief and visual interest.

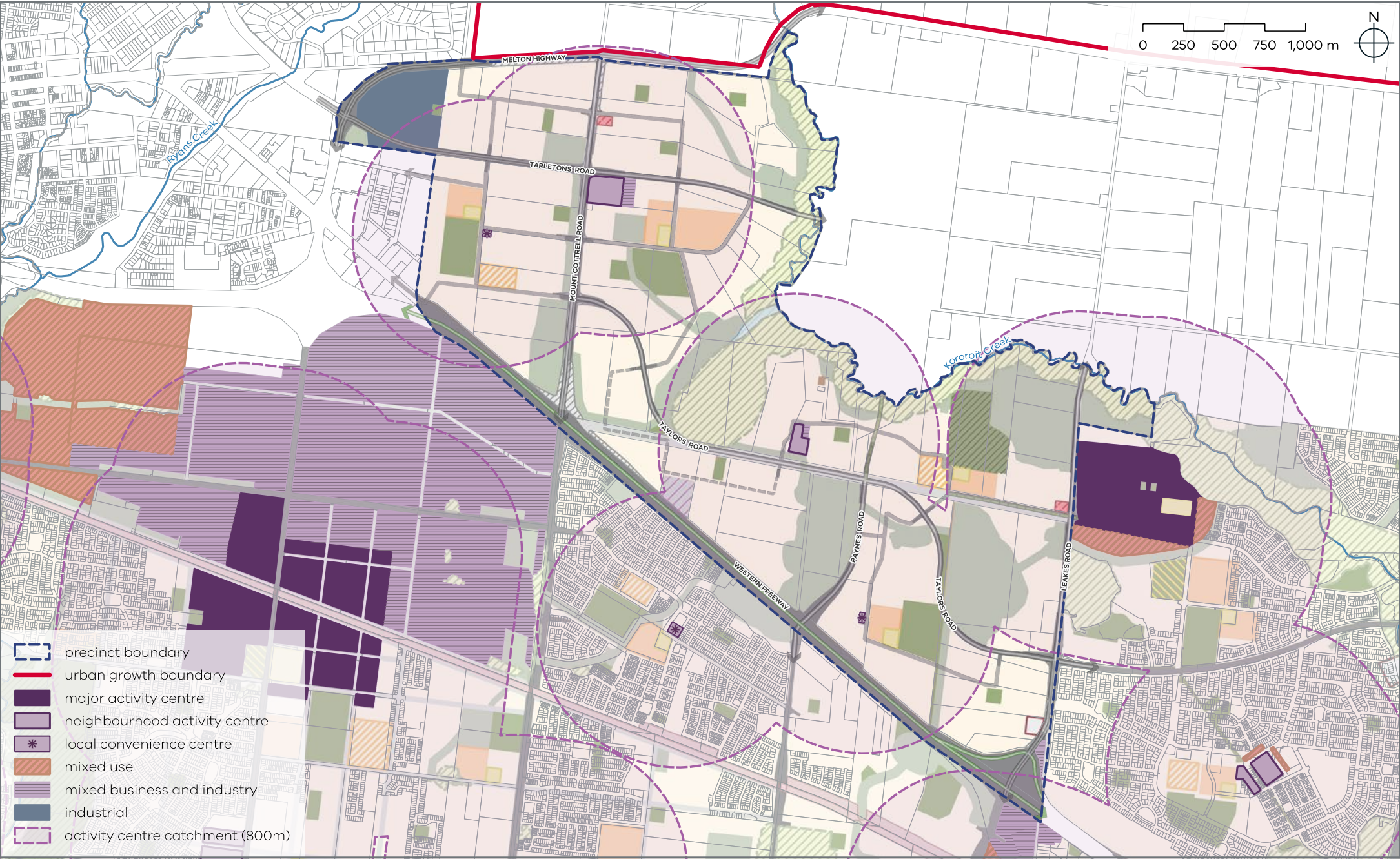
- G15** Development should aim to provide 75% of the development's total site area with a combination of the following elements to reduce the impact of the urban heat island effect:
- Green infrastructure.
 - Roof and shading structures with cooling colours and finishes that have a solar reflective index (SRI) of:
 - For roofing with less than 15 degrees pitch, an SRI of at least 80.
 - For roofing with a pitch greater than 15 degrees, an SRI of at least 40.
 - A 40% tree canopy target (including in major hardstand areas such as carparks and plazas).

Table 10 – Anticipated employment generation table

Land Use	Area (ha)	Estimated jobs
<i>Neighbourhood Activity Centres</i>	5.05	700-820
<i>Local Convenience Centres</i>	0.40	41-53
<i>Small Local Enterprise Precincts</i>	1.55	70-100
<i>Light Industrial</i>	19.16	700-750
Total		1,600 jobs (approx.)

Plan 5 – Employment and Activity Centres

Melton East Precinct Structure Plan



3.4 High quality public realm



3.4.1 Objectives – High quality public realm

Table 11 – Place-based objectives - High quality public realm

OBJECTIVES

- | | |
|-----|--|
| O16 | To contribute to the protection, enhancement and integration of areas of Kororoit Creek, waterways, wetlands, cultural heritage and living cultural values throughout the precinct. |
| O17 | To provide a range of open space and recreation opportunities that meet the needs of the community. |
| O18 | To facilitate the development of streetscapes, local parks, sports reserves, and recreational facilities that are safe, functional and enjoyable. |
| O19 | To ensure the long-term conservation of significant flora and fauna species through habitat protection, maintenance of passages for fauna, management of hydrological flows and minimisation of utility corridors within the BCS conservation areas. |
| O20 | To ensure development recognises and incorporates post contact heritage features in a way that contributes to neighbourhood character and place-based character. |
| O21 | To create a sustainable urban landscape that encourages climate change adaptation and enhances existing biodiversity and landscape values within the precinct. |
| O22 | To develop sustainable water, drainage and wastewater systems that protect, conserve, and improve biodiversity, waterways and other natural resource and maintain or enhance the safety, health and wellbeing of people and property. |
| O23 | To ensure the layout of lots, streets, open spaces, and the public realm encourage the retention and establishment of canopy tree cover to support cooler and greener neighbourhoods. |
| O24 | To improve resilience of the built environment to climate change related hazards and natural disasters. |
| O25 | To optimise the amount of land required for flood and stormwater management. |
| O26 | To ensure stormwater is managed for flood protection factoring in climate change and water quality treatment. |

3.4.2 Requirements and guidelines - High quality public realm

Table 12 – Place-based requirements and guidelines – High quality public realm

REQUIREMENTS

Public realm, open space and biodiversity requirements	
R21	Canopy tree coverage within the public realm must achieve a minimum of 30% coverage (excluding areas dedicated to biodiversity, native vegetation conservation, and drainage assets).
R22	Street trees must be planted on both sides of all roads and streets (excluding laneways and direct BCS interfaces) at regular intervals appropriate to tree size at maturity, in accordance with the relevant Melton City Council landscaping policy unless otherwise agreed by the responsible authority.
R23	A landscape plan must specify tree species which are suitable to the local climate and soil conditions in accordance with the <i>Melton City Council Plant List</i> or other relevant landscaping and street tree policy, to the satisfaction of the responsible authority. Appropriate native species must be used along/in waterways and drainage reserves to the satisfaction of Melbourne Water and the responsible authority.
R24	Conservation areas identified in Plan 6 must be retained in accordance with this plan, the Biodiversity Conservation Strategy (BCS) and relevant Commonwealth and State government legislation and policies.
R25	No development or works may occur within a BCS conservation area without the prior written consent of the Department of Energy, Environment and Climate Action (DEECA).
R26	Development within the Biodiversity Conservation Strategy conservation area must be in accordance with Appendix 6 , unless otherwise agreed to by the DEECA and the responsible authority.
R27	Waterway crossings within the BCS conservation area must be designed and constructed in accordance with Growling Grass Frog Crossing Design Standards to the satisfaction of the DEECA, Melbourne Water and the responsible authority.
R28	Public paths or other infrastructure located within a BCS conservation area must be designed to avoid and minimise disturbance to native vegetation and habitat for matters of national and state environmental significance and be located in accordance with Appendix 6 to the satisfaction of the DEECA, Melbourne Water and the responsible authority.
R29	Where local parks and recreation areas are located adjacent to BCS conservation areas they must be designed and managed to complement the BCS, as required by section 5 of the BCS and be in accordance with Appendix 6 .
R30	Public lighting must be designed and baffled to prevent light spill and glare within and adjacent to the BCS conservation area, unless otherwise agreed by the DEECA and responsible authority.
R31	Streets abutting a BCS conservation area must provide for the outcomes illustrated in Appendix 6 .
R32	The retention, enhancement and integration of the natural environment, landscape features and places of Aboriginal cultural values must be considered through subdivision design, and, where applicable, building and landscape design. Where possible, harm should be avoided and/or minimised to any identified Aboriginal cultural heritage values.
R33	Land designated for local parks must be finished and maintained to a suitable standard, prior to the transfer of land, to the satisfaction of the responsible authority.

REQUIREMENTS

Drainage, waterways and integrated water management requirements

R34 Drainage assets and waterways are to be designed generally in accordance with [Plan 7](#) or as approved by Melbourne Water and the relevant Melbourne Water Development Services Scheme.

Drainage assets and waterways must be designed to:

- Provide safe drainage and flood protection;
- Minimise land take for flood and stormwater management, where possible;
- Integrate environmental, cultural and social amenity values;
- Provide an open drainage system;

to the satisfaction of Melbourne Water and the responsible authority.

Melbourne Water and the responsible authority will consider alternative drainage solutions for waterways and Development Services Scheme assets where it can be demonstrated to the satisfaction of Melbourne Water and the responsible authority that the design can be optimised to ensure economic viability (land, cost and infrastructure) so that the associated land take can be reduced.

R35 Stormwater conveyance and treatment must be designed in accordance with the relevant Development Services Scheme or Development Services Strategy, and [Plan 7](#), such that:

- Overland flow paths and piping within road reserves will be connected and integrated across property/ parcel boundaries;
- Melbourne Water and the responsible authority freeboard requirements for overland flow paths will be adequately contained within the road reserves and waterways;
- The risk of erosion of sodic and/or dispersive soils is avoided or mitigated;

to the satisfaction of Melbourne Water and the responsible authority.

R36 The final layout, boundaries and design of constructed wetlands, constructed waterways, pipes, retarding basins, stormwater treatment infrastructure, and associated paths, boardwalks, bridges, and planting, must:

- Include appropriate treatments to provide protection for dispersive soils where these are present;
- Be designed to mitigate the risk of erosion from sodic and dispersive soils;

to the satisfaction of Melbourne Water and the responsible authority.

R37 Drainage from stormwater treatment infrastructure must be designed to have no net impact on habitat for Matters of State and National Environmental Significance within BCS conservation areas to the satisfaction of the DEECA.

R38 Stormwater infrastructure within or adjacent to the BCS conservation area or retained wetlands (pre-European) must be designed to use treated stormwater to achieve the hydrological requirements of retained wetlands (pre-European) and Growling Grass Frog habitat wetlands, unless with the written approval of the DEECA, Melbourne Water and the responsible authority.

R39 Design of open space within waterway corridors, utilities easements and any other encumbered open space must:

- Be consistent with the functional requirements of the area;
- Enhance the amenity value of the open space;
- Facilitate flexible recreational opportunities; and
- Minimise operational maintenance of the areas to the extent practicable.

R40 Stormwater Management Plans must:

- Demonstrate consistency with [Plan 7](#);
- Achieve the objectives of the *Best Practice Environment Management Guidelines* (CSIRO, 1999);
- Demonstrate that associated works avoid the risk of environmental damage under the General Environmental Duty (GED) and Environmental Protection Authority (EPA) publication 1739.1;

to the satisfaction of the responsible authority.

REQUIREMENTS

- R41 Integrated Water Management Plans must demonstrate how outcomes in the following strategies can be achieved:
- Outcomes identified in the *DEECA Western Port Strategic Directions Statement* (September 2018) and *Werribee IWM Catchment Scale Plan* (September 2022);
 - Outcomes identified in the *Melton East IWM Assessment* (Alluvium, May 2023);
 - Stormwater volume reduction and infiltration targets in Melbourne Water's *Healthy Waterway Strategy* (2018), which are applicable to the PSP;
 - Potable water reduction targets outlined in the draft Greater Melbourne Urban Water and System Strategy: Water for Life, which are applicable to the PSP;
 - Waterways and integrated water management outcomes which enable land to be used for multiple recreation and environmental purposes;
 - Stormwater risk management under the general environmental duty;
 - Delivery of infrastructure for the Regional Stormwater Harvesting Scheme; and
 - Delivery of applicable Melbourne Water approved development services scheme(s)

- R42 Landscape plans must demonstrate how integrated water management and water sensitive design outcomes will be implemented to the satisfaction of the responsible authority.

- R43 The risk of erosion of sodic and/or dispersive soils must be avoided or mitigated. Potential management methods may include but are not limited to:
- Widening the buffer distances between the core riparian zone and the outside vegetated buffers that allows sufficient tolerances for channel migration;
 - Diversion of water away from sodic and/or dispersive materials;
 - Minimising potential convergence and/or ponding of surface flows;
 - Compacting to reduce pore spaces and minimise water movement through material;
 - Physical and chemical soil ameliorants;
 - Maintenance of topsoil across undisturbed land, preferably with grasses to provide surface soil stability and root anchorage;
 - Minimising the amount of time land is exposed (e.g., by staging development); and
 - Ensuring that culverts and drains excavated into dispersive subsoils are capped with non-dispersive topsoil, gypsum stabilised and vegetated.

Post-contact heritage requirements

- R44 Any subdivision and/or development of land adjoining a heritage site identified under the Heritage Overlay in the Melton Planning Scheme and/or of post-contact cultural heritage significance must have regard to the heritage significance of the site and provide a sensitive interface.

- R45 Heritage Overlay HO205 (Selection Wall) must be retained unless otherwise agreed by the responsible authority. HO205 (Selection Wall) must:
- Be situated within public open space or road reserve to the satisfaction of the responsible authority;
 - Provide suitable landscaping along land abutting the 5-metre curtilage either side of HO205 (Selection Wall) in accordance with the relevant cross section provided in [Appendix 10](#);
 - Be checked and repaired by a suitably qualified dry stone waller for any loose stones. Any loose stones are to be reinstated in the wall in secure positions;
 - Retain post and wire or post and rail fences situated within the walls, with any wire protruding beyond the vertical face of the wall reinstated to its original position or removed;
 - Be incorporated into subdivision design to minimise disturbance to the walls (e.g. utilisation of existing openings for vehicle and pedestrian access). Modifications to the Drystone Wall are permissible if the need to modify the wall can be demonstrated as essential to the delivery of key components of the PSP including roads, services and constructed waterways;

to the satisfaction of the responsible authority.

REQUIREMENTS

R46 Installation of services across the alignment of retained HO205 (Selection Wall) must be undertaken by boring rather than open trenching. If open trenching or disturbance to the wall is unavoidable, a minimum section of wall may be temporarily removed and then reinstated to original condition under the supervision of a suitably qualified dry stone waller, to the satisfaction of the responsible authority.

R47 Reinstatement of walls must use stone from (in order of priority):

- The original wall in that location (including fallen stone adjacent to the wall);
- A nearby section of the wall approved to be removed;
- Any adjacent paddock containing wall parts which can be recovered; or
- Walls approved to be removed in the nearby area (including any stone which has been stockpiled by Melton City Council).

Any reinstatement or repair of walls must be undertaken by a suitably qualified dry stone waller and is to be consistent with the construction style of the original wall.

R48 A Dry Stone Wall Management Plan must be prepared prior to any works being undertaken that could impact the Selection Wall to the satisfaction of the responsible authority.

R49 Any heritage site/reserve or conservation area to be vested in the relevant authority must be done so in a standard that satisfies the requirements of that authority. Works required prior to the transfer include, but may not be limited to:

- Clearing of rubbish, weeds and contaminated soils
- Essential repairs to and stabilisation of any structures
- Any fencing required to ensure the safety of the public

Any works carried out must be consistent with any relevant Cultural Heritage Management Plan and Conservation Management Plan.

Bushfire requirements

R50 The vegetation within the bushfire hazard areas shown on [Plan 9](#) (other than land vested in or under the control or management of a municipal council and public authority), must be managed to a level that ensures it does not result in an AS 3959 vegetation class that would require a greater 'separation distance' than that specified in [Plan 9](#), unless otherwise agreed to in writing by the fire authority and responsible authority.

R51 Development adjoining bushfire hazards shown on [Plan 9](#) must be set back in accordance with the applicable setback identified in [Plan 9](#) unless the bushfire hazard has been removed to the satisfaction of the responsible authority.

A lesser setback may be considered subject to a site-specific assessment of bushfire risk, vegetation classifications and setbacks to the satisfaction of the responsible authority and relevant fire authority, and where the bushfire hazard area is drainage and waterway land, to the satisfaction of Melbourne Water.

GUIDELINES

Public realm, open space and biodiversity guidelines

G16 Canopy trees should have an average canopy foliage of 6.4m in diameter at maturity in summer or as specified in relevant Melton City Council landscaping and tree policies. Where this cannot be achieved because of local climate and soil conditions, a suitable species should be selected which closest achieves this canopy cover, to the satisfaction of the responsible authority. The requirement for a minimum 30% canopy tree coverage within the public realm must still be met.

G17 The design of subdivision and development should facilitate the retention of existing canopy trees to contribute to the 30% canopy tree cover target where practical.

G18 The design and layout of roads, road reserves, and public open space should optimise water use efficiency and long-term viability of vegetation, tree canopy and public uses to contribute to a sustainable and green urban environment. This should be achieved using overland flow paths, passive watering, and Water Sensitive Urban Design.

GUIDELINES

- G19** Alternative locations and configurations for local parks shown on [Plan 6](#), may be considered subject to:
- Open space being retained within the same landownership, unless otherwise agreed with the affected landowners;
 - Not diminishing the quality or usability of the space;
 - Not adversely affecting walkable accessibility of the network;
 - Not adversely affecting the overall diversity of the precinct's open space network;
- to the satisfaction or the responsible authority.
- G20** Crime Prevention Through Environmental Design (CPTED) principles, and in particular the provision of positive address and good passive surveillance from adjoining development, should guide the design of open spaces and associated infrastructure.

Drainage, waterways and integrated water management

- G21** The layout and design of the waterways, wetlands and retarding basins (including the design of paths, bridges and boardwalks and the stormwater drainage system) connecting to the Kororoit Creek should provide biodiversity connectivity and natural systems habitat integration to the satisfaction of the responsible authority, Melbourne Water and the DEECA.
- G22** Development should include IWM initiatives to reduce reliance on potable water and increase the utilisation of storm and recycled water contributing to a sustainable urban environment by having regard to relevant water management policies and strategies implemented by the responsible authority.
- Integrated water management systems should be designed to:
- Maximise habitat values for local flora and fauna species;
 - Enable future harvesting and/or treatment and re-use of stormwater;
 - Protect and manage Matters of National Environmental Significance values, particularly within conservation areas, in relation to water quality and suitable hydrological regimes (both surface and groundwater);
 - Enable any potential supply of treated stormwater for existing and future GGF wetlands and pre-European wetlands to be gravity fed; and
 - Recognise and respond to Aboriginal cultural heritage significance.
- G23** Drainage assets should be designed in accordance with Melbourne Water's drainage assets guidelines including:
- MUSIC and Wetland Design Guideline
 - Retarding Basin Design Assessment Guideline
 - Constructed Waterway Design Manual
 - Waterway Corridors
 - Rain Garden Guideline
- G24** Drainage assets and public open space areas should be located adjacent to conservation areas and waterways to provide a buffer to development where appropriate to the satisfaction of the responsible authority.
- G25** Drainage asset maintenance and access requirements should be in accordance with relevant Melbourne Water Asset Guidelines.

GUIDELINES

- G26** Applications should consider a range of IWM options as indicated in [Plan 7](#). Other potential IWM options may include but are not limited to:
- Rainwater tanks on all industrial, commercial, and residential lots;
 - Passive irrigation of trees in the public realm, including all streets and public open space;
 - Recycled water network to supply open space irrigation;
 - Local stormwater harvesting systems to service the watering needs of future open spaces;
 - Regional scale rainwater tanks collecting roof water from all industrial, commercial, and residential lots to be reticulated back within the precinct;
 - Supplying stormwater of the right quality to existing and future Growling Grass Frog wetlands and pre-European wetlands;
 - Use of Melbourne Water stormwater management assets to provide green corridors and community amenity;
 - Identify design to maximise opportunities for infiltration;
 - Regional scale stormwater harvesting systems to service the watering needs of the precinct and beyond, and to protect the local waterways from excess urban runoff.

- G27** Subdivision should provide for a local street separating development from development services scheme assets, waterways, sporting reserves, utility easements and local parks. Where subdivision does not propose a local street separating development, design and layout options should demonstrate:

- Lots directly fronting open space and landscape value areas should be set back at least 4.5 metres;
- Lots directly fronting open space should allow for vehicular access via a rear laneway;
- A 4 metre wide access way should be provided as the primary point of access from a footpath or shared path with a minimum width of 1.5 metres along the lot frontage;
- Subdivision design should avoid side or rear fence treatments fronting open space and development services scheme assets;
- Subdivision design should maximise opportunities for informal passive surveillance;
- Subdivision design should not limit the use of adjacent open space;

to the satisfaction of the responsible authority, and where in relation to DSS assets and waterways, Melbourne Water.

- G28** If RB-01 is not required to be delivered and it can be demonstrated to the satisfaction of Melbourne Water that an alternative outfall outside the PSP area is available to service PSP Parcel 3, then any alternative stormwater asset must be provided in its ultimate form at the same time as the subdivision, commencement of works or commencement of use of PSP Parcel 3 (whichever occurs first) and all necessary approvals must be obtained prior to development occurring.

Post-contact heritage guidelines

- G29** Adaptive reuse of the Former Fulham Park (HO135), Water Reserve Road House (HO119) and the Nissen Hut (HO207) may be appropriate if it is demonstrated that it will contribute to the long term conservation of these heritage places.

- G30** Surplus land within the existing Beattys Road reserve that is not required to deliver the relevant road typology identified in [Plan 4](#) may be utilised for the following purposes:
- Residential development (i.e. through a road closure) subject to approval from the relevant road authority;
 - An internal loop road of a subdivision;
 - Drainage infrastructure, subject to agreement by the responsible authority and Melbourne Water;
 - Any other purpose agreed between the permit applicant and the responsible authority.

- G31** Subdivision and development involving the Beattys Road Reserve should include opportunities for interpretation of local history and cultural heritage values.

- G32** Any work or development related to the Selection Wall should have regard to guidance included within the *Dry Stone Wall Management Plan Guide*, VPA.

GUIDELINES

- G33** Land uses abutting the Selection Wall should enhance public visibility of the wall. Relevant uses include open space, conservation reserve, road verge or drainage reserve.

Aboriginal cultural heritage guidelines

- G34** Where a Cultural Heritage Management Plan is required and includes provision for the ongoing preservation, restoration, management and maintenance of waterways and water landscapes as part of the CHMP activity description, any such ongoing management and maintenance requirements should be considered for inclusion as an appropriately worded condition on a relevant planning permit.

- G35** A voluntary Cultural Heritage Management Plan can be undertaken in the following locations if a 'high impact activity is undertaken', as defined in Division 5 of the Aboriginal Heritage Regulations 2018:

- Land identified as a potential rise area on [Plan 10](#);
- Land identified as rock outcrops/exposed rock on [Plan 10](#);
- Land identified as moderate, moderate-high and high predicted archaeological sensitivity in [Plan 11](#).

- G36** Development should recognise and respond to Aboriginal Cultural Heritage significance through:

- Protection of River Red Gums and remnant endemic vegetation within waterways and water landscapes and drainage areas shown on [Plan 10](#);
- Protection and incorporation of view lines shown on [Plan 10](#);
- Incorporation of natural landscape features into the open space network such as potential rise areas, rock outcrops and waterways and water landscapes shown on [Plan 10](#);
- Incorporation of interpretative signage at significant locations in development in consultation with the Wurundjeri Woi-wurrung Cultural Heritage Aboriginal Corporation;
- Use of Wurundjeri Woi-wurrung place names in consultation with the Wurundjeri Woi-wurrung Cultural Heritage Aboriginal Corporation;
- Adopting harm avoidance and/or minimisation to Aboriginal cultural heritage values where possible by relocating or redesigning development.

Building guidelines

- G37** Development should minimise levels of embodied carbon within construction materials by favouring the use of locally sourced materials with high recycled content and low embodied carbon, and by maximising resource recovery and recycling during construction stages.

Table 13 – Open space delivery

Park ID	Type	Local Attributes	Area (ha)	Responsibility
Active open space				
SR-01	Credited Open Space	Local Sports Reserve	8.00	Melton Council
SR-02	Credited Open Space	Local Sports Reserve	8.00	Melton Council
SR-03A	Regional Open Space	State Metropolitan Park	10.95	Melton Council
SR-03B	Regional Open Space (encumbered)	State Metropolitan Park	4.05	Melton Council
SR-04	Credited Open Space	Local Sports Reserve	8.00	Melton Council
LP-01	Local Open Space	Local Park	0.50	Melton Council
LP-02	Local Open Space	Local Park	1.00	Melton Council
LP-03	Local Open Space	Local Park	1.00	Melton Council
LP-04	Local Open Space	Local Park	1.00	Melton Council
LP-05	Local Open Space	Local Park	1.00	Melton Council
LP-06	Local Open Space	Local Park	1.00	Melton Council
LP-07	Local Open Space	Local Park	1.40	Melton Council
LP-08	Local Open Space	Local Park	0.30	Melton Council
LP-09	Local Open Space	Local Park	1.00	Melton Council
LP-10	Local Open Space	Local Park	1.00	Melton Council
LP-11	Local Open Space	Local Park	0.80	Melton Council
LP-12	Local Open Space	Local Park	1.00	Melton Council

Table 14 – Water infrastructure

Asset ID	Asset type	Area (ha)	Responsibility
Drainage Scheme			
RB-01*	Drainage	1.40	Melbourne Water
RB-02	Drainage	4.69	Melbourne Water
RB-03	Drainage	4.41	Melbourne Water
RB-04	Drainage	3.53	Melbourne Water
RB-05	Drainage	11.19	Melbourne Water
RB-06	Drainage	11.45	Melbourne Water
RB-07	Drainage	6.23	Melbourne Water
RB-08	Drainage	2.11	Melbourne Water
RB-09	Drainage	2.30	Melbourne Water
RB-10	Drainage	0.34	Melbourne Water
RB-11	Drainage	0.53	Melbourne Water
RB-12	Drainage	2.95	Melbourne Water
RB-13	Drainage	4.18	Melbourne Water
RB-14	Drainage	1.28	Melbourne Water
RB-15	Drainage	0.46	Melbourne Water

***Note:** RB-01 on Parcel 3 is not within the Development Services Scheme.

Figure 2 — Integrated water management strategic outcomes

IWM opportunities identified for Melton East PSP can contribute to the seven strategic outcomes in the Werribee IWM Forum Strategic Directions Statement (see below).

The PSP cannot compel specific IWM solutions, rather setting the forward direction and investigation for key stakeholders including Council, Greater Western Water, Melbourne Water and the DEECA to determine implementation, operation and maintenance requirements. Relevant key stakeholders are provided in brackets below.



Safe, secure & affordable supplies in an uncertain future

- Rainwater tanks to be considered for all lots (responsible authority)



Effective & affordable wastewater systems

- Recycled water for open space irrigation (Greater Western Water)



Opportunities are optimised to manage existing and future flood risks and impacts

- Redirect flows from constructed wetlands and catchments to the west (Melbourne Water)
- Implement the Melbourne Water Development Services Scheme (Melbourne Water)



Healthy and valued waterways and marine environments

- Plan waterway corridors to retain or improve connectivity for Growling Grass Frog, minimising impacts of crossings (Melbourne Water)
- Secure suitable water sources to supply the hydrological requirements of retained wetlands (pre-European) and future GGF habitat wetlands (Melbourne Water)
- Alternative water sources to supply future GGF habitat along Kororoit Creek (Melbourne Water)



Valued landscapes for health and wellbeing

- Include and integrate shade ways across the PSP (responsible authority)
- Passive irrigation of street trees (responsible authority)



Strengthened community knowledge and local values reflected in place-based planning

- Incorporate indigenous cultural heritage (through wetlands and waterways) (WWCHAC, Melbourne Water, responsible authority and the DEECA)
- Maximise multiple benefits (community and ecological) at western and eastern depressions (Melbourne Water, responsible authority)

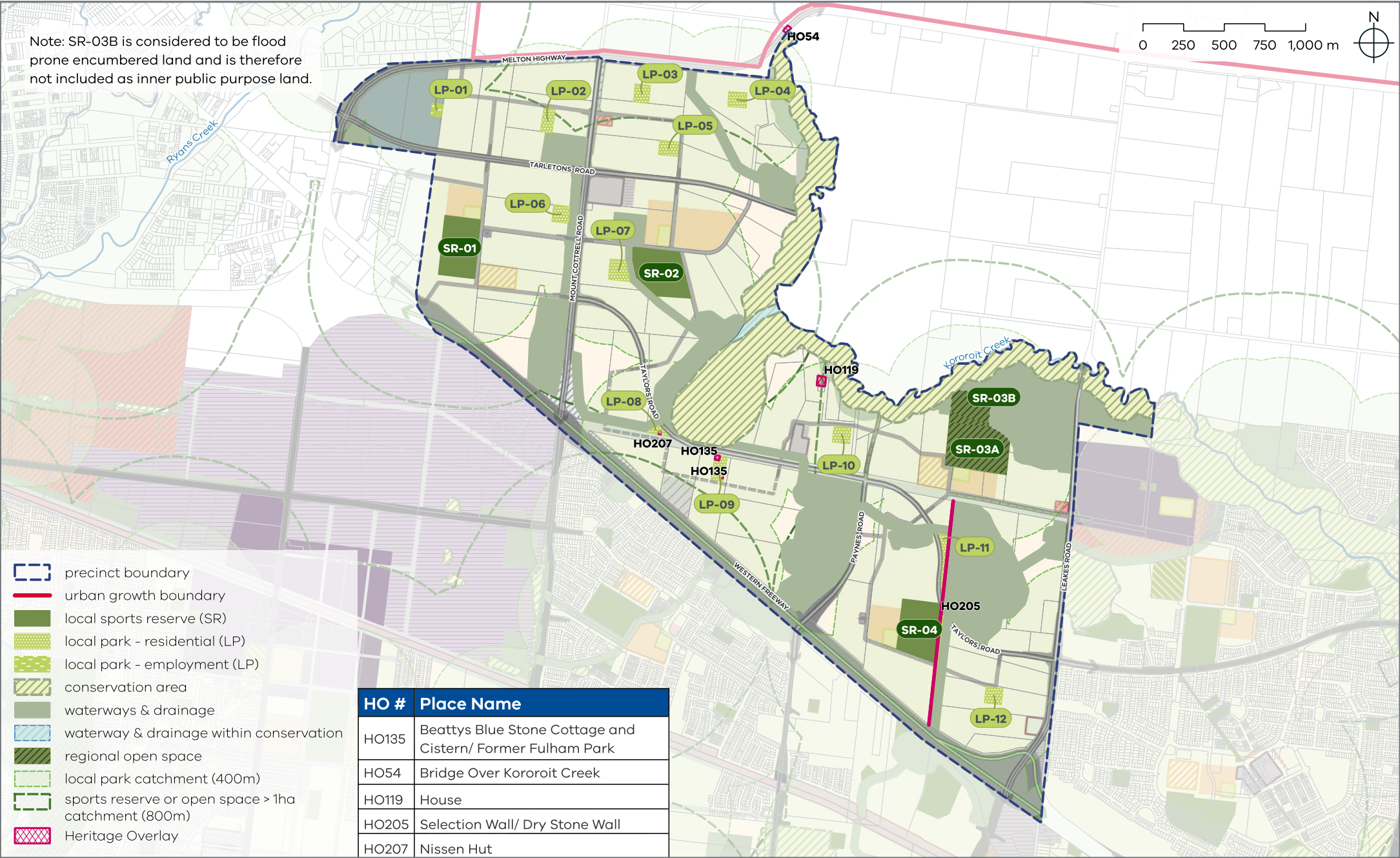


Jobs, economic benefit, and innovation

- Pilot project for centralised/communal rainwater collection for local use (Greater Western Water, responsible authority)

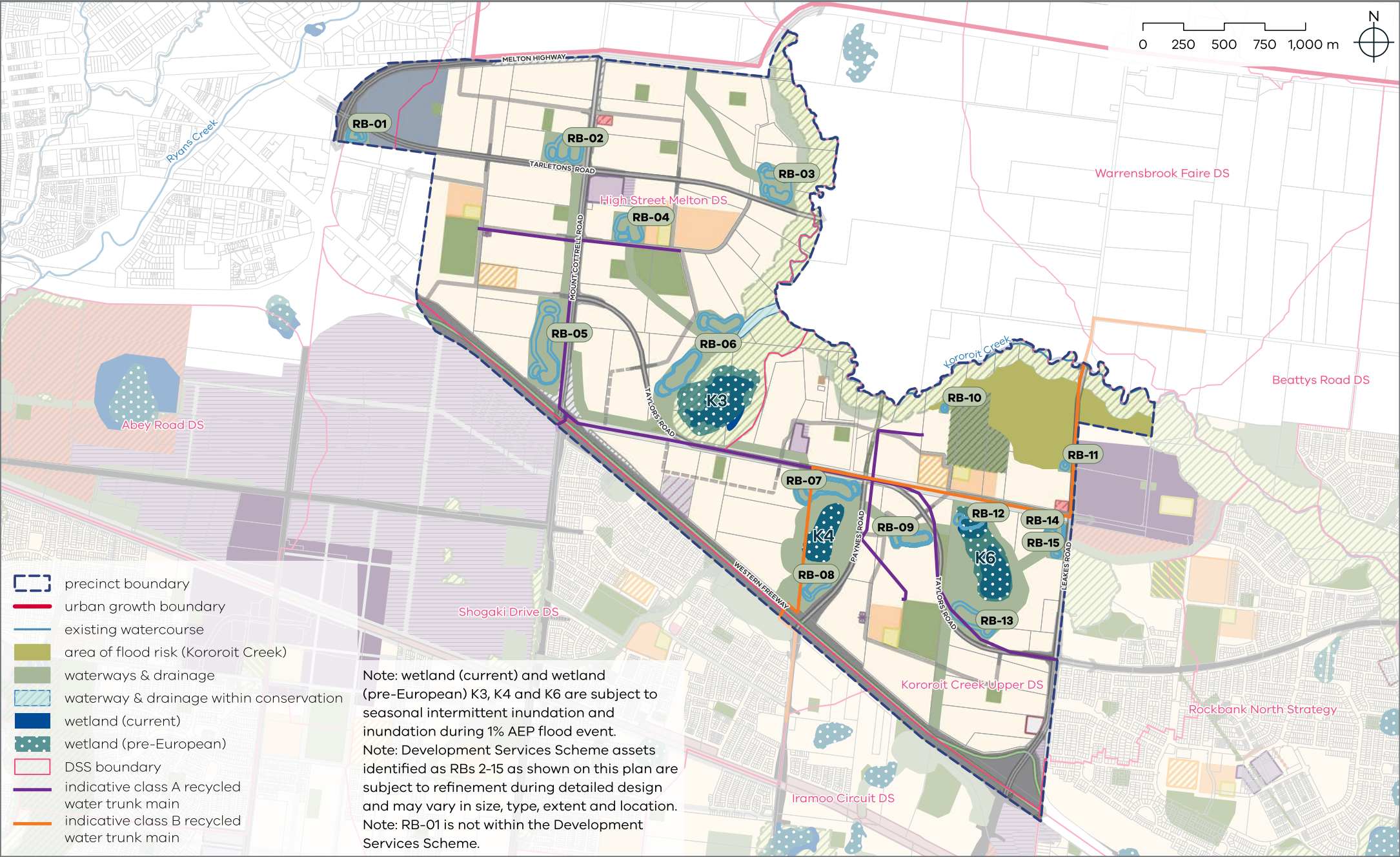
Plan 6 – Public Realm

Melton East Precinct Structure Plan



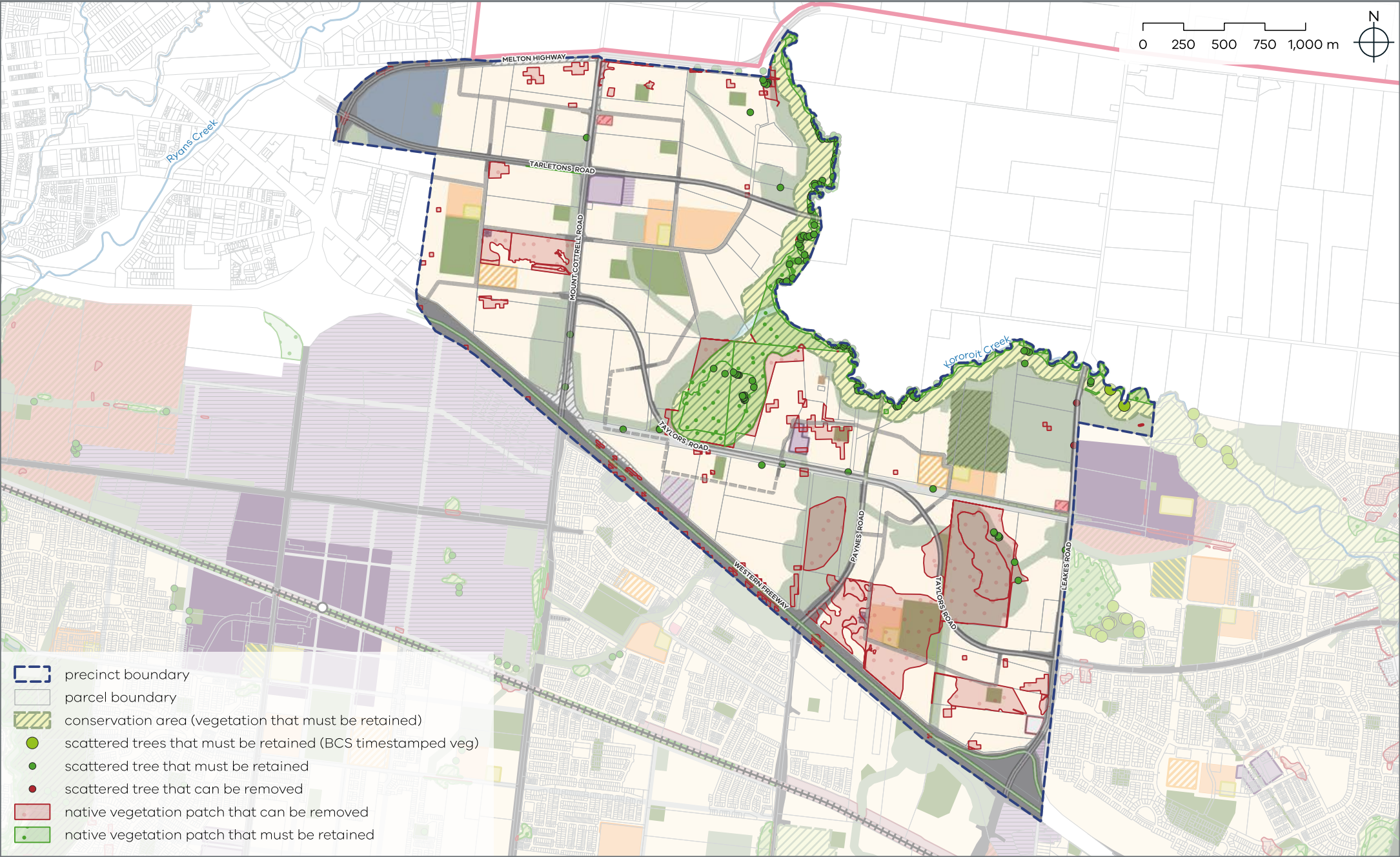
Plan 7 – Water

Melton East Precinct Structure Plan



Plan 8 – Native Vegetation Retention & Removal

Melton East Precinct Structure Plan



Plan 9 – Bushfire

Melton East Precinct Structure Plan

